

- PLAN LEGEND**
- PROPERTY BOUNDARY
 - REZONING/TRACT BOUNDARY
 - BUILDING ENVELOPE
 - COUNTY BOUNDARY LINE

DEVELOPMENT SUMMARY

REZONING SITE AREA:	
TRACT A:	4.04 AC
TRACT B:	2.24 AC
TOTAL ACREAGE:	6.28 AC
TAX PARCEL ID #:	Portions of 105-201-08 and Portions of 105-201-35
EXISTING ZONING:	CC
PROPOSED ZONING:	BD-CD (Business Distributive - Conditional) CC SPA
PROPOSED USES:	Self Storage Facility/Office Office/Retail
MAXIMUM BUILDING AREA:	101,400 SF Self Storage Facility/Office 28,000 SF Office/Retail 16,000 SF Retail (Approximately 13,700 SF of the 16,000 SF Retail building is located in Cabarrus County and approximately 2,300 SF is on the site in Mecklenburg County.)
MAXIMUM BUILDING HEIGHT:	55' 40'
FLOOR AREA RATIO:	0.58 0.45
PARKING:	57 Required, 59 Provided 158 Required, 170 Provided

BUSINESS DISTRIBUTIVE DISTRICT REQUIREMENTS

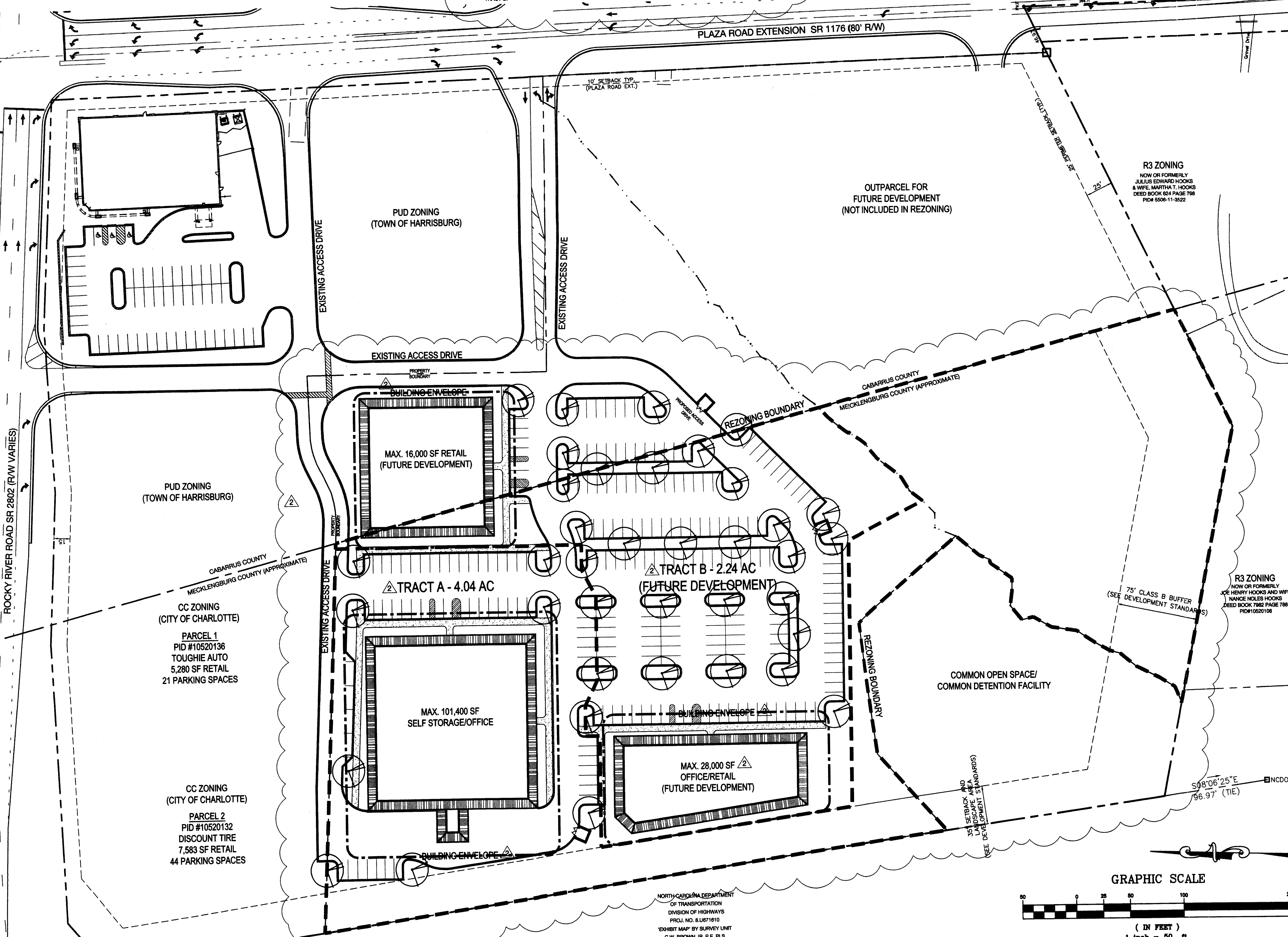
- (1) MINIMUM SETBACK: 20'
- (2) MINIMUM SIDE YARD: 10'
- (3) MINIMUM REAR YARD: 10'
- (4) MAXIMUM HEIGHT: 40' (or as allowed by Section 9.8.05(1)(b), note 7)
- (5) MAXIMUM FLOOR AREA RATIO: 0.70
- (6) PARKING REQUIREMENT: Self-Storage Facility: Office:

