

= Revision 1

Development Data:

Tax Parcel Number: 087-071-15
Acreage: 1.52
Existing Zoning: O-2
Proposed Zoning: B-2 (CD)
Minimum Setback: 30 ft (per Section 12.102(1))
Minimum Side Yard: 0 ft
Rear Yard: 10 ft
Prop. Min. Parking: (0.20 spaces per 90 rooms) = 18 spaces
Exist. Building: 22,542 sf total, 27'1-1/2" in height, 3 stories

Development Notes:

Binding Effect of the Rezoning Request

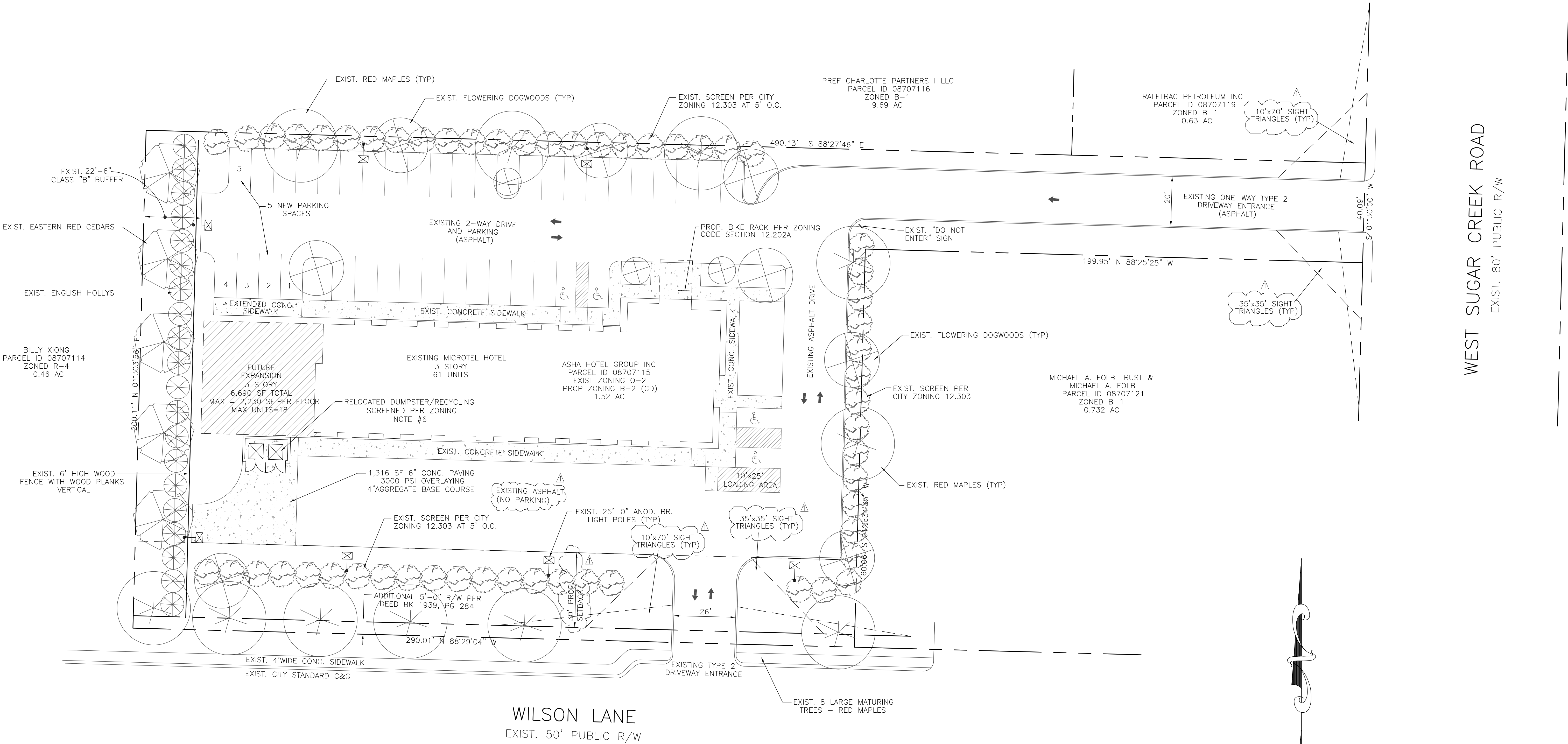
- Should the rezoning request be approved by City Council, all conditions applicable to development of this site are imposed under the development notes and technical data sheet, unless amended in the manner provided in the zoning ordinance will be binding upon the petitioner and the current and subsequent owners of the site and their successors in interest and assigns.
- Throughout the development notes, the term Petitioner and Owner shall include Heirs, Devises, Personal Representatives, and Successors in interest and assigns of the petitioner or owner of the site who may be involved in future development thereof.

