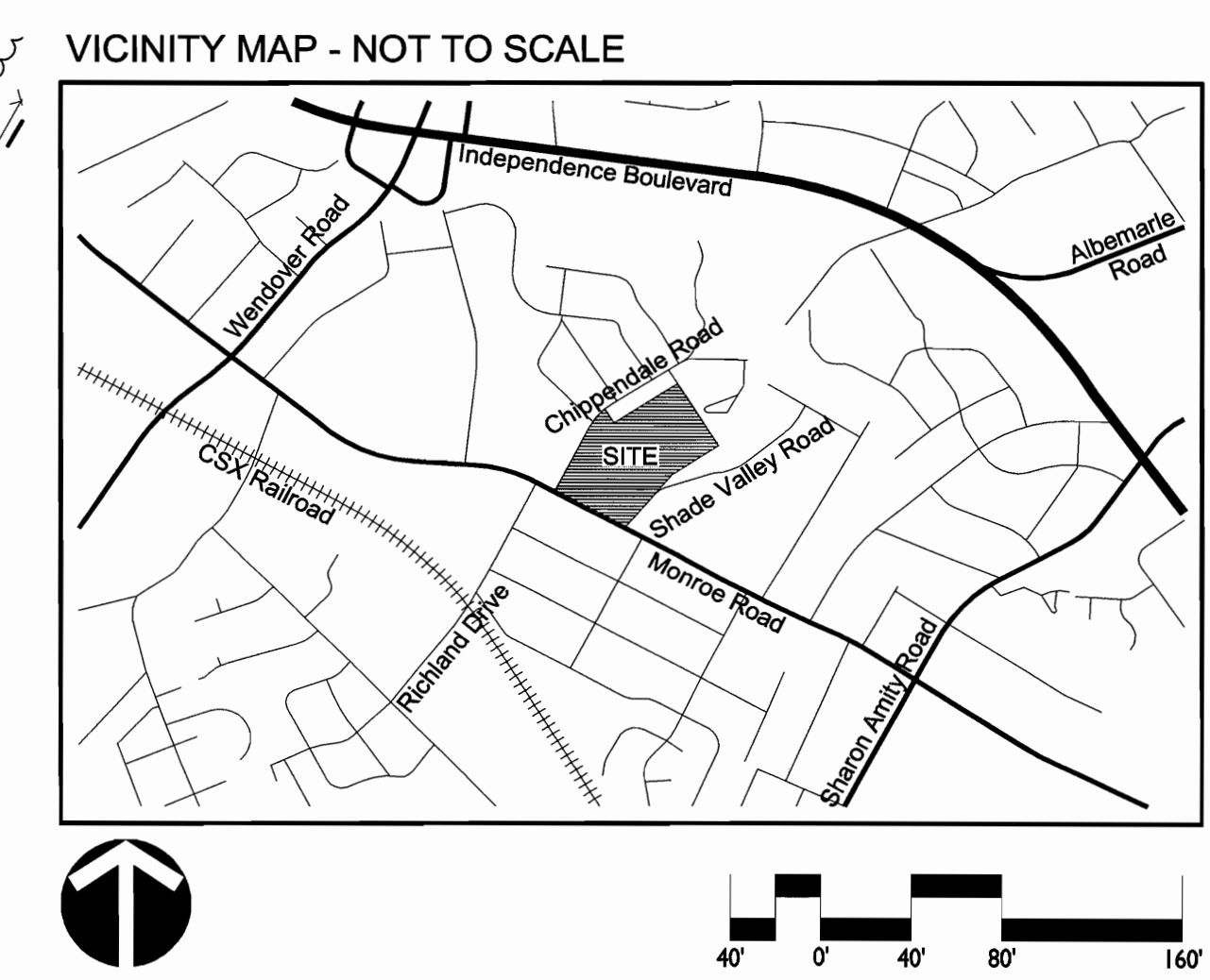
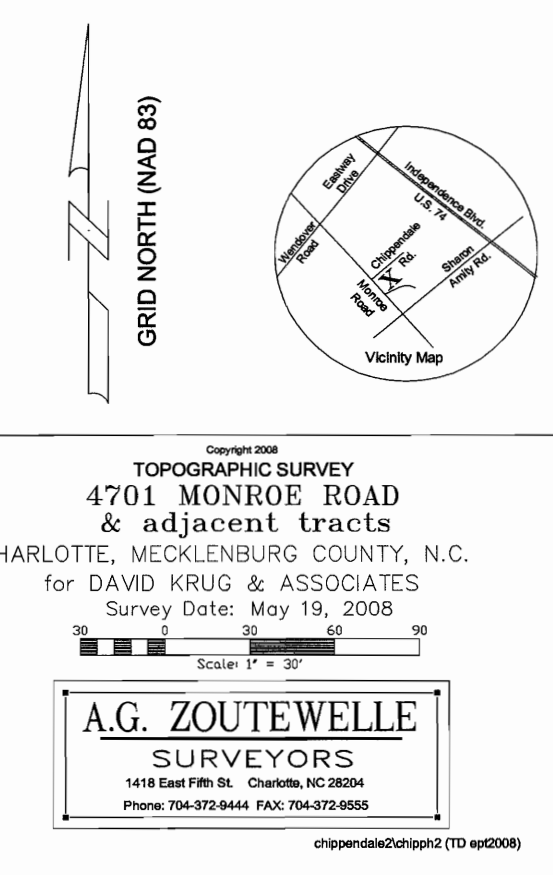


SITE INFORMATION	
SITE ADDRESS:	4701 MONROE ROAD CHARLOTTE, NC 28205
PROPERTY OWNER(S):	LAKE CITY TRACTOR SUPPLY, LLC 131 PROVIDENCE ROAD CHARLOTTE, NC 28207
TAX PARCEL ID #:	16104344, 16105208, 16105219, 16105220, 16105221, 16105222, 16105223, 16105224, 16105225
EXISTING ZONING:	GENERAL INDUSTRIAL DISTRICT "I-2", MULTI-FAMILY RESIDENTIAL DISTRICT "R-17MF", AND SINGLE-FAMILY RESIDENTIAL DISTRICT "R-5"
TOTAL SITE SF (ACREAGE):	+/- 793,086.51 (+/- 18.2 AC)
REGULATED AREA PLAN - INDEPENDENCE BOULEVARD AREA PLAN (2009)	
ADJACENT OWNERS	
1 #16104338 CHARLOTTE-MECKLENBURG BOARD OF EDUCATION 701 E MARTIN LUTHER KING JR BLVD. CHARLOTTE, NC 28202 EXISTING ZONING: R-17MF EXISTING USE: INSTITUTIONAL	12 #16105210 BEN M WHITLOCK AND WHITNEY C JORIS 1508 CHIPPENDALE RD CHARLOTTE, NC 28205 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY
2 #16104301 CHARLOTTE-MECKLENBURG BOARD OF EDUCATION 701 E MARTIN LUTHER KING JR BLVD. CHARLOTTE, NC 28202 EXISTING ZONING: R-17MF EXISTING USE: INSTITUTIONAL	13 #16105209 ELIZABETH WILLA BRADFORD 4114 CARTERET ST CHARLOTTE, NC 28212 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY
3 #16104218 DAVID L AND JANIE H BARKER 412 LIVINGSTON DR CHARLOTTE, NC 28211 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	14 #16105231 GREGORY EVANGELIST 1518 CHIPPENDALE ROAD CHARLOTTE, NC 28205 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY
4 #16105218 JANIE R LATHROP AND BY MARR 1414 CHIPPENDALE RD CHARLOTTE, NC 28205 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	15 #16105207 STEVEN F SANTEE 5401 CHILTERN HILLS TL CHARLOTTE, NC 28215 EXISTING ZONING: R-17MF EXISTING USE: VACANT
5 #16105217 JONATHAN P AND ANGELA P GRAUEL 1420 CHIPPENDALE RD CHARLOTTE, NC 28205 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	16 #16105232 STEVEN SANTEE 5401 CHILTERN HILLS TL CHARLOTTE, NC 28215 EXISTING ZONING: R-17MF EXISTING USE: VACANT
6 #16105216 WILLIAM NORMAN JR FISHER 1426 CHIPPENDALE RD CHARLOTTE, NC 28205 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	17 #16105201 BRITTANY WOODS INC 1636 CHIPPENDALE RD CHARLOTTE, NC 28205 EXISTING ZONING: R-17MF EXISTING USE: COMMERCIAL
7 #16105215 JOHN ROBERT SMYRL 1432 CHIPPENDALE RD CHARLOTTE, NC 28205 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	18 #16105233 LAKE HILL APARTMENTS LP 5009 MONROE RD #200 CHARLOTTE, NC 28205 EXISTING ZONING: R-17MF EXISTING USE: MULTI-FAMILY
8 #16105214 RICHARD DENNIS SLAGLE 7760 SQUIRREL SPUR RD MEADOWS OF DAN, VA 24120 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	19 #16105132 LAKE HILL APARTMENTS LP 5009 MONROE RD #200 CHARLOTTE, NC 28205 EXISTING ZONING: R-17MF EXISTING USE: MULTI-FAMILY
9 #16105213 MARY BOWMAN 1444 CHIPPENDALE RD CHARLOTTE, NC 28205 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	20 #16105106 V J G & S ASSOCIATES 2408 HAVEN VIEW DR CORNELIUS, NC 28031 EXISTING ZONING: O-2 EXISTING USE: SINGLE FAMILY
10 #16105212 PEGGY PADGETT 1601 KEELING PL CHARLOTTE, NC 28210 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	21 #16105105 LAKE HILLS CORPORATION AND LERNER & COMPANY REAL ESTATE 5009 MONROE RD #200 CHARLOTTE, NC 28205 EXISTING ZONING: O-2 EXISTING USE: SINGLE FAMILY
11 #16105211 CARLA R STISH 1500 CHIPPENDALE RD CHARLOTTE, NC 28205 EXISTING ZONING: R-5 EXISTING USE: SINGLE FAMILY	22 #16108215 HAZEL B MULLINS AND MARJORIE DAVIS 4814 MONROE ROAD CHARLOTTE, NC 28205 EXISTING ZONING: O-2 EXISTING USE: SINGLE FAMILY
	23 #16108216 ILMA REALTY CORP 104 SAINT ANDREWS PL YONKERS, NY 10705 EXISTING ZONING: B-1 EXISTING USE: WAREHOUSE
	24 #16108217 BRYANT W AND NANCY L CUTTER 123 BREVARD CT CHARLOTTE, NC 28202 EXISTING ZONING: B-1 EXISTING USE: COMMERCIAL
	25 #16108218 BRYANT W AND NANCY L CUTTER 123 BREVARD CT CHARLOTTE, NC 28202 EXISTING ZONING: B-1 EXISTING USE: VACANT
	26 #16108219 BRYANT W AND NANCY L CUTTER 123 BREVARD CT CHARLOTTE, NC 28202 EXISTING ZONING: B-1 EXISTING USE: COMMERCIAL
	27 #16108220 BRYANT W AND NANCY L CUTTER 123 BREVARD CT CHARLOTTE, NC 28202 EXISTING ZONING: B-1 EXISTING USE: COMMERCIAL
	28 #16108222 GATE PETROLEUM CO INC PO BOX 23827 JACKSONVILLE, FL 32241 EXISTING ZONING: B-1 EXISTING USE: OFFICE
	29 #16108201 MICHAEL E AND PATRICK W CASTRILLON 4824 MONROE RD CHARLOTTE, NC 28205 EXISTING ZONING: B-1 EXISTING USE: WAREHOUSE
	30 #16107112 1924-1958 EAST 7TH ST LLC AND DAVID R KRUG 131 PROVIDENCE RD CHARLOTTE, NC 28207 EXISTING ZONING: B-1 EXISTING USE: COMMERCIAL