COMMERCIAL CENTER DISTRICT REQUIREMENTS

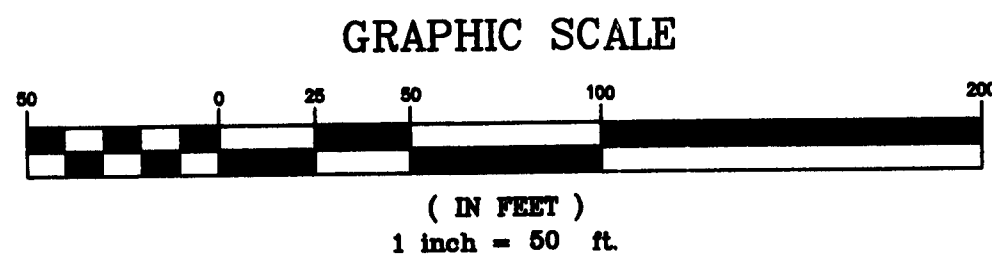
- (1) MINIMUM SETBACK: 14' From back of existing or future curb, whichever is greatest
- (2) MINIMUM SIDE YARD: 25'
- (3) MINIMUM REAR YARD: 25'
- (4) MAXIMUM HEIGHT: 40'
- (5) MAXIMUM FLOOR AREA RATIO: 1.0
- (6) MINIMUM BUILDING SEPARATION: 10'
- (7) MINIMUM DISTANCE FROM BUILDING TO BACK OF CURB ON PRIVATE DRIVES AND PARKING FIELDS: Per Ordinance
- (10) PARKING