General Provision

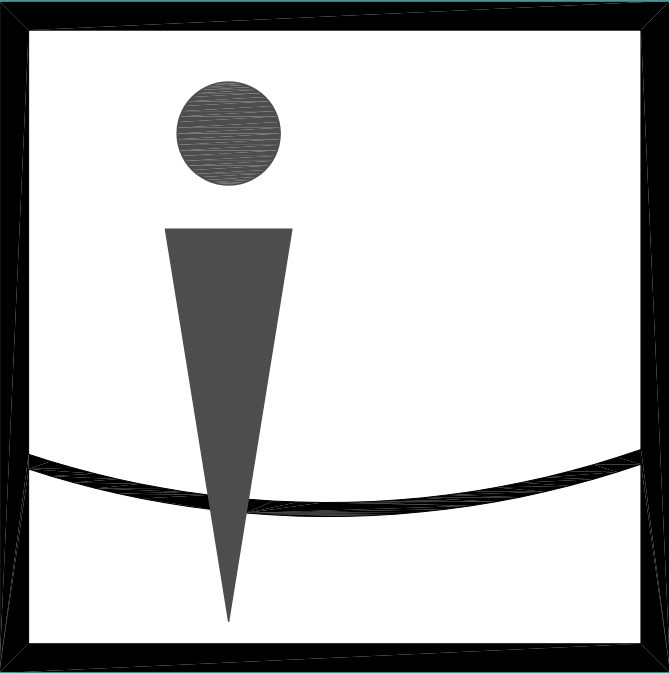
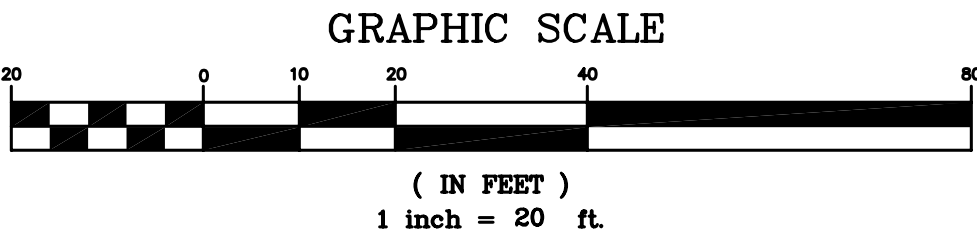
- Unless more stringent standards are established by the Technical Data Sheet or Development Notes, all requirements under the zoning ordinance for the zoning district shall be followed.
- Maximum number of rooms proposed for the SRO use is 79 units.
- Maximum future building area is 6,690 sf, 3 stories, and 27'1-1/2" in height.

- The proposed uses on the site are a Single Room Occupancy (SRO) residence subject to the provisions of code section 12.527 of the Zoning Ordinance, or a motel/hotel.
- The dumpsters will be screened by a 6' solid wood fence or a solid masonry with a solid wood gate.
- All proposed trees, fences and signs will not interfere with sight distance at the entrance of the site. Any fence requiring a certificate will be obtained from the CDOT.
- The sidewalk existing may remain. The planting width will exceed the 8 feet to save trees 6" in caliper and larger.
- No storm water detention in buffer or setbacks.
- All the new utilities to be underground.
- The building height will not exceed 40'.
- Buffers and Screening: As depicted on the Schematic Site Plan, a Class B Buffer with a 6' wooden fence shall be established along the site's west development boundary line abutting a residential use or district.
- Lighting: All freestanding lighting and all exterior lighting will be shielded with full cut-off fixtures so as to minimize the impact from lights that may be visible from nearby properties. Freestanding lighting shall not exceed 25 feet in height. No wall "puk" type lighting shall be used, but attached decorative lighting fixtures such as sconces may be used.
- Vehicular accesses shall be limited to the two shown on this plan. The exact location may vary from depicted, but shall comply with all applicable design/location requirements of the Charlotte Department of Transportation.
- Adequate sight triangles must be reserved at the existing driveways. Two 35'x35' and two 10'x70' sight triangles are required for the driveways to meet requirements. All proposed trees, berms, walls, fences, and/or identification signs must not interfere with sight distance at the entrance(s). Such items should be identified on the site plan.

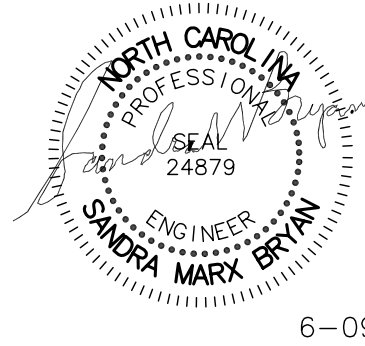
- The proposed driveway connections to Wilson Lane and West Sugar Creek Road will require a driveway permit to be submitted to CDOT and the North Carolina Department of Transportation for review and approval. The exact driveway location(s) and type/width of the driveway(s) will be determined by CDOT during the driveway permit process. The locations of the driveway(s) shown the site plan are subject to change in order to align with driveway(s) on the opposite side of the street and comply with City Driveway Regulations and the City Tree Ordinance.
- Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
- A Right-of-Way Encroachment Agreement is required for the installation of any non-standard item(s) (irrigation systems, decorative concrete pavement, brick pavers, etc.) within a proposed/existing City maintained street right-of-way by a private individual, group, business, or homeowner's/business association. An encroachment agreement must be approved by CDOT prior to the construction/installation of the non-standard item(s). Contact CDOT for additional information concerning cost, submittal, and liability insurance coverage requirements.
- Air Quality: Development of this site may require submission of an asbestos Notification of Demolition and Renovation due to possible demolition or relocation of an existing structure or renovation of a load-bearing wall in an existing structure. This notification is required in accordance with the Mecklenburg County Air Pollution Control Ordinance (MCAPCO) Regulation 2.1110 - Subparagraph (a) - "National Emission Standards for Hazardous Air Pollutants". A letter of notification and the required forms will be mailed directly to the parcel owner.



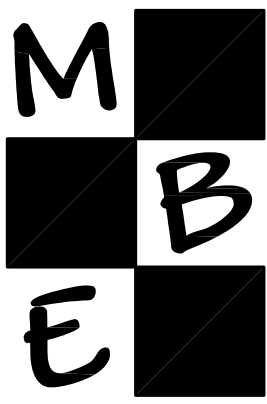
**CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION



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6-09-10



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MICROTEL HOTEL RENOVATION

1111 West Sugar Creek Road
Charlotte, North Carolina

Key Plan

ISSUED :	MM/DD/YY
RE-ZONING PLAN :	04.20.10
REVISION 1 :	06.09.10

REZONING PETITION
NUMBER 2010-040
SITE PLAN

C1.0

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