GENERAL NOTES

- This property consists of the following Tax Parcel ID Numbers:
Tax ID: 161-052-08, -19, -20, -21, -22, -23, -24, and -25.
- The total area of this property is 792,960 ± (17,519 acres) by coordinates, which includes the area within the apparent right-of-way of Shale Valley Road and also 1,430 ± contained within the 12' wide alley adjacent to Tax ID 161-052-22. Mecklenburg County GIS reflects the 12' alley although no document dedicating the alley for public use was found. The alley is apparently no longer used.
- Sources of data for these parcels:
DS 2854 Pg 426
DS 16830 Pg 523
DS 16830 Pg 528 & DS 16830 Pg 534
DS 21037 Pg 6
See also plans included in Map Book 4 Page 59 and Map Book 50, Page 216.
- This survey does not reflect a complete title examination. There may be additional easements, restrictions or other file matters not shown, which may affect the information depicted herein. See "Notice of Boundary Privacy" recorded in Deed Book 21931, Page 172 and associated plans recorded in Map Book 47, Pages 63-66.
- Zoning of the property, per GIS is 1-2 (Industrial & R-17MF (Manufacture/Residential)). Standards for these classifications are as follows:
1-2 Min. Setback: 20'
Min. Building: 10'
Min. Lot Area: 8,000 ± s.f.
Min. Lot Width: 50'
Min. Building Height: 40'
R-17MF: Min. Setback: 30'
Min. Building: 10'
Min. Lot Area: 12,000 ± s.f.
Min. Lot Width: 80'
Min. Building Height: 40'
- This survey does not reflect a complete zoning analysis. Development of this property is subject to the approval of the City of Charlotte. Developers should contact the zoning staff to obtain specific setback and buffer configurations based on proposed plans.
- This property is not located within a designated flood hazard area per grading scrolling from Flood Insurance Rate Map (FIRM) Community Panel No. 370168 0205 E dated February 1, 2004.
- No NCDS comment is located within 2000' of this property. NC GIS is provided by Survey & Mapping Center, Pineville, NC. All distances shown are horizontal ground distances. Contained scale factor is 0.99994121. Horizontal Datum is North American Horizontal Datum of 1983 (NAD83) 2002 (2002). Vertical datum is NAVD 1983.
- This survey reflects utilities as per 1) observed surface indications, 2) Charlotte Mecklenburg Utility Department (CMUD) to develop service maps and 3) surface geotag readings provided by NC GIS CALL Utility Location Service (1-800-632-6949). This site was formerly a developed manufacturing facility prior to development of this survey. Some underground utilities may or may not be active.
- Additional utility information is required. The owner should contact with a private utility location specialist to investigate the area(s) of concern.
- Only selected trees (10" and greater and selected smaller trees) were located for this survey.



THIS SURVEY IS CERTIFIED TO ONLY DAVID KRUG & ASSOCIATES:
STATE OF NORTH CAROLINA, Mecklenburg County
I, ANDREW G. ZOUTEWELLE, do hereby certify that this map was drawn
in accordance with the provisions of the North Carolina Surveying
Act (Chapter 89C, NC General Statutes) and that the precision is less than
7.5 seconds per angle, and the survey is not intended to meet
G.S. 47-30 recording requirements.

Andrew G. Zoutewelle, PLS L3008

DATE

Detail Proposed
Sign Easement

Lot	Area	Area
11	1,887,731.71	20.36
12	8,417,870.79	26.67
13	1,887,731.71	20.36
14	1,887,731.71	20.36

Legend

- 1/4" = 1' contour
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- 99/4" = 1' contour
- 100/4" = 1' contour

LandDesign™

223 N Graham Street, Charlotte, NC 28202
V: 704.333.0325 F: 704.332.3246
www.LandDesign.com

FOR PUBLIC HEARING
PETITION NO. 2010-042

OAKHURST
NEIGHBORHOOD SERVICES DEVELOPMENT
DAVID R. KRUG ASSOCIATES, INC., CHARLOTTE, NC

EXISTING CONDITIONS

REVISIONS:
DATE: APRIL 26, 2010
06/18/10 REVISED PER CITY STAFF COMMENTS
07/23/10 REVISED PER CITY STAFF COMMENTS

DESIGNED BY:
CHECKED BY:
QC BY:
SCALE: 1"=80'-0"
PROJECT #: 1007230
SHEET #

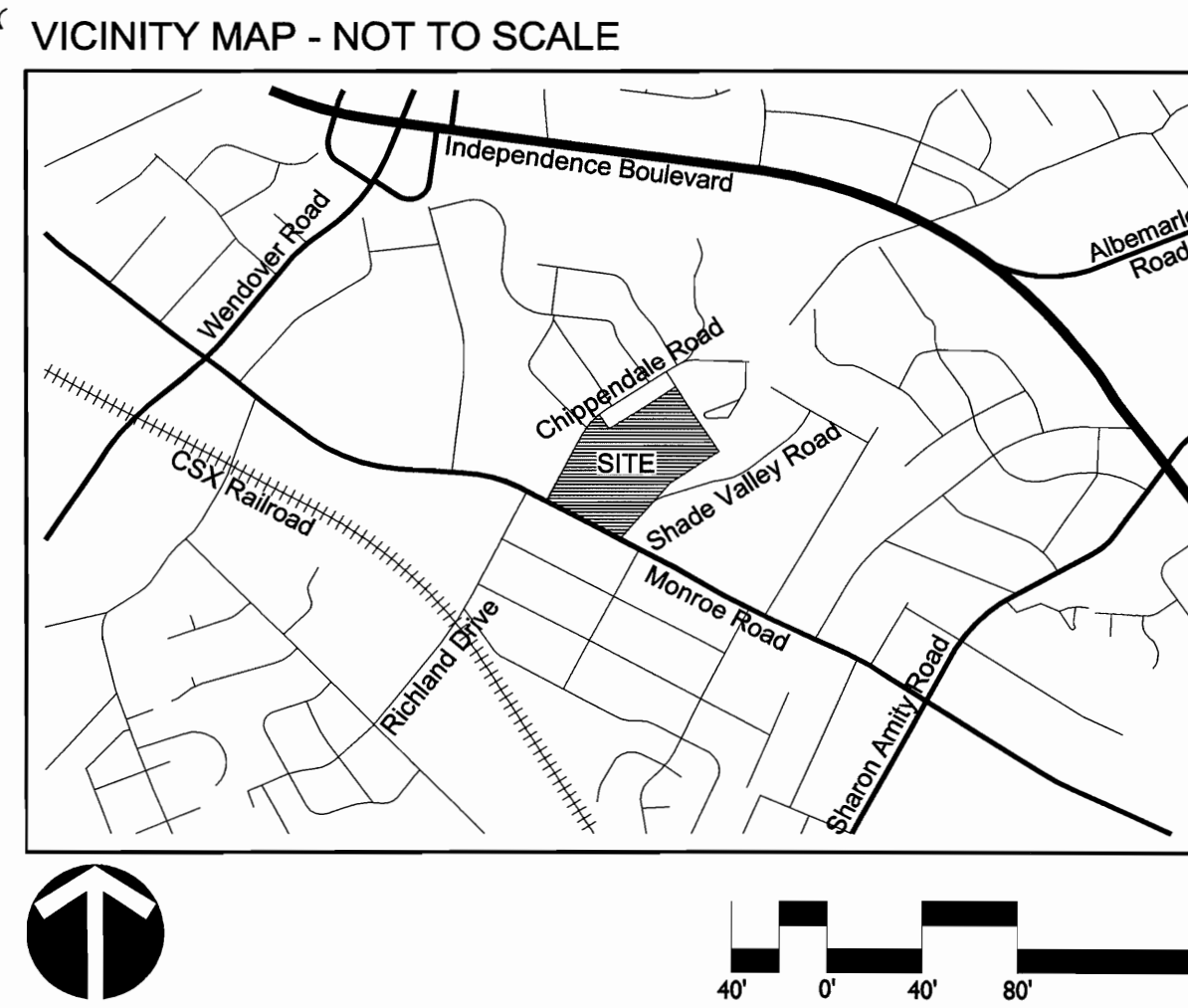
X-1.0



SITE DEVELOPMENT SUMMARY:	
SITE AREA:	+/- 793,086.52 SQFT (18.2 ACRES)
TAX PARCELS INCLUDED WITHIN THE AREA TO BE REZONED	16104344, 16105208, 16105219, 16105220, 16105221, 16105222, 16105223, 16105224, AND 16105225
EXISTING ZONING	GENERAL INDUSTRIAL DISTRICT "I-2", MULTI-FAMILY RESIDENTIAL DISTRICT "R-17MF", AND SINGLE-FAMILY RESIDENTIAL DISTRICT "R-5"
PROPOSED ZONING	NEIGHBORHOOD SERVICES DISTRICT (NS)
EXISTING USES	VACANT
PROPOSED USES	COMMERCIAL AND RESIDENTIAL
RESIDENTIAL UNITS AND TYPES	250 UNITS MAXIMUM - MULTI-FAMILY (TOWNHOMES / APARTMENTS / CONDOMINIUMS)
RESIDENTIAL DENSITY	22 DWELLING UNITS PER ACRE (22 DUA) MAXIMUM
NON-RESIDENTIAL USES	75,000 SQFT MAXIMUM - COMMERCIAL
FLOOR AREA RATIO	PER THE ORDINANCE
MAXIMUM BUILDING HEIGHT	PER THE ORDINANCE
NUMBER OR RATIO OF PARKING SPACES	PER THE ORDINANCE
AMOUNT OF OPEN SPACE	PER THE ORDINANCE