DEVELOPMENT STANDARDS

- GENERAL PROVISIONS**
 - Unless more stringent standards are established by the Rezoning Plan or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the B-D zoning district classification shall be followed in connection with development taking place on that portion of the Site designated as Tract A on the Rezoning Plan.
 - Unless more stringent standards are established by the Rezoning Plan or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the CC zoning district shall be followed in connection with the development taking place on that portion of the Site designated as Tract B on the Rezoning Plan.
 - The division of the Site into Tract A and Tract B on the Rezoning Plan is solely for the purposes of the Rezoning Ordinance and may or may not represent any future property lines in the event that the Site is subsequently subdivided. Petitioner does, however, reserve the right to subdivide the Site in the future.
 - The configurations, placements and sizes of the buildings depicted on the Rezoning Plan are schematic in nature and subject only to the provisions set forth below under Architectural Controls, may be altered or modified during design development and construction document phases within the Building Envelope lines established on the Rezoning Plan. Parking layouts may also be modified to accommodate final building locations.
- PERMITTED USES**
 - Tract A may be devoted only to the following uses:
 - a self storage facility, such facility's rental and management offices and to any accessory uses that are clearly incidental and related thereto; and
 - office uses and any accessory uses that are clearly incidental and related thereto.
 - All storage shall be located within the building located on Tract A, and the outside storage of any type, including the outside storage of moving vans, trailers, vehicles and boats, shall not be permitted.
 - The storage of hazardous materials is prohibited.
- Tract B**
 - Tract B may be devoted to any use permitted by right in the CC zoning district, provided, however, that the following uses shall not be permitted on Tract B:
 - automotive service stations, including minor adjustments, repairs and lubrication;
 - dwellings, detached, duplex, triplex, quadplex, attached, multi-family and mixed use buildings;
 - funeral homes, embalming and crematories;
 - hotels and motels;
 - lodges and inns;
 - locksmiths and gunsmiths; and
 - outdoor recreation.
 - Tract B may be devoted to any uses permitted under prescribed conditions in the CC zoning district, provided, however, that the following uses shall not be permitted on Tract B:
 - adult care centers;
 - dwellings, mixed use;
 - dwellings, planned multi-family and attached development, a single multi-family or attached building on a lot with more than twelve (12) units in a building; and
 - nightclubs, bars and lounges.
 - Tract B may be devoted to any accessory uses that are clearly incidental and related to the permitted uses on Tract B.
- BUFFERS**
 - The Class B buffer area established on the Rezoning Plan shall conform to the standards for such a buffer as set out in Section 12.302 of the Ordinance subject, however, to the provisions of Section 12.304 thereof. The width of the Class B buffer area may not be reduced except as provided below in paragraph 3.b.
 - In the event that an adjacent parcel of land is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirements on the Site, the Petitioner may reduce or eliminate, as the case may be, the buffer area set out on the Rezoning Plan accordingly.
 - The buffer area shall remain as open space except to the extent necessary to accommodate grade changes and the installation and maintenance of a wall, fence or berm, utility lines or drainage facilities and any grading associated therewith.
 - Where existing trees and natural vegetation have been cleared within the buffer area to accommodate grade changes or the installation and maintenance of a wall, fence or berm, utility lines or drainage facilities and any grading associated therewith, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of the Ordinance.
 - No buildings, parking spaces or maneuvering areas may be located within the buffer area.
- SETBACKS, SIDE YARDS AND REAR YARDS**
 - Development of that portion of the Site designated as Tract A on the Rezoning Plan shall comply with the setback, rear yard and side yard requirements established under the Ordinance for the B-D zoning district, which requirements are more particularly depicted on the Rezoning Plan.
 - Development of that portion of the Site designated as Tract B on the Rezoning Plan shall comply with the setback, rear yard and side yard requirements established under the Ordinance for the CC zoning district, which requirements are more particularly depicted on the Rezoning Plan.
 - No buildings, parking spaces or maneuvering areas may be located within the setbacks.
- SCREENING/TREE ORDINANCE/LANDSCAPE AREA**
 - Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
 - All roof mounted mechanical equipment placed on any building located on the Site will be screened from view at grade from adjoining public rights of way and abutting properties.
 - Any dumpsters visible from a public street or from an adjoining parcel of land will be screened from view by a solid-enclosure with gates. If one or more sides of a dumpster area adjoin the rear wall of a building, the rear wall may be substituted for the fence along each side.
 - Development of the Site shall comply with the City of Charlotte Tree Ordinance.
 - The 35 foot setback and landscape area located along the Site's western boundary line shall meet the tree and shrub requirements for a Class B buffer.
- PARKING**
 - Off-street parking will be provided as set out in the Development Summary table and will otherwise meet the minimum requirements set out in the Ordinance.
- LIGHTING**
 - The maximum height of any free standing lighting fixture (including its base) installed on the Site shall be 20 feet. All free standing lighting fixtures installed on the Site shall be capped and fully shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site. Consideration will be given to the impact of lighting both within and without the perimeter of the Site. Items for consideration will include intensity, cut-off angles, color, energy efficiency and shielding of sources of light, the intent being to eliminate glare towards public streets and adjacent properties. No wall pack style light fixtures will be permitted on the Site, and any wall mounted light fixtures installed on the Site shall be capped and fully shielded so that illumination does not extend past any property line of the Site.
- SIGNS**
 - All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.
 - The maximum size of any wall sign installed on the building to be located on Tract A shall be the lesser of 100 square feet or 5 % of the wall surface of the relevant wall.
- ACCESS POINTS (DRIVEWAYS)**
 - The number of vehicular access points to the Site shall be limited to the number depicted on the Rezoning Plan.
 - The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the City of Charlotte Department of Transportation and/or the North Carolina Department of Transportation.
- FIRE PROTECTION**
 - Adequate fire protection in the form of fire hydrants will be provided to the Mecklenburg County Fire Marshal's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.
- STORM WATERWETLANDS**
 - Storm water detention measures shall be provided as set out on the attached storm water management plan.
 - Any jurisdictional wetlands or streams, if present, need to be protected or proper environmental permits obtained prior to their disturbance. For 401 permits contact DEHNR. For 404 permits contact the Army Corps of Engineers.
- ARCHITECTURAL CONTROLS**
 - The maximum height of the building to be constructed on Tract A shall be 55 feet.
 - The maximum height of any building constructed on Tract B shall be 40 feet.
 - The total maximum gross floor area of the building to be constructed on Tract A shall be 101,400 square feet. The building to be constructed on Tract A must be located within the building envelope lines depicted on the Rezoning Plan. The building to be constructed on Tract A may be constructed in two phases at the option of the Petitioner, with the size of each phase to be determined by the Petitioner.
 - A minimum of 4,000 square feet and a maximum of 10,000 square feet of the gross floor area of the building to be constructed on Tract A shall be devoted to office uses, with the remainder of the building being devoted to self storage uses.
 - A maximum of two buildings may be constructed on Tract B. The building located along the eastern edge of Tract B may contain a maximum of 16,000 square feet of gross floor area, with approximately 13,700 square feet being located in Cabarrus County and approximately 2,300 square feet being located on the site in Mecklenburg County. The building located along the western edge of Tract B may contain a maximum of 28,000 square feet of gross floor area.
 - Attached are architectural elevations of the north, east, south and west facades of the building proposed to be constructed on Tract A, and they are intended to portray the basic character and quality of the building proposed to be constructed on Tract A. Accordingly, the building to be constructed on Tract A shall be designed and constructed so that each facade is substantially similar in appearance to the corresponding attached elevation. The primary exterior building materials to be utilized shall be brick, however, EIFS accents may be utilized on the attached elevations. Notwithstanding the foregoing, in the event that the building to be located on Tract A is constructed in two phases, the temporary exterior wall associated with the first phase of this building shall not be required to have windows or to have brick as the primary exterior building material. The primary exterior building material for the temporary exterior wall associated with the first phase of the building to be located on Tract A shall be split face block.
 - Notwithstanding the terms of Section 12(1) above, in the event that the construction of the second phase of the building to be located on Tract A has not commenced within 36 months of the date on which the Rezoning Petition is approved, then the Petitioner shall be required to modify the temporary exterior wall associated with the first phase of the building such that it is substantially similar in appearance to the corresponding attached elevation and has windows and brick as its primary exterior building material. In the event that the second phase of the building to be located on Tract A is constructed, then the exterior walls shall be substantially similar in appearance to the corresponding attached elevations.
 - Direct access to the individual self storage units located in the building to be constructed on Tract A will not be provided from the exterior of the building, as access to the individual storage units will be provided by internal hallways. Covered unloading and loading areas into the building will be provided.
 - The buildings to be constructed on Tract B will be compatible with the building to be constructed on Tract A with respect to the types and colors of exterior building materials.
- OPERATIONS**
 - The standard hours of operation for the self storage facility will be 8:00 a.m. to 6:00 p.m. Monday through Friday, 8:00 a.m. to 5:00 p.m. on Saturday and 1:00 p.m. to 5:00 p.m. on Sunday. Notwithstanding the foregoing, customers may have access to the facility during non-operating hours through the use of key cards or other similar devices.
- AMENDMENTS TO REZONING PLAN**
 - Future amendments to the Rezoning Plan and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.
- BINDING EFFECT OF THE REZONING APPLICATION**
 - If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and true to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.



