

Shaping the Environment
Realizing the Possibilities

Land Planning
+
Landscape Architecture
+
Civil Engineering
+
Urban Design

200 South Tryon Street, Suite 1400 Charlotte, NC 28202
 Tel: 704.376.1555 • Fax: 704.376.3881 • www.colsoncosthens.com

**50 Midtown Parkway East
Mobile,
Alabama 36606**

Charlotte
North Carolina 28262

Project No.
3318

Issued

05/03/06

Revised

08/18/06 - REZONING SUBMITTAL

RECEIVED

AUG 21 2006

BY

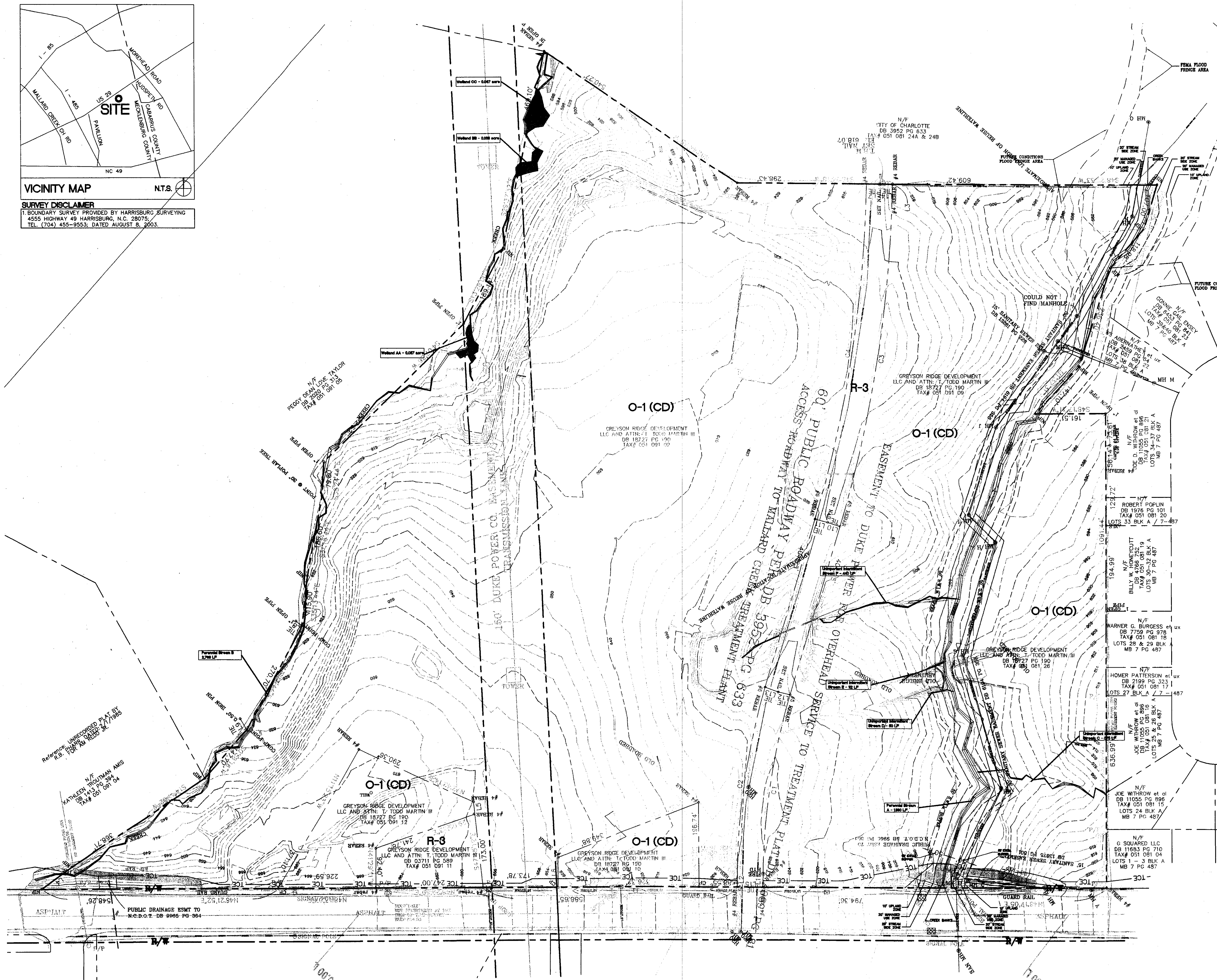
2006-45

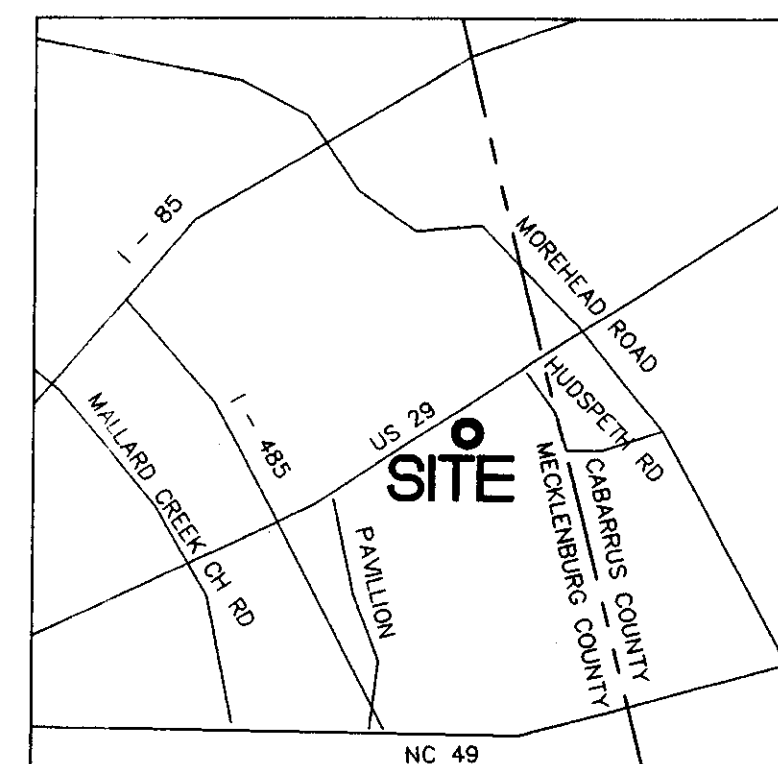
SCALE: 1"=100'

RZ1.0 of 6.0

The drawings, the project manual and the design shown thereon are instruments of Cole Jenest & Stone, P.A.. The reproduction or unauthorized use of the documents without consent of Cole Jenest & Stone, P.A. is prohibited.

Coleman & Stone, P.A. 2006 (

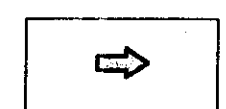




VICINITY MAP

SURVEY DISCLAIMER
1. BOUNDARY SURVEY PROVIDED BY HARRISBURG SURVEYING
4555 HIGHWAY 49 HARRISBURG, N.C. 28075;
TEL. (704) 455-9553; DATED AUGUST 8, 2003.