GENERAL NOTES:
SURVEY PROVIDED BY:
A.G. ZOUTEWELLE SURVEYORS
1418 EAST FIFTH STREET
CHARLOTTE, NC 28204
704.372.9444

ADJACENT PARCEL INFORMATION & TREE COVER PROVIDED BY:
2004 MECKLENBURG COUNTY DELD DATA



DEVELOPMENT STANDARDS

1. DEVELOPMENT INFORMATION	
SITE AREA:	± 793,086.52 SQFT (18.2 ACRES)
TAX PARCELS INCLUDED WITHIN THE AREA TO BE REZONED:	16104344, 16105208, 16105219, 16105220, 16105221, 16105222, 16105223, 16105224, AND 16105225
EXISTING ZONING:	GENERAL INDUSTRIAL DISTRICT "I-2", MULTI-FAMILY RESIDENTIAL DISTRICT "R-TMF", AND SINGLE-FAMILY RESIDENTIAL DISTRICT "R-S"
PROPOSED ZONING:	NEIGHBORHOOD SERVICES DISTRICT (NS)
EXISTING USES:	VACANT
PROPOSED USES:	COMMERCIAL AND RESIDENTIAL
RESIDENTIAL UNITS AND TYPES:	250 UNITS MAXIMUM - MULTI-FAMILY (TOWNHOMES / APARTMENTS / CONDOMINIUMS)
RESIDENTIAL DENSITY:	22 DWELLING UNITS PER ACRE (22 DUA) MAXIMUM
NON-RESIDENTIAL USES:	75,000 SQFT MAXIMUM - COMMERCIAL
FLOOR AREA RATIO:	PER THE ORDINANCE
MAXIMUM BUILDING HEIGHT:	PER THE ORDINANCE
NUMBER OR RATIO OF PARKING SPACES:	PER THE ORDINANCE
AMOUNT OF OPEN SPACE:	PER THE ORDINANCE

- 2. GENERAL PROVISIONS**
- A. THESE DEVELOPMENT STANDARDS FORM A PART OF THE SCHEMATIC PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY DAVID R. KRUG ASSOCIATES, INC. (THE "PETITIONER" OR "DEVELOPER") TO ACCOMMODATE DEVELOPMENT TO BE KNOWN AS OAKHURST ON AN APPROXIMATELY 18.2 ACRE SITE GENERALLY LOCATED BETWEEN CHIPPENDALE ROAD AND SHADE VALLEY ROAD ON THE NORTH SIDE OF MONROE ROAD (THE "SITE"). DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE SCHEMATIC PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"). UNLESS THE SCHEMATIC PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE NEIGHBORHOOD SERVICES DISTRICT (NS) ZONING CLASSIFICATIONS SUBJECT TO THE PROVISIONS PROVIDED BELOW, SHALL GOVERN DEVELOPMENT TAKING PLACE ON THOSE PORTIONS OF THE SITE GENERALLY DEPICTED ON THE SCHEMATIC PLAN.
- B. FUTURE AMENDMENTS TO THE SCHEMATIC PLAN AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE OWNER OR OWNERS OF THE TRACT OR TRACTS INVOLVED, IN ACCORDANCE WITH CHAPTER 16.207 OF THE ORDINANCE.

~~THE DEVELOPMENT STANDARDS ESTABLISHED UNDER THE INDEPENDENCE BOULEVARD AREA PLAN AND THE CHARLOTTE DISTRICTS DEVELOPMENT DISTRICT SHALL BE FOLLOWED IN CONNECTION WITH DEVELOPMENT OCCURRING ON THIS SITE.~~

~~DEVELOPMENT TOTALS FOR THIS PETITION MAY INCLUDE A MAXIMUM OF:~~

D-1. COMMERCIAL USES:	75,000 SQFT
D-2. RESIDENTIAL:	250 UNITS

3. OPTIONAL PROVISIONS

- A. NOT APPLICABLE
- PERMITTED USES**
- A. THE USES PERMITTED IN THIS REZONING SHALL INCLUDE THOSE PERMITTED BY RIGHT AND UNDER PRESCRIBED CONDITIONS IN THE NEIGHBORHOOD SERVICES (NS) ZONING DISTRICT.
- B. THE SITE WILL CONSIST OF A TRACT(S) GENERALLY DEPICTED ON THE SCHEMATIC PLAN AS TRACT(S) A, B, C, D, AND E (EACH TRACT OR "COMPONENT", AND COLLECTIVELY THE "TRACTS" OR "COMPONENTS").
- C. THE USES WITHIN TRACTS A, B, AND C SHALL ADHERE TO THE BY RIGHT USES ALLOWED IN THE ORDINANCE FOR THE NEIGHBORHOOD SERVICES (NS) DISTRICT.
- ~~PERMITTED USES:~~
- ~~D-1. RETAIL~~
 - ~~D-2. RESTAURANTS~~
 - ~~D-3. OFFICE~~
 - ~~D-4. BANKING~~
 - ~~D-5. DRIVE-THROUGH~~
 - ~~D-6. OPEN SPACE AND~~
 - ~~D-7. ACCESSORY USES AND STRUCTURES ASSOCIATED WITH THE ALLOWED PRINCIPAL USE.~~

- D. THE LOCATION OF DRIVE-THROUGH SERVICES FOR ONE (1) OFFICE, FINANCIAL INSTITUTION, RESTAURANT, OR RETAIL ESTABLISHMENT MAY BE LOCATED WITHIN TRACT A, B, OR C OF THE DRIVE-THROUGH STATION(S) MUST BE LOCATED TO THE REAR OR SIDE OF THE BUILDING, AND IS LIMITED TO NO MORE THAN FOUR (4) DRIVE-THROUGH STATIONS, INCLUDING LANES SERVING AUTOMATIC TELLER MACHINES (ATMS).
- ~~D-1. NIGHTCLUBS, BARS AND LOUNGES AS A PRINCIPAL USE SHALL BE AT LEAST 400 FEET FROM ANY RESIDENTIAL USE IN A RESIDENTIAL DISTRICT OR FROM A RESIDENTIAL DISTRICT. THIS SEPARATION DISTANCE MAY BE REDUCED BY A STREETSCAPE PLAN APPROVED BY THE CITY COUNCIL.~~
- ~~D-2. RESIDENTIAL AND NON-RESIDENTIAL USES~~
- ~~D-3. PARKING AND/OR PARKING STRUCTURES AND~~
- ~~D-4. ACCESSORY USES AND STRUCTURES~~

- E. THE FOLLOWING USES SHALL BE PERMITTED ON AND ALLOCATED TO TRACT(S) D AND E:
- D-1. RESIDENTIAL**
- E.1. DWELLINGS, DETACHED, DUPLEX, TRIPLEX OR QUADRAPLEX
 - E.2. DWELLINGS, MULTI-FAMILY AND ATTACHED UP TO 12 UNITS IN A BUILDING
 - E.3. PLANNED MULTI-FAMILY AND ATTACHED DEVELOPMENT
 - E.4. ACTIVE ADULT RETIREMENT COMMUNITIES
- D-2. COMMERCIAL**
- E.5. PARKS, GREENWAYS AND ARBORETIUMS
 - E.6. OUTDOOR RECREATION
 - E.7. CIVIC, SOCIAL SERVICES OR FRATERNAL FACILITIES
 - E.8. CULTURAL FACILITIES

- F. THE FOLLOWING USES SHALL BE EXCLUDED FOR USE WITHIN THE SITE:
- F.1. ANIMAL CREMATORIUMS
 - F.2. AUTOMOBILE SERVICE STATIONS, INCLUDING MINOR ADJUSTMENTS, REPAIRS AND LUBRICATION
 - F.3. BOARDING HOUSES
 - F.4. CAR WASHES
 - F.5. COMMERCIAL ROOMING HOUSES
 - F.6. CONSTRUCTION AND DEMOLITION (C&D) LANDFILLS
 - F.7. JAILS AND PRISONS

- G. IT IS UNDERSTOOD THAT THE COMMON BOUNDARIES BETWEEN EACH OF THE TRACT(S) AND THE RIGHTS AND RESTRICTIONS PERTAINING TO ALL SUCH TRACT(S) MAY BE ADJUSTED UPON THE MUTUAL AGREEMENT OF THE OWNERS OF SUCH TRACT(S) SUBJECT TO THE APPROVAL OF THE PLANNING DIRECTOR.

- H. THE TOTAL RESIDENTIAL DENSITY FOR THE SITE SHALL NOT EXCEED 22 DWELLING UNITS PER ACRE (22 DUA) ~~AS RECOMMENDED BY THE INDEPENDENCE BOULEVARD AREA PLAN.~~

- I. PROVISIONS FOR PARKING AND LOADING SHALL CONFORM TO THE GENERAL REQUIREMENTS OF CHAPTER 12, PART 2, OFF-STREET PARKING AND LOADING OF THE CITY OF CHARLOTTE ZONING ORDINANCE, EXCEPT AS REQUESTED IN THIS REZONING.
- 1.1. PERMITTED USES SHALL BE REQUIRED TO PROVIDE OFF-STREET PARKING SPACES FOR NEW USES AS FOLLOWS:
- RESIDENTIAL USES: ONE (1) SPACE PER DWELLING UNIT
RESTAURANTS/NIGHTCLUBS: ONE (1) SPACE PER 150 SQUARE FEET
FOR ALL OTHER NON-RESIDENTIAL USES: ONE (1) SPACE PER 600 SQUARE FEET

- ~~1.2. THE REQUIRED NUMBER OF PARKING SPACES FOR ANY BUILDING WITHIN THE DISTRICT, INCLUDING MIXED-USE BUILDINGS, IS THE SUM TOTAL OF THE REQUIREMENTS FOR EACH USE IN THE BUILDING CALCULATED SEPARATELY.~~

- ~~1.3. A 25% PARKING REDUCTION IS ALLOWED IF LOCATED WITHIN 400 FEET OF A PARKING FACILITY AVAILABLE TO THE GENERAL PUBLIC. (SUCH FACILITY MUST BE WHOLLY AVAILABLE FOR PUBLIC USE.) THERE SHALL BE NO MORE THAN A TOTAL OF 25% PARKING REDUCTION.~~

- ~~1.4. FOR NEW PARKING, THE MINIMUM STALL AND AISLE DIMENSIONS MUST CONFORM TO THOSE OF THE CURRENT CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL. AT LEAST 75% OF THE REQUIRED SPACES MUST BE FULL-SIZED SPACES.~~

- 5. TRANSPORTATION**
- A. THE NEWLY ALIGNED INTERSECTION OF CHIPPENDALE/RICHLAND AT MONROE ROAD WILL PROVIDE A 200' DEDICATED EASTBOUND LEFT TURN STORAGE LANE ON MONROE ROAD TO ACCESS CHIPPENDALE ROAD.
- B. ALL APPROVED LEFT TURN LANES SHALL BE STRIPED AND ASSOCIATED TRAFFIC SIGNAL MODIFICATIONS SHALL BE IMPLEMENTED AND STRIPED WHEN THE MONROE ROAD IMPROVEMENTS ALONG THE SITE'S FRONTAGE IS CONSTRUCTED AND BEFORE THE FIRST SITE'S FIRST CERTIFICATE OF OCCUPANCY (CO) IS USED.