NORTH CAROLINA DEPARTMENT OF TRANSPORTATION
DIVISION OF HIGHWAYS
PROJECT NO. 81871610
EXHIBIT MAP BY SURVEY UNIT
C.W. BROWN JR. P.E. PLUS
DATED: 1/21/09



FOR REZONING
PETITION #2007-038

Development-
Management, Inc.

Rocky River Storage

Rezoning Plan
Charlotte, NC

NO.	DATE	BY	REVISIONS:
1	02/16/07	CC	REVISIONS PER CMPC COMMENT
2	03/19/07	CC	SITE PLAN REVISE, CMPC COMMENT

Project No: 06-069
Date: December 27, 2006
Designed By: CC
Drawn By: CC
Scale: 1"=50'
Sheet No:

RZ-1

CITY OF CHARLOTTE - CONSTRUCTION SEQUENCE:

1. OBTAIN GRADING/EROSION CONTROL PERMIT FROM THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
2. SET UP A ON-SITE PRECONSTRUCTION CONFERENCE WITH EROSION CONTROL INSPECTOR OF THE CITY ENGINEERING DEPARTMENT (336-4258) TO DISCUSS EROSION CONTROL MEASURES. FAILURE TO SCHEDULE SUCH CONFERENCE 48 HOURS PRIOR TO ANY LAND DISTURBING ACTIVITY IS A VIOLATION OF CHAPTER 18 OF THE CITY CODE AND IS SUBJECT TO FINE.
3. INSTALL SILT FENCE, INLET PROTECTION, SEDIMENT BASINS, BY-PASS PUMP AT EX. FES, STORM PIPE FROM STMH-30 TO HW-28, DIVERSION DITCHES AND OTHER MEASURES AS SHOWN ON THE PLANS, CLEARING ONLY AS NECESSARY TO INSTALL THESE DEVICES.
4. CALL 336-2291 FOR ON-SITE INSPECTION BY ENGINEERING INSPECTOR. WHEN APPROVED, BEGIN CLEARING AND GRUBBING AFTER PERMIT ISSUANCE.
5. CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES.
6. FOR PHASE EROSION CONTROL PLANS, CONTRACTOR SHALL MEET WITH EROSION CONTROL INSPECTOR PRIOR TO COMMENCING WITH EACH PHASE OF EROSION CONTROL MEASURES.
7. CONTRACTOR SHALL INSTALL INLET PROTECTION AROUND DRAINAGE STRUCTURES AFTER EACH ONE IS COMPLETED.
8. CONTRACTOR SHALL INSTALL STORM DRAINAGE AND FILL IN A PORTION OF SEDIMENT BASIN #1 TO INSTALL STORM DRAINAGE IN THIS AREA.
9. ONCE STORM DRAINAGE IS COMPLETELY INSTALLED TO SEDIMENT BASIN #2, CONTRACTOR SHALL REMOVE SEDIMENT BASIN #1, WITH APPROVAL OF EROSION CONTROL INSPECTOR AND COMPLETE GRADING.
10. ONCE SITE IS STABILIZED, CONTRACTOR SHALL CONVERT SEDIMENT BASIN #2 TO DETENTION POND WITH APPROVAL OF CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.
11. ON SOUTH SIDE OF DITCH, CONTRACTOR SHALL INSTALL DIVERSION DITCH, SILT FENCE, SLOPE DRAIN AT COMPLETION OF FILL SLOPE AND SEED SLOPE IMMEDIATELY.
12. CONTRACTOR SHALL REMOVE SEDIMENT FROM TEMPORARY SEDIMENT BASIN WHEN THEY ARE HALF FULL. AFTER EACH RAINFALL, CONTRACTOR SHALL REMOVE SILT ACCUMULATION FROM THE DIVERSION DITCHES AND BEHIND THE SILT FENCE.
13. CONTRACTOR SHALL KEEP SILT FENCE ERECTED AT ALL TIMES AND REMOVE SILT ACCUMULATION AFTER EACH RAINFALL.
14. STABILIZE SITE AS AREAS ARE BROUGHT TO FINISHED GRADE.
15. EROSION CONTROL DEVICES SHALL ONLY BE REMOVED WHEN APPROVED BY EROSION CONTROL INSPECTOR.
16. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE NC EROSION AND SEDIMENT CONTROL PLANNING AND DESIGN MANUAL, U.S. DEPT. OF AGRICULTURE, U.S. SOIL CONSERVATION SERVICE, CITY OF CHARLOTTE EROSION CONTROL ORDINANCE, AND THE CITY OF ENGINEERING DEPARTMENT.
17. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE CITY OF CHARLOTTE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.

EROSION CONTROL NOTES - CITY OF CHARLOTTE / MECKLENBURG COUNTY

1. ALL STD NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
2. ON-SITE EROSION CONTROL MEASURES SHALL BE DEMONSTRATED TO THE ZONING ADMINISTRATOR.
3. ANY GRADING BEYOND THE DENIED LIMITS SHOWN ON THE PLAN IS SUBJECT TO A FINE.
4. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL PLAN IS A VIOLATION OF THE CITY OF CHARLOTTE EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
5. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
6. ADDITIONAL MEASURES TO CONTROL EROSION AND SEDIMENTATION SHALL BE DETERMINED BY A REPRESENTATIVE OF THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT.
7. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING APPROVED GRADING PLAN.
8. SLOPES SHALL BE GRADED NO GREATER THAN 2:1. FILL SLOPES SHALL BE SEED AND MULCH WITHIN 15 WORKING DAYS.
9. ALL SLOPES MUST BE SEED AND MULCH WITHIN 15 WORKING DAYS OF 30 CALENDAR DAYS, WHICHEVER IS SHORTER. ALL OTHER AREAS, EXCEPT FOR EROSION CONTROL MEASURES, SHALL BE SEED AND MULCH WITHIN 30 CALENDAR DAYS. REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.
10. TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NC DOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.