- C. THE PETITIONER, ITS SUCCESSORS AND ASSIGNS, AGREES TO COOPERATE WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION IN CONNECTION WITH THE TUNING OF CONSTRUCTION OF ROADWAY IMPROVEMENTS TO BE UNDERTAKEN BY THE PETITIONER, WHICH SHALL BE BASED UPON THE TRAFFIC IMPACT ASSOCIATED WITH THE PROPOSED DEVELOPMENT AS REFLECTED IN THE PETITIONER'S TRAFFIC IMPACT STUDY.

- D. ~~EXCLUDING MONROE ROAD~~ THE TOTAL NUMBER OF INGRESS/EGRESS POINTS TO THE SITE ~~SHALL BE LIMITED TO~~ THE NUMBER SHOWN ON THE SCHEMATIC PLAN, EXCEPT TO THE EXTENT MORE ACCESS POINTS ARE PERMITTED BY CDOT. THE EXACT LOCATIONS MAY VARY SOMEWHAT FROM THOSE DEPICTED BASED UPON FINAL DESIGN AND LOCALITIONAL REQUIREMENTS AS REGULATED BY CDOT AND NCDOT.

- E. THE EXISTING ACCESS POINTS TO THE SITE MAY CONTINUE TO BE USED UNTIL THE NEW ACCESSSES HAVE BEEN COMPLETED. AS EACH TRACT WITH EXISTING DRIVEWAYS IS REDEVELOPED EXISTING DRIVEWAYS WILL BE REMOVED OR RECONSTRUCTED TO MEET CURRENT DRIVEWAY STANDARDS AND THE CONDITIONS OF THIS CONDITIONAL PLAN.

- F. A DEDICATED 20 FOOT EASEMENT SHALL BE LOCATED WITHIN THE LIMITS OF TRACT B TO ALLOW FOR A DESIGNATED PEDESTRIAN ACCESS EXTENDING FROM PRIVATE STREET B TO THE PROPERTY BOUNDARY CLOSEST TO SHADE VALLEY ROAD AND PARCEL #161-05-233. THIS EASEMENT SHALL BE LOCATED WITHIN TO ENSURE THE MAXIMUM BLOCK FRONTAGE ALONG PRIVATE STREET B DOES NOT EXCEED 500 FEET IN LENGTH WITHOUT A DESIGNATED PEDESTRIAN ACCESS POINT. INCLUDED WITHIN THIS 20 FOOT EASEMENT SHALL BE A PEDESTRIAN WALKWAY AT A MINIMUM OF 10 FEET IN WIDTH AND A PLANTING AND/OR PAVING ZONE ENCOMPASSING THE REMAINDER OF THE 20 FOOT EASEMENT WIDTH. REFER TO CROSS-SECTION A ON SHEET 2-3.0.

- G. THE PROPOSED DRIVEWAY CONNECTIONS TO MONROE ROAD, CHIPPENDALE ROAD AND SHADE VALLEY ROAD AND WILL REQUIRE A DRIVEWAY PERMITS TO BE SUBMITTED TO CDOT AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION FOR REVIEW AND APPROVAL. THE LOCATION AND WIDTH OF THE DRIVEWAYS AND THE DRIVEWAYS WILL BE DETERMINED BY CDOT DURING THE DRIVEWAY PERMIT PROCESS. THE LOCATIONS OF THE DRIVEWAYS SHOWN ON THE SITE PLAN ARE SUBJECT TO CHANGE IN ORDER TO ALIGN WITH DRIVEWAYS ON THE OPPOSITE SIDE OF THE STREET AND COMPLY WITH CITY DRIVEWAY REGULATIONS AND THE CITY TRUCK ORDINANCE.

- ~~H. BUILDING PERMITS SHALL NOT BE GRANTED FOR TRACTS A OR C UNTIL THE APPROVAL FOR THE ABANDONMENT OF RIGHT-OF-WAY FOR CHIPPENDALE ROAD HAS OCCURRED. THE CITY OF CHARLOTTE SHALL SUBMIT FOR THE ABANDONMENT OF THE CHIPPENDALE ROAD RIGHT-OF-WAY AS SCHEMATICALLY SHOWN ON SHEET 7-1.1.~~

- ~~I. ADEQUATE SIGHT TRIANGLES MUST BE RESERVED AT THE EXISTING PROPOSED STREET ENTRANCES. TWO 35' X 35' AND TWO 40' X 70' SIGHT TRIANGLES ARE REQUIRED FOR THE ENTRANCES TO MEET REQUIREMENTS. ALL PROPOSED TREES, BERMS, WALLS, FENCES AND IDENTIFICATION SIGNS MUST NOT BE LOCATED WITHIN THE SIGHT DISTANCE AT THE ENTRANCES. SUCH ITEMS SHOULD BE IDENTIFIED ON THE SITE PLAN.~~

- ~~J. ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.~~

- ~~K. A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ANY NON-STANDARD ITEM(S) (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVEMENT, ETC.) WITHIN A PROPOSED EXISTING CITY MAINTAINED STREET. RIGHT-OF-WAY ENCROACHMENT AGREEMENTS FOR ELEVATORS, STAIRWAYS, TANKS, HEATING, VENTILATION, AIR CONDITIONING EQUIPMENT, OR SIMILAR EQUIPMENT FOR THE BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEM(S). CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.~~

- ~~L. THE BICYCLE PARKING STANDARDS OF THE CITY OF CHARLOTTE ZONING ORDINANCE ARE APPLICABLE FOR THIS DEVELOPMENT.~~

6. ARCHITECTURAL STANDARDS

- A. ALL BUILDINGS AND USES DEVELOPED IN THIS DEVELOPMENT MUST MEET THE FOLLOWING MINIMUM STANDARDS:
- A. THE FIRST FLOORS OF ALL BUILDINGS MUST BE DESIGNED TO ENCOURAGE AND COMPLEMENT PEDESTRIAN SCALE INTEREST AND ACTIVITY. BUILDINGS WITHIN TRACTS A AND B MAY HAVE BUILDING WALLS ALONG THE REALIGNED CHIPPENDALE ROAD THAT PROVIDE LESS THAN 60% OF THE LENGTH OF THE FIRST FLOOR STREET LEVEL FRONTAGE WITH USES THAT ARE VISIBLE FROM THE STREET. THE FIRST FLOOR OF ALL OTHER BUILDINGS THE FIRST FLOOR OF ALL BUILDINGS EXCEPT THOSE WITHIN TRACT A AND C ALONG CHIPPENDALE ROAD, WILL BE DESIGNED AND/OR USED FOR NEIGHBORHOOD OR STREET-LEVEL ACTIVITIES AND MUST INCLUDE TRANSPARENT WINDOWS AND DOORS ARRANGED SO THAT THE USES ARE VISIBLE FROM AND/OR ACCESSIBLE TO THE STREET ON AT LEAST 50% OF THE LENGTH OF THE FIRST FLOOR BUILDING ELEVATION ALONG THE FIRST FLOOR STREET FRONTAGE.

- B. AT LEAST ONE OPERABLE PEDESTRIAN ENTRANCE PER BUILDING MUST FACE A PUBLIC OR PRIVATE STREET AND BE DISTINGUISHABLE FROM THE REST OF THE BUILDING. SUCH ENTRANCES MUST BE RECESSED INTO THE FACE OF THE BUILDING WITH A MINIMUM 15 SQUARE FOOT AREA TO PROVIDE A SENSE OF ENTRY AND TO ADD VARIETY TO THE STREETSCAPE. NO NEW DOORS WILL BE ALLOWED TO SWING INTO THE MINIMUM SETBACK, EXCEPT FOR EMERGENCY EXIT DOORS.
- HOWEVER, BUILDINGS WITHIN TRACT A AND C WITH A USER/TENANT 15,000 SQUARE FEET OR GREATER OF GROSS FLOOR AREA MAY NOT BE REQUIRED TO HAVE AN OPERABLE PEDESTRIAN ENTRANCE ALONG MONROE ROAD OR CHIPPENDALE ROAD. IN THE EVENT THAT THE USER/TENANT OF THE 15,000 SQUARE FOOT SPACE IS NOT OCCUPYING SUCH SPACE, THE RE-USE OF THE SPACE WITH A NEW USER/TENANT THAT OCCUPY LESS THAN 15,000 SQUARE FEET WILL BE ALLOWED WITHOUT THE ADDITION OF NEW OPERABLE PEDESTRIAN ENTRANCES ALONG CHIPPENDALE ROAD.

- C. FOR ALL BUILDINGS, EXPANSIONS OF BLANK WALLS MAY NOT EXCEED 20 FEET IN LENGTH. A BLANK WALL IS A FACADE THAT DOES NOT ADD TO THE CHARACTER OF THE STREETSCAPE AND DOES NOT CONTAIN TRANSPARENT WINDOWS OR DOORS OR SUFFICIENT ORNAMENTATION, DECORATION OR ARTICULATION.

- D. ~~FOR ALL OTHER BUILDINGS~~, THE EXCLUSION OF BLANK WALLS IS INTENDED TO BE ACCOMPLISHED PRINCIPALLY BY THE USE OF TRANSPARENT WINDOWS AND DOORS ARRANGED SO THAT THE USES ARE VISIBLE FROM AND/OR ACCESSIBLE TO THE STREET ON AT LEAST 25% OF THE LENGTH OF THE FIRST FLOOR STREET FRONTAGE. WHEN THIS APPROACH IS NOT FEASIBLE, A COMBINATION OF DESIGN ELEMENTS MUST BE USED ON THE BUILDING FACADE AND/OR IN RELATIONSHIP TO THE BUILDING AT STREET LEVEL TO ANIMATE AND ENLIVEN THE STREETSCAPE. THESE DESIGN ELEMENTS MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: ORNAMENTATION; MOLDING; STRING COURSES; BELT COURSES; CHANGES IN MATERIAL OR COLOR; ARCHITECTURAL LIGHTING; WORKS OF ART; FOUNTAINS AND POOLS; STREET FURNITURE; LANDSCAPING AND GARDEN AREAS; AND DISPLAY AREAS.

- E. VENTILATION GRATES OR EMERGENCY EXIT DOORS LOCATED AT THE FIRST FLOOR LEVEL IN THE BUILDING FACADE ORIENTED TO ANY PUBLIC STREET MUST BE DECORATIVE.

- F. ALL ROOF-MOUNTED MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW FROM ADJOINING PUBLIC RIGHTS-OF-WAY AND ABUTTING PROPERTIES AS VIEWED FROM GRADE.

- G. ALL BUILDINGS CONSTRUCTED ON THE SITE SHALL BE ARCHITECTURALLY COMPATIBLE IN APPEARANCE THROUGH THE USE OF SIMILAR, AS WELL AS COMPLEMENTARY BUILDING MATERIALS, COLORS AND DESIGN (GIVING DUE CONSIDERATIONS TO THE USE OF EACH BUILDING).

- 6. ARCHITECTURAL STANDARDS (CONT')**
- A. MATERIALS THAT MAY BE INCLUDED AS PART OF THE BUILDING ELEVATIONS MAY INCLUDE BUT ARE NOT LIMITED TO:
- G.1. MASONRY (E. BRICK, STONE, GRANITE, ETC.)
 - G.2. TILE (CERAMIC, PORCELAIN, ETC.)
 - G.3. PRECAST CONCRETE
 - G.4. METAL PANEL
 - G.5. ALUMINUM CURTAIN WALL
 - G.6. FABRIC AWNING
 - G.7. METAL CANOPIES
- ~~G.8. COMMERCIAL TENANT SIGNAGE~~
- H. MATERIALS THAT ARE EXCLUDED AS PART OF THE BUILDING ELEVATIONS INCLUDE:
- H.1. SPANDREL GLASS
 - H.2. VINYL SIDING FOR COMMERCIAL USES

- I. THERE SHALL NOT BE A MINIMUM LOT AREA
- ~~J. THERE SHALL NOT BE A MAXIMUM FLOOR AREA RATIO~~

- ~~K. CANOPIES, AWNINGS AND SIMILAR APPURTENANCES MAY BE INCLUDED AT THE ENTRANCES TO BUILDINGS AND IN OPEN SPACE AREAS. SUCH FEATURES MAY BE CONSTRUCTED OF RIGID OR FLEXIBLE MATERIAL DESIGNED TO COMPLEMENT THE STREETSCAPE OF THE AREA. ANY SUCH FACILITY MAY EXTEND FROM THE BUILDING TO WITHIN TWO (2) FEET OF THE BACK OF THE CURB. SUPPORTS FOR THESE CANOPIES ARE NOT ALLOWED IN THE MINIMUM SETBACK. IF THE EXTENSION WOULD REACH INTO THE PUBLIC RIGHT-OF-WAY, AN ENCROACHMENT AGREEMENT FROM THE CITY OR STATE IS REQUIRED.~~

- ~~L. SETBACKS~~
- ~~THE MINIMUM BUILDING SETBACK SHALL ADHERE TO THE PROVISIONS OF THE INDEPENDENCE BOULEVARD AREA PLAN AND THE CHARLOTTE DISTRICTS DEVELOPMENT DISTRICT. THE MINIMUM SETBACK WILL BE MEASURED FROM THE BACK OF ALL EXISTING OR FUTURE CURBS, WHICHEVER IS GREATER. IF THE EXISTING RIGHT-OF-WAY IS GREATER THAN THE MINIMUM SETBACK FROM THE BACK OF EXISTING OR FUTURE CURBS, THE RIGHT-OF-WAY LINE WILL BECOME THE MINIMUM SETBACK. IF THE EXISTING CURB LINE VARIES, THE SETBACK WILL BE MEASURED FROM THE WESTMOST SECTION CURB LINE. SETBACKS MUST BE DETERMINED BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT) IN CONJUNCTION WITH THE PLANNING COMMISSION STAFF.~~

- ~~IF NEW CONSTRUCTION INCORPORATES AN EXISTING STRUCTURE LOCATED WITHIN THE REQUIRED SETBACK, THE SETBACK OF THE PREMISES WITHIN THE SETBACK WILL BE MEASURED FROM THE BACK OF THE EXISTING CURB. THE SETBACK FOR THE ADDITION TO BE REDUCED TO THE ESTABLISHED SETBACK. IN NO EVENT SHALL THE SETBACK OF ANY PORTION OF THE NEW STRUCTURE BE LESS THAN TEN (10) FEET FROM THE BACK OF THE CURB.~~

- ~~THE CHARLOTTE TREE ORDINANCE SHALL BE APPLICABLE IN ADDITION TO ANY APPROVED STREETSCAPE PLAN. FOR THE PURPOSES OF THIS REZONING, THE SETBACK APPLIES TO ALL STREET FRONTAGES, NOT JUST TO THE STREET TOWARD WHICH THE STRUCTURE IS ORIENTED. ALL NEW TRANSFORMER VAULTS, UTILITY STRUCTURES, AIR VENTS, BACKFLOW PREVENTERS, OR ANY OTHER OUTLINE DEVICES, INCLUDING THESE FACILITIES WHEN LOCATED BELOW GRADE, MUST BE BEHIND THE SETBACK. NO NEW DOORS SHALL BE ALLOWED TO SWING INTO THE MINIMUM SETBACK, EXCEPT FOR EMERGENCY EXIT DOORS.~~

- ~~NO WALLS OR FENCES SHALL BE PERMITTED IN THE ESTABLISHED SETBACK, EXCEPT AS SCREENING FOR PARKING AS DESCRIBED IN SECTION 4.1.6.~~

- ~~M. SIDE AND REAR YARDS~~
- ~~THERE SHALL NOT BE A MINIMUM SIDE OR REAR YARD. HOWEVER, A 5-FOOT MINIMUM SIDE YARD AND A 10-FOOT MINIMUM REAR YARD ARE REQUIRED FOR THE LOT ABOVE. IF AN EXISTING RESIDENTIAL STRUCTURE OR A RESIDENTIAL ZONING DISTRICT, IF SIDE AND REAR YARDS ARE PROVIDED, THE MINIMUM SHALL BE FIVE (5) FEET.~~

- ~~N. BUILDING HEIGHT~~
- ~~THE MAXIMUM HEIGHT FOR STRUCTURES LOCATED WITHIN EACH TRACT THE SITE SHALL BE DEFINED AS FOLLOWS:~~
- ~~N-1. RESIDENTIAL USES WITHIN THE SITE SHALL HAVE A MAXIMUM BUILDING HEIGHT OF 60 FEET.~~
 - ~~N-2. COMMERCIAL USES WITHIN THE SITE SHALL HAVE A MAXIMUM BUILDING HEIGHT OF 60 FEET EXCEPT WHEN ABUTTING PROPERTY USED OR ZONED FOR SINGLE-FAMILY RESIDENTIAL. IN THIS INSTANCE, THE MAXIMUM BUILDING HEIGHT SHALL BE 40 FEET, EXCEPT THE HEIGHT MAY EXCEED 40 FEET IF THERE IS AN INCREASE IN SIDE AND REAR YARD OF ONE FOOT FOR EVERY FOOT OF BUILDING HEIGHT OVER 40 FEET UP TO THE 60-FOOT MAXIMUM.~~

- ~~BUILDING HEIGHT SHALL BE MEASURED AS DEFINED IN THE ORDINANCE PROVIDED THE FOLLOWING WILL NOT BE INCLUDED IN THE CALCULATION OF MAXIMUM BUILDING HEIGHT: SIGN LIGHTS, AND OTHER STRUCTURES FOR ELEVATORS, STAIRWAYS, TANKS, HEATING, VENTILATION, AIR CONDITIONING EQUIPMENT, OR SIMILAR EQUIPMENT FOR THE OPERATION AND MAINTENANCE OF A BUILDING AND ANY DEVICE USED TO SCREEN SUCH STRUCTURES AND EQUIPMENT.~~

7. STREETSCAPE AND LANDSCAPING

- A. STREETS WITHIN THE SITE MAY BE EITHER PUBLIC OR PRIVATE AS INDICATED ON THE SCHEMATIC PLAN. REGARDLESS OF WHETHER THE INTERNAL STREETS ARE PUBLIC OR PRIVATE, THEY SHALL REMAIN OPEN AND ACCESSIBLE TO THE PUBLIC.

- B. PUBLIC STREETS AND PRIVATE STREETS LOCATED WITHIN THE SITE OR IMPROVED AS A RESULT OF DEVELOPMENT RELATED TO THE SITE SHALL FOLLOW THE GUIDELINES FOR PUBLIC STREETS DESIGNATED BY THE CITY OF CHARLOTTE URBAN STREET DESIGN GUIDELINES WITHIN THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL.
- ~~C. A UNIFIED STREETSCAPE TREATMENT WILL BE IMPLEMENTED THROUGHOUT THE SITE, INCLUDING THE SITE'S FRONTAGE ON MONROE ROAD, CHIPPENDALE ROAD, AND SHADE VALLEY ROAD.~~

- D. SIDEWALK AND PLANTING STRIPS ALONG INTERNAL STREETS MAY BE INSTALLED IN PHASES AS THE PROJECT DEVELOPS.

- E. WHERE ON-STREET PARKING IS LOCATED ALONG PRIVATE STREETS WITHIN THE SITE, COORDINATION WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION SHALL BE PURSUED TO ENSURE DRIVEWAY PLACEMENT AND ON-STREET PARKING LOCATIONS ARE PLACED SO AS TO MINIMIZE POTENTIAL CONFLICTS. RESOLUTION OF DRIVEWAY PLACEMENT SHALL BE MADE DURING THE DRIVEWAY PERMITTING PROCESS.

- F. NO SURFACE PARKING OR MANEUVERING FOR PARKING IS PERMITTED WITHIN ANY REQUIRED OR ESTABLISHED SETBACK, OR BETWEEN THE PERMITTED USE AND THE REQUIRED SETBACK, EXCEPT THAT DRIVEWAYS PROVIDING ACCESS TO THE PARKING AREA MAY BE INSTALLED ACROSS THESE AREAS. IT IS THE INTENT THAT THESE DRIVEWAYS BE AS NEARLY PERPENDICULAR TO THE STREET RIGHT-OF-WAY AS POSSIBLE.

- MANEUVERING OF SERVICE VEHICLES FOR COMMERCIAL USES LOCATED WITHIN TRACTS A, B, OR C MAY BE UTILIZED WITHIN THE STREET LIMITS OF PROPOSED PRIVATE STREET C.