CABARRUS COUNTY CONSTRUCTION SEQUENCE

1. CONTRACTOR SHALL SETUP AN ON-SITE PRE-CONSTRUCTION MEETING WITH CABARRUS COUNTY SOIL EROSION AND SEDIMENTATION CONTROL PLANNING & ZONING SERVICES TO DISCUSS EROSION CONTROL MEASURES.
2. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES, SILT FENCE, SEDIMENT TRAPS, BY-PASS PUMP AT EX. FES, SEDIMENT BASINS, AND DIVERSION DITCHES. CONTRACTOR SHALL ONLY CLEAR ENOUGH AREA NECESSARY TO INSTALL THE EROSION CONTROL DEVICES.
3. CONTRACTOR SHALL BEGIN CLEARING AND GRADING SITE.
4. CONTRACTOR SHALL INSTALL 145 FEET OF STORM DRAINAGE FROM HW-28 TO STMH-30 UNDER THE TEMPORARY CONSTRUCTION ENTRANCE.
5. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES DURING CONSTRUCTION. SILT FENCE SHALL BE KEPT ERECT AND SILT REMOVED FROM BEHIND FENCE AFTER RAIN EVENTS.
6. SEDIMENT BASINS SHALL BE CLEANED WHEN HALF FULL.
7. CONTRACTOR SHALL BEGIN INSTALLING UTILITIES.
8. CONTRACTOR SHALL INSTALL STORM DRAINAGE AND FILL IN A PORTION OF SEDIMENT BASIN #1 TO INSTALL STORM DRAINAGE IN THIS AREA.
9. ONCE STORM DRAINAGE IS COMPLETELY INSTALLED, REMOVE SEDIMENT BASIN #1 AND COMPLETE GRADING.
10. ONCE SITE IS STABILIZED, CONTRACTOR SHALL CONVERT SEDIMENT BASIN #2 TO RETENTION POND.
11. CONTRACTOR SHALL INSTALL SEEDING AND LANDSCAPING.
12. ONCE SITE STABILIZED AND WITH APPROVAL FROM CABARRUS COUNTY EROSION CONTROL, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED.

NOTE:

DRAIN INLETS SHALL BE NYLOPLAST 15" DRAIN BASINS WITH CAST IRON GRATES. JUNCTION BOX SHALL HAVE SOLID HINGED GRATE.

DRAIN INLET LOCATED IN SIDEWALK SHALL HAVE BRASS GRATE RATED PEDESTRIAN H-10.

CAST IRON H-10 RATED GRATE FOR DETAILS SEE PAGE 43

SILENT AND OUTLET ADAPTERS AVAILABLE FROM 10" UP

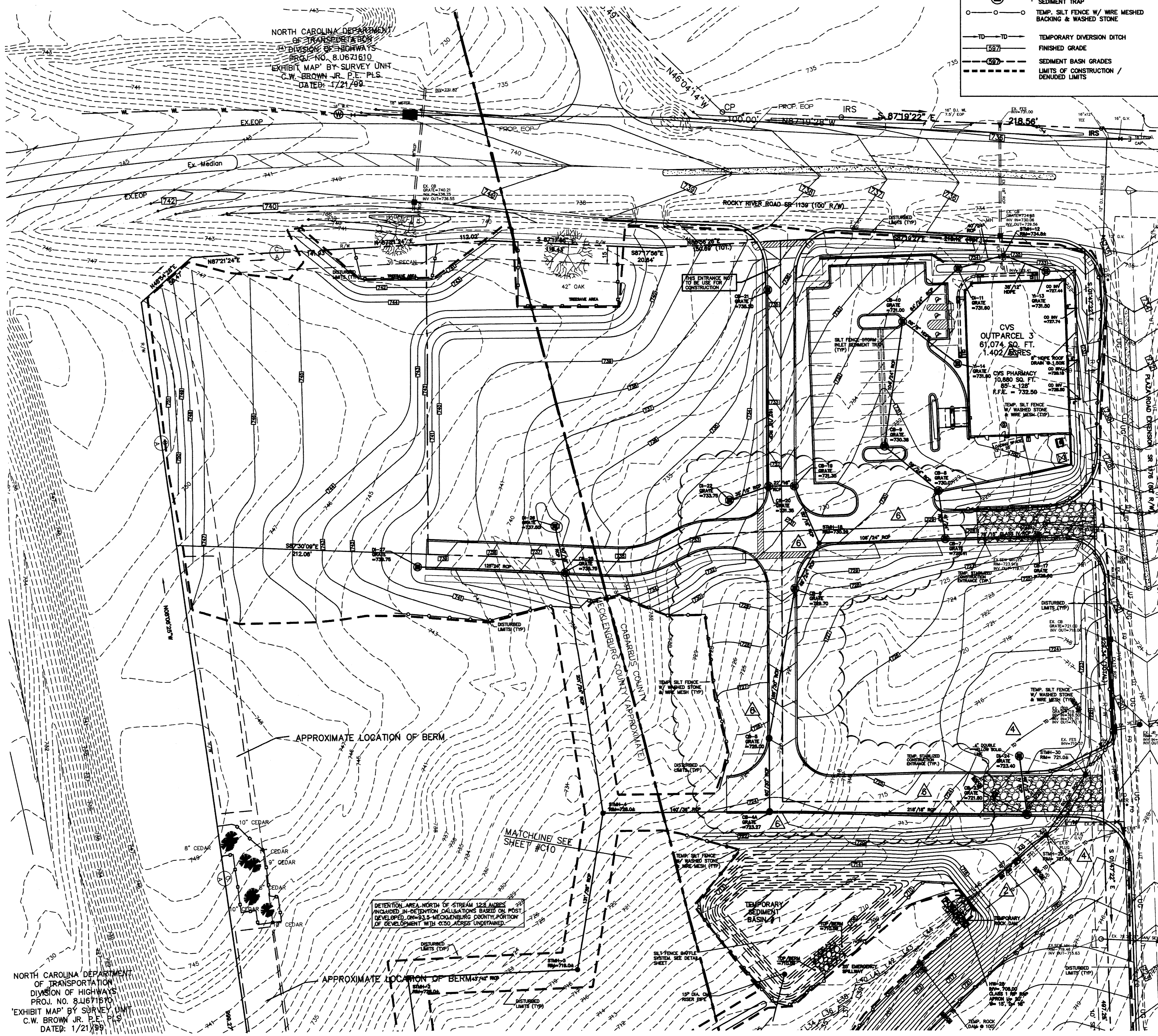
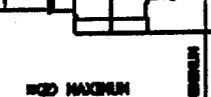
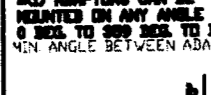
VARIOUS TYPES OF OUTLETS WITH WATERPROOF ADAPTERS