- ~~G. ON-STREET PARKING SPACES LOCATED ALONG THE PORTION OF A PUBLIC STREET (C) ABUTTING THE USE WHERE PARKING IS CURRENTLY PERMITTED MAY BE COUNTED TOWARD THE MINIMUM NUMBER OF PARKING SPACES AS REQUIRED BY THE ORDINANCE. THOSE ON-STREET PARKING SPACES MUST BE LOCATED ON THE SAME SIDE(S) OF THE STREET AS THE USE. HAVE A DIMENSION OF AT LEAST 22 FEET IN LENGTH, AND BE IN LOCATIONS APPROVED BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT). HOWEVER, ON-STREET PARKING DIRECTLY ACROSS THE STREET FROM THE USE MAY BE COUNTED IF THAT PARKING ABUTS PROPERTY, WHICH IS UNDEVELOPED BECAUSE OF PHYSICAL CONSTRAINTS. IN THE EVENT THAT THE CITY OR STATE REMOVES ANY ON-STREET PARKING THAT WAS ALLOWED TO COUNT TOWARD THE MINIMUM REQUIREMENT, THE EXISTING USE WILL NOT BE REQUIRED TO MAKE UP THE DIFFERENCE, AND WILL NOT BE MADE NON-CONFORMING.~~

- ~~H. ALL RECESSED ON-STREET PARKING SHALL HAVE A MINIMUM WIDTH OF 7 FEET MEASURED FROM FACE OF CURB. PER THE CITY OF CHARLOTTE URBAN STREET DESIGN GUIDELINES.~~

- 7. STREETSCAPE AND LANDSCAPING**
- ~~A. THE PARKING REQUIREMENTS (FOR NEW SPACES) OF THIS DEVELOPMENT MAY BE MET ON-SITE OR OFF-SITE AT A DISTANCE OF UP TO 800 FEET FROM THE PERMITTED USE. OFF-STREET PARKING TO MEET THE REQUIREMENTS OF THIS SECTION MAY BE PROVIDED THROUGH A LEASE, SUBJECT TO THE REVIEW AND APPROVAL OF THE DIRECTOR OF ENGINEERING AND PROPERTY MANAGEMENT (FOR COMMERCIAL AND MULTI-FAMILY PROJECTS, CHANGE OF USE PERMITS) OR THE DIRECTOR OF NEIGHBORHOOD DEVELOPMENT (FOR RESIDENTIAL PROJECTS, AND CHANGE OF USE PERMITS), OR THEIR DESIGNEE(S).~~
- J. PARKING THAT IS LOCATED TO THE REAR OF THE PRIMARY STRUCTURE MAY EXTEND THE ENTIRE WIDTH OF THE LOT, WITH THE EXCEPTION OF ANY REQUIRED PLANTING STRIPS. FOR TRACT(S) D AND E, PARKING THAT IS LOCATED TO THE SIDE OF THE PRIMARY STRUCTURE MAY COVER NO MORE THAN 35% OF THE TOTAL LOT WIDTH.

FOR PARKING LOCATED TO THE SIDE OF THE PRIMARY STRUCTURE WITHIN TRACT(S) A, B, AND C, THE AGGREGATE FOR PARKING ALONG THE ENTIRE BLOCK FRONTAGE SHALL BE AS FOLLOWS:

- J.1. TRACT(A) (MONROE ROAD, CHIPPENDALE ROAD, AND PRIVATE STREET A FRONTAGE) - AGGREGATE PARKING FRONTAGE SHALL NOT EXCEED NOT EXCEED 50%.
- J.2. TRACT(A) (PRIVATE STREET C FRONTAGE) - IF A COMMERCIAL USE GREATER THAN 25,000 SQUARE FEET IS PLACED ON TRACT(C), PARKING FRONTAGE SHALL NOT EXCEED NOT EXCEED 75%. IF A COMMERCIAL USE LESS THAN 25,000 SQUARE FEET IS PLACED ON TRACT(C), PARKING FRONTAGE SHALL NOT EXCEED NOT EXCEED 50%.
- J.3. TRACT(B) (MONROE ROAD, SHADE VALLEY ROAD, PRIVATE STREET A, AND PRIVATE STREET C FRONTAGE) - AGGREGATE PARKING FRONTAGE SHALL NOT EXCEED NOT EXCEED 50%.
- J.4. TRACT(C) (CHIPPENDALE ROAD, PRIVATE STREET B, AND PRIVATE STREET C FRONTAGE) - AGGREGATE PARKING FRONTAGE SHALL NOT EXCEED NOT EXCEED 50%.

- ~~K. THE FIVE-FOOT PLANTING STRIP OR WALL AS INDICATED UNDER SECTION 4.1.6 MAY BE ELIMINATED IF ABUTTING PARKING LOTS ARE COMBINED OR INTERCONNECTED WITH VEHICULAR AND PEDESTRIAN ACCESS. IF A WALL IS PROVIDED, THEN THE AREA DEVOTED TO THE WALL SHALL BE WIDE ENOUGH TO ALLOW FOR THE MAINTENANCE SURFACE PARKING LOTS SHALL CONFORM TO THE CHARLOTTE TREE ORDINANCE.~~

- ~~L. NON-RESIDENTIAL BUILDINGS AND STRUCTURES MUST PROVIDE A MINIMUM NUMBER OF OFF-STREET SERVICE/DELIVERY PARKING SPACES. THESE SPACES MUST BE DESIGNED AND CONSTRUCTED SO THAT ALL PARKING MANEUVERS CAN TAKE PLACE ENTIRELY WITHIN THE REQUIRED SETBACK. THE PREMISES WITHIN THE SETBACK OF SERVICE VEHICLES MANEUVERING FOR COMMERCIAL USES LOCATED WITHIN TRACT(S) A, B, OR C MAY BE UTILIZED WITHIN THE STREET LIMITS OF PROPOSED PRIVATE STREET C. THESE SERVICE/DELIVERY PARKING SPACES MUST NOT INTERFERE WITH THE NORMAL MOVEMENT OF VEHICLES AND PEDESTRIANS USING THE PUBLIC RIGHTS-OF-WAY OR PRIVATE STREETS, EXCEPT AS PERMITTED BY THE CITY CODE. THE PARKING SPACES MUST BE A MINIMUM OF 10 FEET BY 25 FEET AND BE PROVIDED IN AGGREGANCE WITH THE FOLLOWING:~~

- ~~NON-RESIDENTIAL USES WITH 50,000+ SQUARE AREA~~
- ~~L-1. LESS THAN 50,000 SQUARE FEET: NONE REQUIRED~~
 - ~~L-2. 50,000 - 150,000 SQUARE FEET: ONE (1) SPACE~~
- ~~EXISTING BUILDINGS ARE EXEMPT FROM THESE LOADING STANDARDS.~~

- M. NO LOADING SPACES MAY BE PERMITTED WITHIN ANY REQUIRED OR ESTABLISHED SETBACK, OR BETWEEN THE PERMITTED USE AND THE REQUIRED SETBACK, EXCEPT THAT DRIVEWAYS PROVIDING ACCESS TO THE LOADING AREA MAY BE INSTALLED ACROSS THESE AREAS. IT IS THE INTENT THAT THESE DRIVEWAYS ARE AS NEARLY PERPENDICULAR TO THE STREET RIGHT-OF-WAY AS POSSIBLE.

- ~~N. ALL SURFACE PARKING LOTS FOR MORE THAN 10 VEHICLES, SERVICE ENTRANCES OR UTILITY STRUCTURES ASSOCIATED WITH A BUILDING, LOADING DOCKS OR SPACES AND OUTDOOR STORAGE OF MATERIALS, STOCK AND EQUIPMENT SHALL BE SCREENED FROM THE ADJACENT PROPERTY AND VIEW FROM A PUBLIC STREET AS DESIGNATED BY AN ADOPTED PLAN. SUCH SCREENING SHALL CONSIST OF EITHER A 5-FOOT WIDE PLANTING STRIP CONSISTING OF EVERGREEN SHRUBBERY ACCORDING TO THE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE OR A 3-FOOT HIGH MINIMUM TO 6-FOOT TALL MAXIMUM SOLID AND FINISHED MASONRY WALL OR ALTERNATIVE AS APPROVED BY THE PLANNING DIRECTOR OR HIS OR HER AUTHORIZED DESIGNEE. HOWEVER, A WALL CANNOT BE SUBSTITUTED FOR THE PLANTING STRIP ALONG ANY PUBLIC STREET UNLESS SUPPLEMENTED BY LANDSCAPING IN A MINIMUM 3-FOOT WIDE PLANTING STRIP. SCREENING MAY BE REDUCED IN HEIGHT TO 30 INCHES WITHIN SIGHT TRIANGLES AS REQUIRED BY THE ORD.~~

- ~~O. DUMPSTERS OR TRASH HANDLING AREAS MUST ALWAYS BE SCREENED FROM ADJACENT PROPERTY AND FROM PUBLIC VIEW WITH A MINIMUM 5-FOOT SOLID AND FINISHED MASONRY WALL WITH A GATE AND GLEASABLE GATE. A SOLID WOODEN FENCE MAY BE SUBSTITUTED FOR THE DUMPSTERS OR TRASH HANDLING AREAS ARE NOT VISIBLE FROM A PUBLIC STREET. DUMPSTERS ARE NOT ALLOWED IN ANY REQUIRED SETBACK OR YARD SPACE.~~

- ~~P. THE PLANNING DIRECTOR, OR HIS OR HER AUTHORIZED DESIGNEE, SHALL HAVE THE AUTHORITY TO MODIFY THE SCREENING REQUIREMENTS, INCLUDING MODIFICATION OF THE 5-FOOT PLANTING STRIP, AS LONG AS THE INTENT OF THIS SECTION IS MET.~~

- Q. ALL USES IN THE DEVELOPMENT AREA, OTHER THAN SINGLE-FAMILY DETACHED UNITS, MUST PROVIDE A BUFFER ALONG ALL EDGES ABUTTING NEIGHBORHOOD DISTRICTS. HOWEVER, MULTI-FAMILY DEVELOPMENTS ABUTTING MULTI-FAMILY USES OR UNDEVELOPED MULTI-FAMILY ZONING DISTRICTS ARE EXEMPT FROM THIS BUFFERING REQUIREMENT.

- R. SUCH BUFFERING SHALL CONSIST OF A 10-FOOT WIDE PLANTING STRIP. THE PLANTING STRIP SHALL CONSIST OF A COMBINATION OF EVERGREEN TREES AND EVERGREEN SHRUBS. PLANT MATERIALS WILL BE PROVIDED AT A MINIMUM OF SIX (6) TREES AND TWENTY (20) SHRUBS PER 100 LINEAR FEET IN ACCORDANCE WITH THE CITY OF CHARLOTTE ZONING ORDINANCE. THE 10-FOOT WIDE PLANTING STRIP MAY BE REDUCED TO 5 FEET AND THE SHRUBS NEED NOT BE PLANTED IF A MASONRY WALL WITH A MINIMUM HEIGHT OF 6 TO 8 FEET IN A SIDE YARD OR 8 TO 10 FEET IN A REAR YARD IS INSTALLED. THIS BUFFERING AREA MAY BE INTERRUPTED WITH A GATE/PEDESTRIAN ACCESS WAY TO AN ADJACENT SITE.

- ~~S. SIDEWALKS AND TREES WILL BE INSTALLED IN AGGREGANCE WITH A STREETSCAPE PLAN APPROVED BY THE CITY COUNCIL.~~

- ~~T. TREES MUST BE PLANTED IN AGGREGANCE WITH THE CHARLOTTE TREE ORDINANCE AS PER THE CHARLOTTE-MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.~~

- ~~U. THE PLANNING DIRECTOR, OR HIS OR HER AUTHORIZED DESIGNEE, WITH THE AFFIRMATIVE RECOMMENDATION OF THE CITY ARBORIST/URBAN FORESTER SHALL HAVE THE AUTHORITY TO MODIFY THE ABOVE STREETSCAPE REQUIREMENTS, INCLUDING THE MODIFICATION OF THE PLANTING STRIP, SIDEWALK LOCATION AND WIDTH IN ORDER TO PRESERVE EXISTING TREES AND BUILDINGS.~~

8. ENVIRONMENTAL FEATURES

- A. THE PETITIONER SHALL ADHERE TO THE REQUIREMENTS OF THE POST-CONSTRUCTION STORM WATER ORDINANCE FOR THE CITY OF CHARLOTTE FOR THIS DEVELOPMENT AREA.