2" OR 3" SEWER

2" OR 3" POLYETHYLENE GLASS REINFORCED PVC

ROUNDER PVC

15" YARD INLET DRAIN



EROSION CONTROL LEGEND

- SILT FENCE STORM INLET SEDIMENT TRAP
- TEMP. SILT FENCE W/ WIRE MESHED BACKING & WASHED STONE
- TD — TD — TEMPORARY DIVERSION DITCH
- 587 — FINISHED GRADE
- 587 — SEDIMENT BASIN GRADES
- — — LIMITS OF CONSTRUCTION / DENIED LIMITS

BROOKDALE PHASE II
HARRISBURG, NORTH CAROLINA

AAC/APS DEVELOPMENT LIMITED PARTNERSHIP
3800 ARCO CORPORATE DR., SUITE 200
CHARLOTTE, NORTH CAROLINA 28273

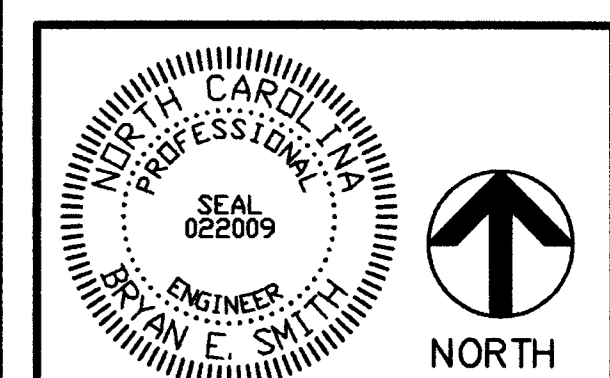
Design Resource Group

1230 West Morehead Street, Suite 214
Charlotte, NC 28208
704.343.0808 fax 704.368.3083
www.drgp.com

- Landscape Architecture
- Urban Design
- Civil Engineering
- Land Planning

DRG

STORM DRAINAGE & PHASE 2 EROSION CONTROL PLAN



Scale: 1" = 40'

Date: 8 APRIL 2004

Project No.: 071-008

Revisions: 5/24/04 PERMIT SET

8/4/04 PER ENGINEERING COMMENT

8/31/04 REV. PIPE LENGTH HW-28 THRU STMH-29

9/14/04 PER COMMENTS

10/06/04 PER CABARRUS COUNTY COMMENTS

11/23/04 BLDG. LAYOUT & STORM DRAINAGE

1/26/05 ROAD ALIGNMENT GRADES AND STORM

Sheet **C9**

CITY OF CHARLOTTE - CONSTRUCTION SEQUENCE:

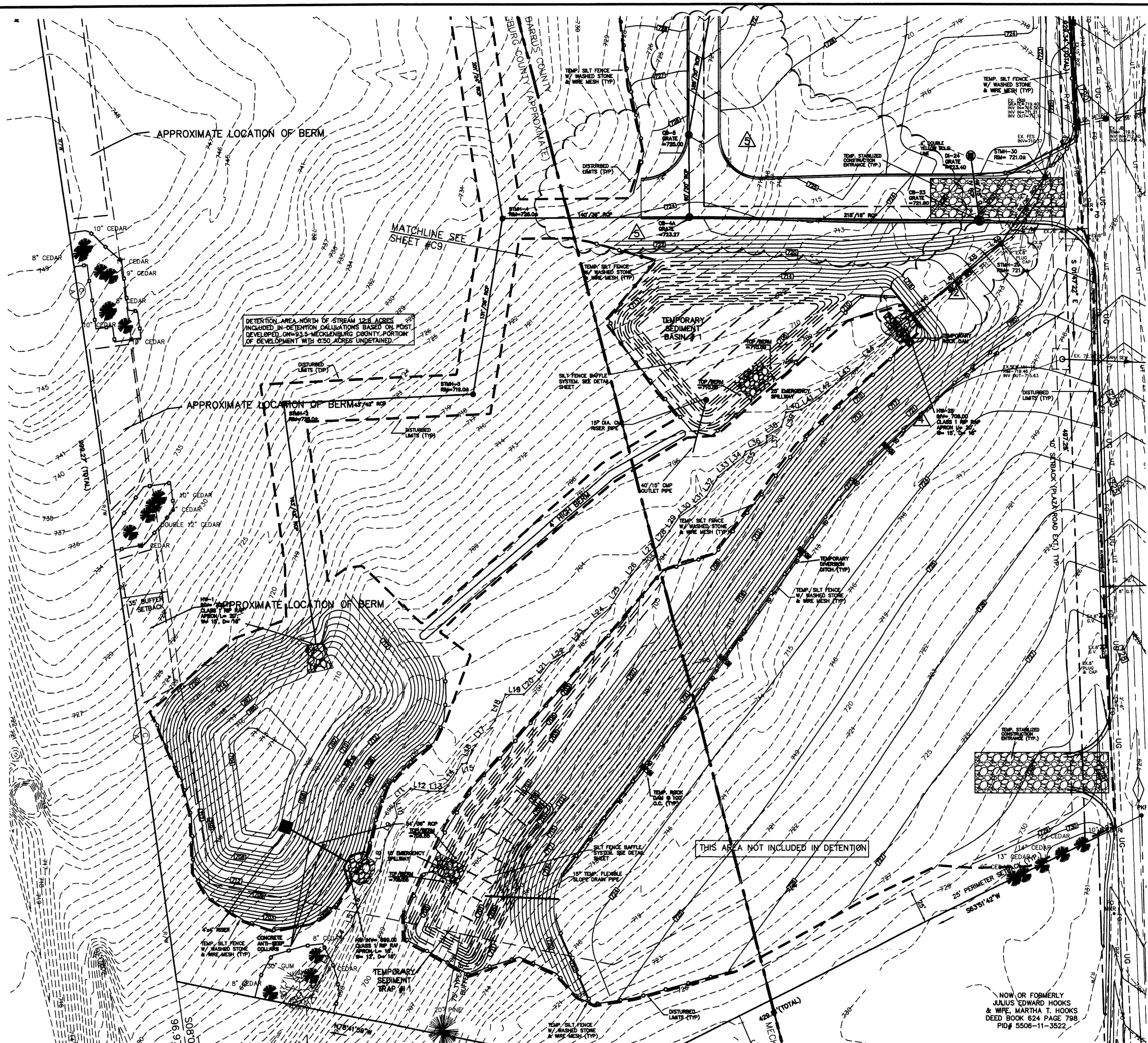
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9. ONCE STORM DRAINAGE IS COMPLETELY INSTALLED TO SEDIMENT BASIN #2, CONTRACTOR SHALL REMOVE SEDIMENT BASIN # 1, WITH APPROVAL OF EROSION CONTROL INSPECTOR AND COMPLETE GRADING.
10. ONCE SITE IS STABILIZED, CONTRACTOR SHALL CONVERT SEDIMENT BASIN #2 TO DETENTION POND WITH APPROVAL OF CITY OF CHARLOTTE EROSION CONTROL INSPECTOR.
11. ON SOUTH SIDE OF DITCH, CONTRACTOR SHALL INSTALL DIVERSION DITCH, SILT FENCE, SLOPE DRAIN AT COMPLETION OF FILL SLOPE AND SEED SLOPE IMMEDIATELY.
12. CONTRACTOR SHALL REMOVE SEDIMENT FROM TEMPORARY SEDIMENT BASIN WHEN THEY ARE HALF FULL. AFTER EACH RAINFALL, CONTRACTOR SHALL REMOVE SILT ACCUMULATION FROM THE DIVERSION DITCHES AND BEHIND THE SILT FENCE.
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EROSION CONTROL NOTES - CITY OF CHARLOTTE / MECKLENBURG COUNTY

1. ALL STD NUMBERS REFER TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT STANDARDS MANUAL.
2. SITE BURIAL RITS REQUIRE AN ON-SITE DEMOLITION LANDFILL PERMIT FROM THE ZONING ADMINISTRATOR.
3. ANY GRADING BEYOND THE DISTURBED LIMITS SHOWN ON THE PLAN IS SUBJECT TO A FINE.
4. GRADING MORE THAN ONE ACRE WITHOUT AN APPROVED EROSION CONTROL ORDINANCE AND IS SUBJECT TO A FINE.
5. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ON SLOPES BEYOND THE DISTURBED LIMITS SHOWN ON THE PLAN, GRADING SHALL BE SEEDING AND MULCHING WITHIN 30 CALENDAR DAYS. ADDITIONAL MEASURES TO CONTROL EROSION AND REVEGETATION SHALL BE SUBMITTED FOR ANY LOT GRADING APPROVED BY EROSION CONTROL INSPECTOR.
6. A GRADING PLAN MUST BE SUBMITTED FOR ANY LOT GRADING APPROVED BY EROSION CONTROL INSPECTOR.
7. SLOPES SHALL BE GRADDED NO GREATER THAN 2:1 FILL SLOPES.
8. ALL SLOPES MUST BE SEEDING AND MULCHING WITHIN 15 WORKING DAYS OR 30 CALENDAR DAYS, WHICHEVER IS SHORTER. ALL OTHER AREAS, REFER TO EROSION CONTROL ORDINANCE FOR ADDITIONAL REQUIREMENTS.
9. TEMPORARY DRIVEWAY PERMIT FOR CONSTRUCTION ENTRANCES IN NC DOT RIGHT OF WAY MUST BE PRESENTED AT PRE-CONSTRUCTION MEETING.