- B. EXISTING SIGNIFICANT TREES OR GROUPS OF TREES SHALL BE SAVED WHEREVER POSSIBLE.

- ~~C. THE PETITIONER SHALL SUBMIT TO THE MECKLENBURG COUNTY SOLID WASTE DEPARTMENT A SOLID WASTE MANAGEMENT PLAN PRIOR TO INITIATING DEMOLITION AND/OR CONSTRUCTION ACTIVITIES. THE SOLID WASTE MANAGEMENT PLAN WILL INCLUDE: A MINIMUM, THE PROCEDURES THAT WILL BE USED TO RECYCLE ALL CLEAN WOOD, METAL AND CONCRETE GENERATED DURING DEMOLITION AND CONSTRUCTION ACTIVITIES. ADDITIONALLY, THE SOLID WASTE MANAGEMENT PLAN WILL SPECIFY THAT ALL LAND CLEARING AND INERT DEBRIS SHALL BE TAKEN TO A PROPERLY PERMITTED FACILITY. THE PLAN SHALL ALSO INCLUDE A REQUIREMENT THAT A MONTHLY REPORTING OF ALL TONNAGE DISPOSED AND RECYCLED WILL BE MADE TO THE MECKLENBURG COUNTY SOLID WASTE PROGRAM. THE REPORT SHALL INCLUDE THE IDENTIFICATION AND LOCATION OF ALL FACILITIES RECEIVING DISPOSED OR RECYCLED MATERIALS.~~

- 9. PARKS, GREENWAYS, AND OPEN SPACE**
- A. SINCE DEVELOPMENT OCCURRING ON THE SITE IS PART OF A UNIFIED MASTER PLANNED DEVELOPMENT, THE URBAN OPEN SPACE REQUIREMENTS OF THE ORDINANCE WILL BE SATISFIED WITH REFERENCE TO ALL TRACT(S) OF THE SITE TAKEN TOGETHER. BY WAY OF EXAMPLE, OPEN SPACE LOCATED ON TRACT(S) THAT EXCEEDS THE URBAN OPEN SPACE REQUIREMENTS FOR TRACT E MAY BE USED TO SATISFY THE URBAN OPEN SPACE REQUIREMENTS ASSOCIATED WITH TRACT(A).

- 10. FIRE PROTECTION**
- A. THE PETITIONER SHALL ADHERE TO THE REQUIREMENTS OF THE CHARLOTTE FIRE DEPARTMENT FOR THIS DEVELOPMENT AREA.

- 11. SIGNAGE**
- A. WHERE SIGNS, BANNERS, FLAGS AND PENNANTS FOR IDENTIFICATION OR DECORATION ARE PROVIDED, THEY MUST CONFORM TO THE REQUIREMENTS OF CHAPTER 13 OF THE CITY OF CHARLOTTE ZONING ORDINANCE, EXCEPT FOR THE FOLLOWING:

- ~~B. SPECIFICATIONS FOR PERMANENT SIGNS SHALL BE ACCORDING TO THE CITY OF CHARLOTTE ZONING ORDINANCE, EXCEPT FOR SIGNS LOCATED ON ANY BUILDING WALL OF A STRUCTURE. SHALL HAVE A MAXIMUM SIGN SURFACE OF ALL SIGNS ON ONE WALL NOT TO EXCEED 5% OF BUILDING WALL AREA TO WHICH THE SIGN IS ATTACHED, UP TO A MAXIMUM OF 100 SQUARE FEET. WALL SIGNS MAY BE INCREASED BY 10% PER SIGN IN LIEU OF A GROUND MOUNTED OR MONUMENT SIGN.~~

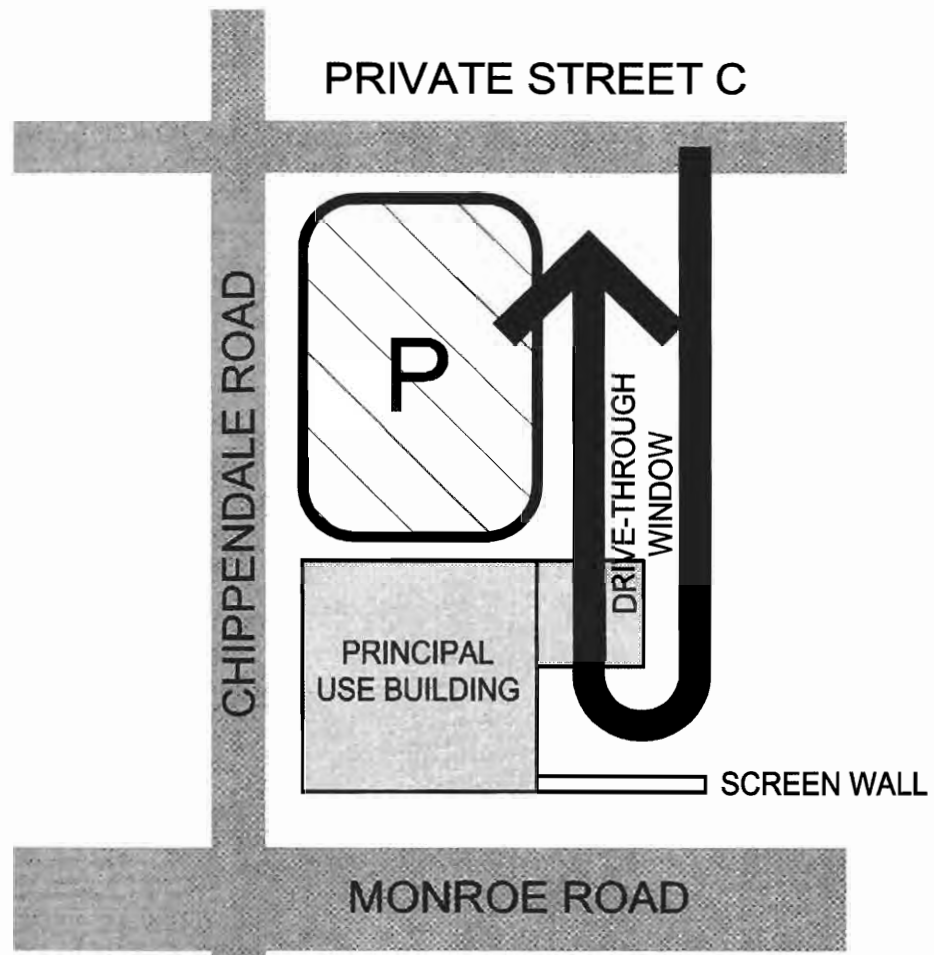
- ~~C. PERMANENT DETACHED POLE SIGNS SHALL NOT BE PERMITTED.~~

- ~~D. GROUND MOUNTED OR MONUMENT SIGNS ARE ALLOWED AS FOLLOWS:~~
- ~~D-1. NOT TO EXCEED 7 FEET IN HEIGHT AND 32 SQUARE FEET IN AREA.~~
 - ~~D-2. LOCATED BEHIND THE RIGHT-OF-WAY AND OUT OF ANY SIGHT DISTANCE TRIANGLE PRESCRIBED BY THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (CDOT).~~
 - ~~D-3. SIGNS MUST BE LOCATED A MINIMUM OF 14 FEET FROM THE EXISTING OR FUTURE CURBS, WHICHEVER IS GREATER.~~