CABARRUS COUNTY CONSTRUCTION SEQUENCE:

1. CONTRACTOR SHALL SET UP AN ON-SITE PRE-CONSTRUCTION MEETING WITH CABARRUS COUNTY SOIL EROSION AND SEDIMENTATION CONTROL PLANNING AND ZONING SERVICES TO DISCUSS EROSION CONTROL MEASURES.
2. CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION ENTRANCES, SILT FENCE, SEDIMENT TRAPS, BY-PASS PUMP AT EX. FES, SEDIMENT BASINS, AND DIVERSION DITCHES. CONTRACTOR SHALL ONLY CLEAR ENOUGH AREA NECESSARY TO INSTALL THE EROSION CONTROL DEVICES.
3. CONTRACTOR SHALL BEGIN CLEARING AND GRADING SITE.
4. CONTRACTOR SHALL INSTALL 145 FEET OF STORM DRAINAGE FROM HW-28 TO STMH-30 UNDER THE TEMPORARY CONSTRUCTION ENTRANCE.
5. CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL DEVICES DURING CONSTRUCTION. SILT FENCE SHALL BE KEPT ERRECT AND SILT REMOVED FROM BEHIND FENCE AFTER RAIN EVENTS.
6. SEDIMENT BASINS SHALL BE CLEANED WHEN HALF FULL.
7. CONTRACTOR SHALL BEGIN INSTALLING UTILITIES.
8. CONTRACTOR SHALL INSTALL STORM DRAINAGE AND FILL IN A PORTION OF SEDIMENT BASIN # 1 TO INSTALL STORM DRAINAGE IN THIS AREA.
9. ONCE STORM DRAINAGE IS COMPLETELY INSTALLED, REMOVE SEDIMENT BASIN # 1 AND COMPLETE GRADING.
10. ONCE SITE IS STABILIZED, CONTRACTOR SHALL CONVERT SEDIMENT BASIN # 2 TO RETENTION POND.
11. CONTRACTOR SHALL INSTALL SEEDING AND LANDSCAPING.
12. ONCE SITE STABILIZED AND WITH APPROVAL FROM CABARRUS COUNTY EROSION CONTROL, TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED.



SOIL TYPES: ENON, MECKLENBURG, CECIL
TOTAL SITE AREA: 17.746 +/- ACRES
TOTAL DISTURBED AREA: 12.78 +/- ACRES
TEMPORARY SEDIMENT

	Disturbed Area	Drainage Area	Q ₁₀	T ^D Required Storage	Provided Storage	*Top Dimension Spillway Depth (2:1 Slope)	Bottom Dimension (2:1 Slope)	Spillway Length Q/G ^{1/2}	Spillway Depth	Top of Berm
Trap #1	4.32 AC.	4.32 AC.	12.15 cfs	7,776 CF	16,224 CF	40' x 134' EL = 705.0	24' x 118' EL = 701.0	10'	1.55'	706.55
Basin #1	1.20 AC.	2.30 AC.	6.47 cfs	4,140 CF	19,853 CF	SEE PLAN EL = 709.0	SEE PLAN EL = 706.0	25'	1.20'	710.20
Basin #2	7.50 AC.	11.30 AC.	31.78 cfs	20,340 CF	40,792 CF	92' x 162' EL = 706.0	80' x 150' EL = 703.0	25'	1.56'	707.58

- * TOP DIMENSION REFERENCE TOP STORAGE ELEVATION.
- * SPILLWAY DEPTH INCLUDES 1 FOOT OF FREEBOARD.
- * TRAP # 1 REFERENCE C.M.L.D. STA. 30.02

BROOKDALE PHASE II
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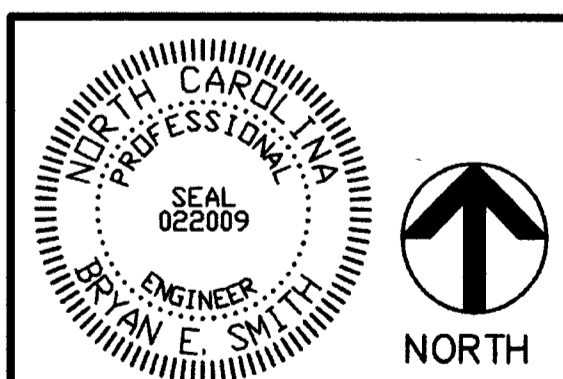
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STORM DRAINAGE & PHASE 2 EROSION CONTROL PLAN



Scale: 1" = 40'
Date: 8 APRIL 2004
Project No.: 071-008
Revisions: 5/24/04 PERMIT SET
8/4/04 PER ENGINEERING COMMENTS
8/31/04 REV. PIPE LENGTH HW-28 THRU STMH-29
9/14/04 PER COMMENTS
10/06/04 PER CABARRUS COUNTY COMMENTS
1/26/05 ROAD ALIGNMENT GRADES AND STORM

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