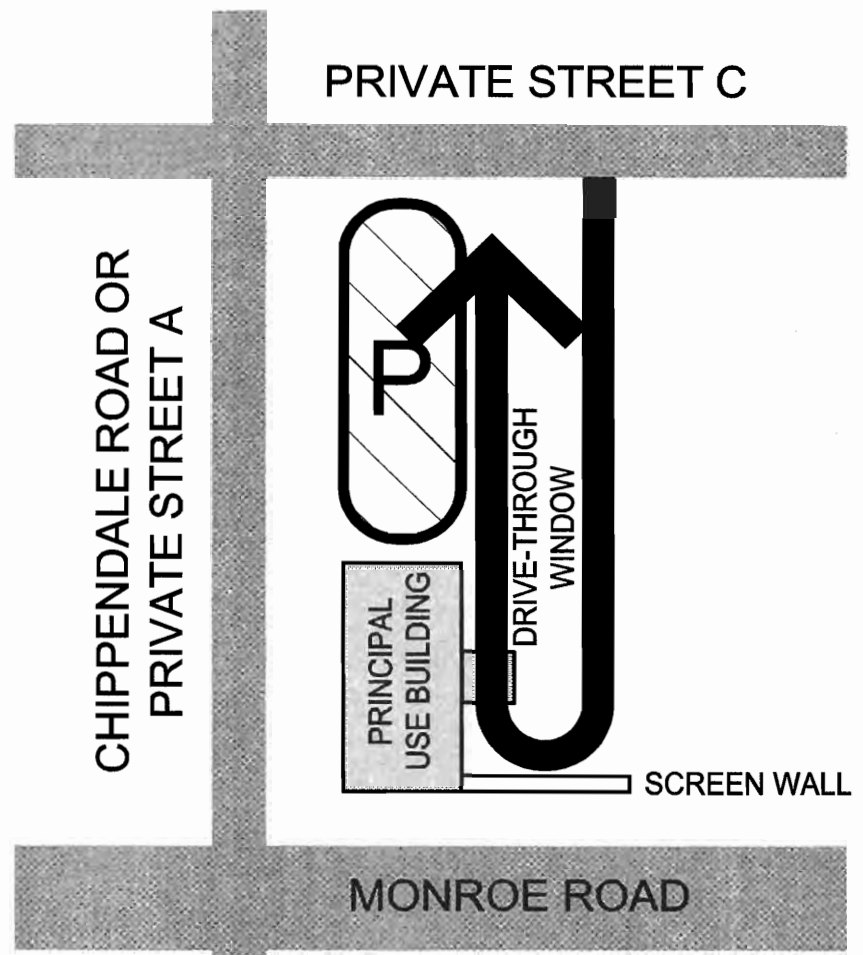
- ~~E. NO OUTDOOR ADVERTISING SIGNS (BILLBOARDS) WILL BE PERMITTED.~~

- ~~F. MARQUEE AND MESSAGE CENTER SIGNS ARE ALLOWED.~~

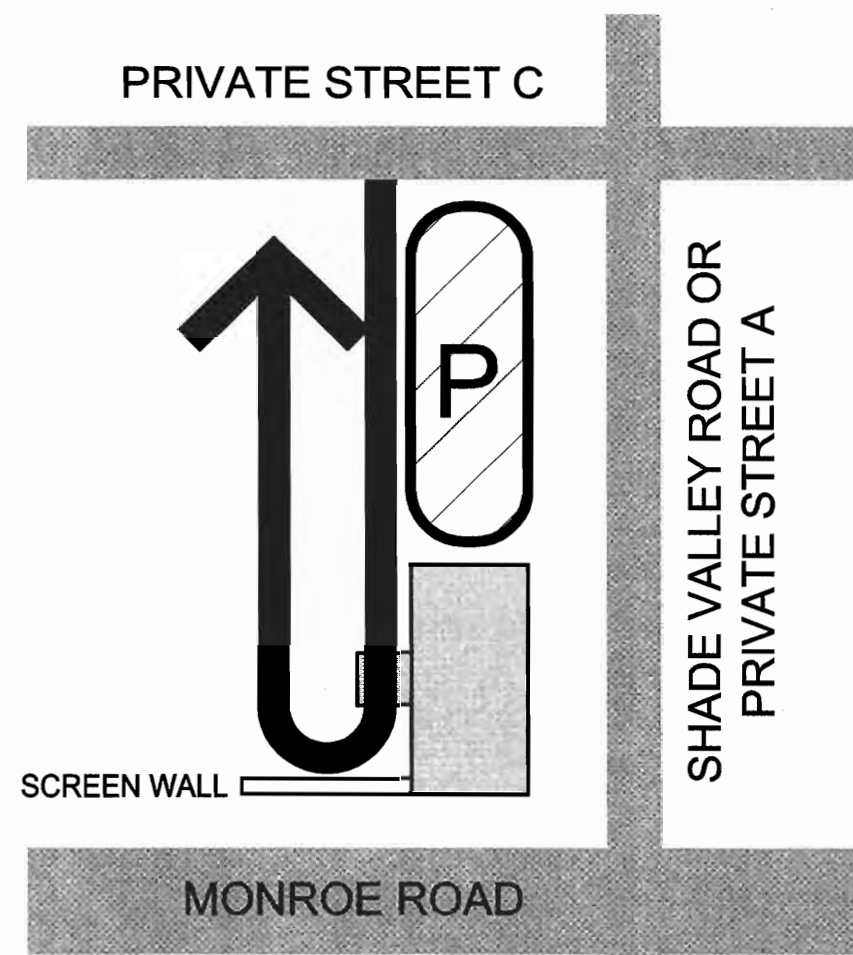
- ~~G. SIGNS ARE ALLOWED TO PROTECT NINE (9) FEET INTO THE REQUIRED SETBACK OR ONE HALF THE WIDTH OF THE~~



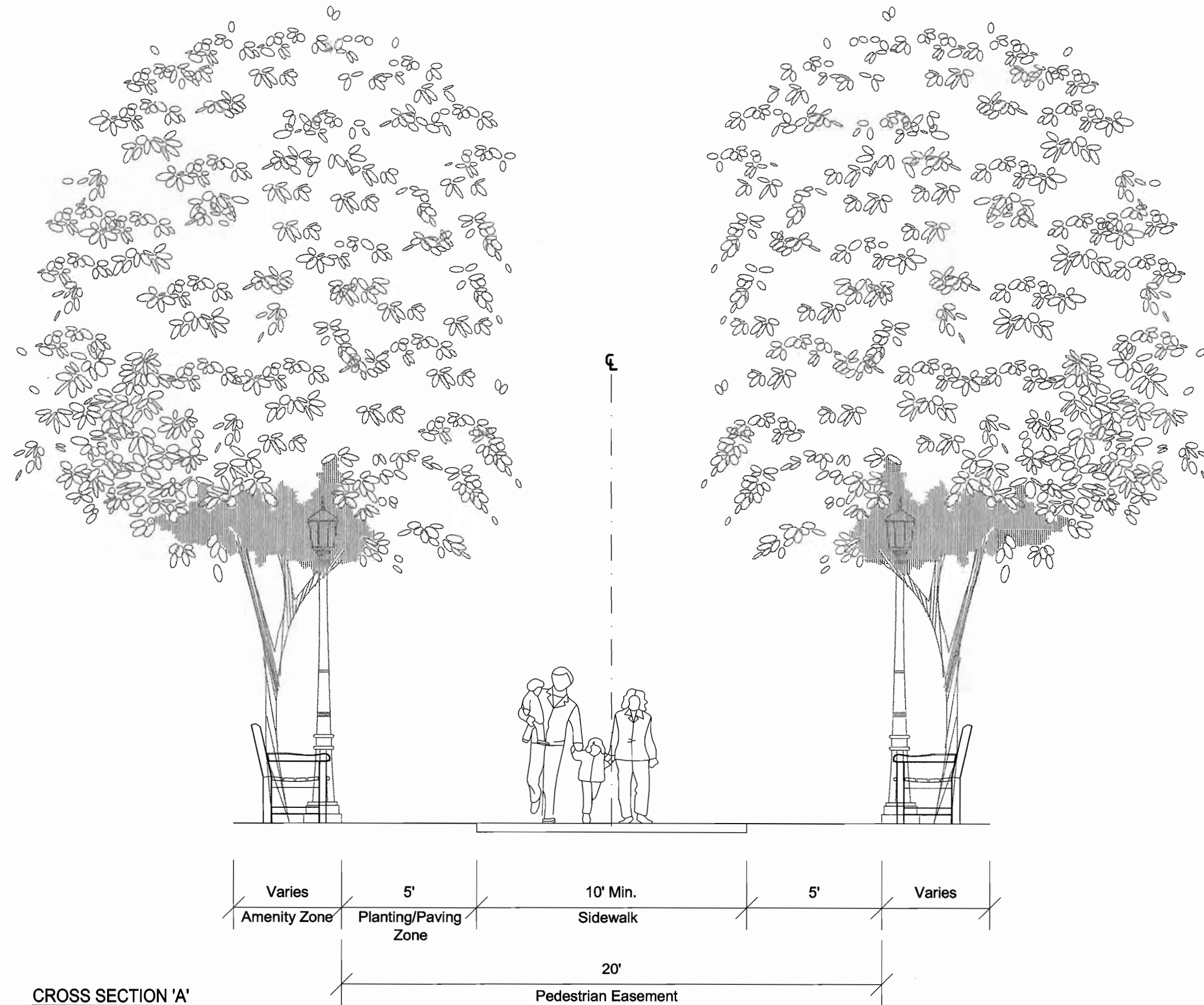
SCHEMATIC DRIVE-THROUGH CIRCULATION - OPTION 1
NOT TO SCALE



SCHEMATIC DRIVE-THROUGH CIRCULATION - OPTION 2
NOT TO SCALE

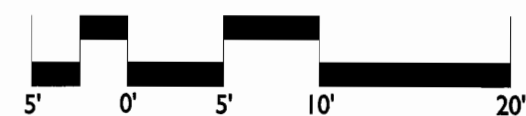
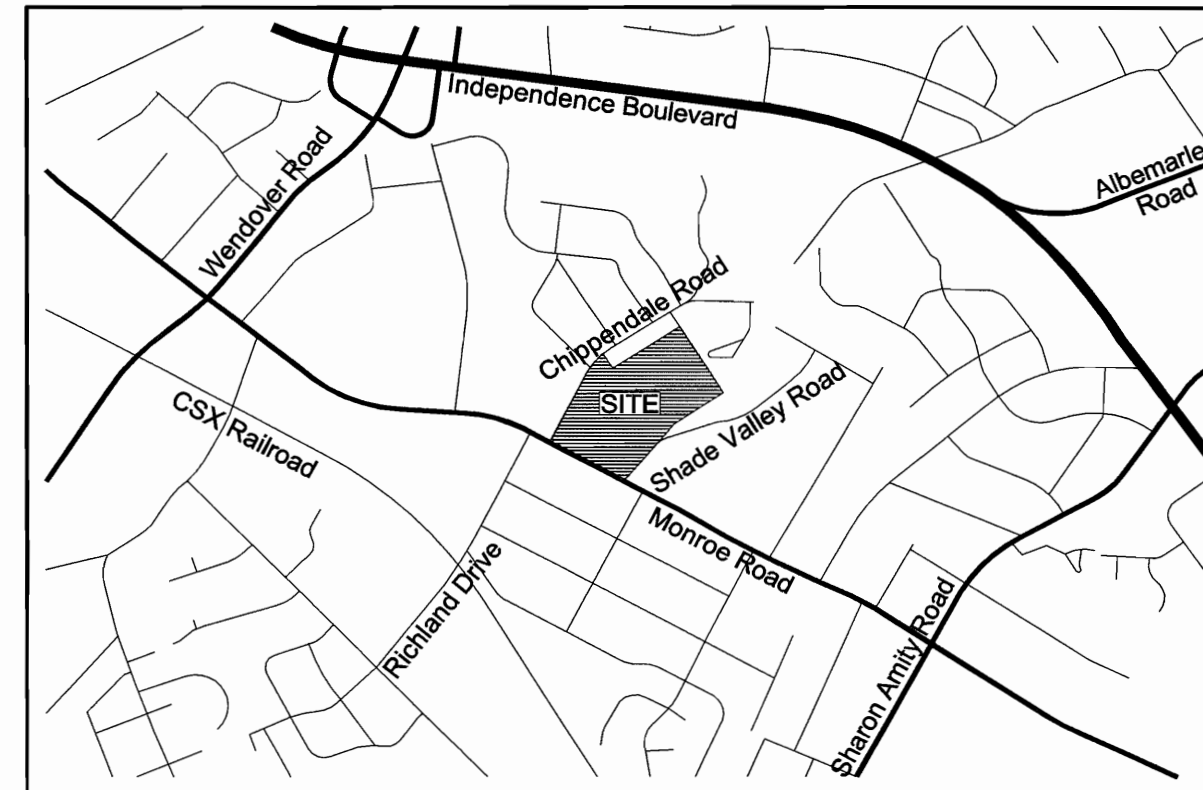


SCHEMATIC DRIVE-THROUGH CIRCULATION - OPTION 3
NOT TO SCALE



CROSS SECTION 'A'
- PROPOSED 20' PEDESTRIAN EASEMENT

VICINITY MAP - NOT TO SCALE



REVISIONS:
06/18/10 REVISED PER CITY STAFF COMMENTS

DATE: APRIL 26, 2010
DRAWN BY: C. DAVIS / CHK
CHECKED BY: RP
Q.C. BY: RP
SCALE: 1/4" = 1'-0"
PROJECT #: 100720

SHEET #:

Z-3.0

OAKHURST
NEIGHBORHOOD SERVICES DEVELOPMENT
DAVID R. KRUG ASSOCIATES, INC.; CHARLOTTE, NC
TYPICAL STREET CROSS SECTIONS

FOR PUBLIC HEARING
PETITION NO. 2010-042

LandDesign

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