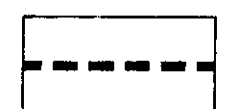
LEGEND



ACCESS POINT



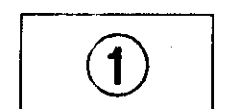
INTERNAL ACCESS



ZONING BOUNDARY



EXISTING ZONING



ADJACENT PROPERTY OWNER



TABLE 4



TREE SAVE AREAS

ADJACENT PROP. OWNERS

1. H. CRAIG GRIMMER AND MARY ANNE L. GRIMMER AND HARRY CLINTON GRIMMER
P.O. BOX 898 MATTHEWS, NC 28106
PARCEL # 02906492
2. H. CRAIG GRIMMER AND MARY ANNE L. GRIMMER AND HARRY CLINTON GRIMMER
P.O. BOX 898 MATTHEWS, NC 28106
PARCEL # 02906636
3. PLASE M. CHRISTENBURY, JR.
873 GRANDVIEW DR. NE CONCORD, NC 28025
PARCEL # 02906175
4. HOMEOWNERS ASSOCIATION, INC. VILLAGE AT
WITHROW DOWNS II
P.O. BOX 1278 MATTHEWS, NC 28106
PARCEL # 02906222
5. HOMEOWNERS ASSOCIATION, INC. VILLAGE AT
WITHROW DOWNS II
P.O. BOX 1278 MATTHEWS, NC 28106
PARCEL # 02906221
6. KATHLEEN TROUTMAN AMIS
12782 US HIGHWAY 29 CHARLOTTE, NC 28262
PARCEL # 05109104
7. PEGGY DEAN LOVE TAYLOR
12752 US HIGHWAY 29 CHARLOTTE, NC 28262
PARCEL # 05109105
8. CITY OF CHARLOTTE
600 E. FOURTH STREET CHARLOTTE, NC 28202
PARCEL # 05108124
9. CONNIE GAIL P. ENSLEY
6500 LONG RD, CHARLOTTE, NC 28227
PARCEL # 05108123
10. W S ABERNATHY AND RUTH ABERNATHY
725 BURRADE RD. NE CONCORD, NC 28025
PARCEL # 05108122
11. TRUST WITHROW CHILDREN'S GSL AND RONALD J
% WITHROW AND DAVID E % WITHROW
1341 EAST MOREHEAD ST #201 CHARLOTTE, NC 28204
PARCEL # 05108121
12. TARA PROPERTIES, INC.
13372 CIRCLE DRIVE CHARLOTTE, NC 28223
PARCEL # 05108120
13. BILLY W HONEYCUTT
13307 CIRCLE DRIVE CHARLOTTE, NC 28262
PARCEL # 05108119
14. WARNER G BURGESS AND MOLLY G BURGESS
1015 E. 1ST ST. ST. PETERSBURG, FL 33703
PARCEL # 05108118
15. HOMER D PATTERSON AND THELMA C PATTERSON
1015 E. 1ST ST. CHARLOTTE, NC 28209
PARCEL # 05108117
16. TRUST WITHROW CHILDREN'S GSL AND RONALD J
% WITHROW AND DAVID E % WITHROW
1341 EAST MOREHEAD ST #201 CHARLOTTE, NC 28204
PARCEL # 05108116
17. TRUST WITHROW CHILDREN'S GSL AND RONALD J
% WITHROW AND DAVID E % WITHROW
1341 EAST MOREHEAD ST #201 CHARLOTTE, NC 28204
PARCEL # 05108115
18. LLC G-SQUARED PROPERTY MANAGEMENT
12210 US HIGHWAY 29 CHARLOTTE, NC 28262
PARCEL # 05108104

SITE ACREAGE TABULATION

TOTAL SITE ACREAGE:		68.90 AC
TH	TOWNHOME:	19.59 +/- AC
MF1	MULTIFAMILY 1:	23.15 +/- AC
R	RETAIL:	10.82 +/- AC
O	OFFICE:	7.05 +/- AC
O	HOTEL:	7.06 +/- AC
CMU DRIVE (50 FT R.O.W.)		1.23 +/- AC

DEVELOPMENT SUMMARY

TH	TOWNHOME RESIDENTIAL:	141 UNITS / 19.59 AC = 7.2 DUA
MF1	MULTIFAMILY RESIDENTIAL:	339 UNITS / 23.15 AC = 14.64 DUA
TOTAL RESIDENTIAL DENSITY:		480 UNITS / 42.74 AC = 11.23 DUA
R	RETAIL PROVIDED:	110,000 SF
O	OFFICE PROVIDED:	30,000 SF
H	HOTEL PROVIDED:	45,000 SF (90 ROOMS)
TOTAL BUILDING AREA:		825,750 SF
SITE FLOOR AREA RATIO:		0.28

ZONING SUMMARY

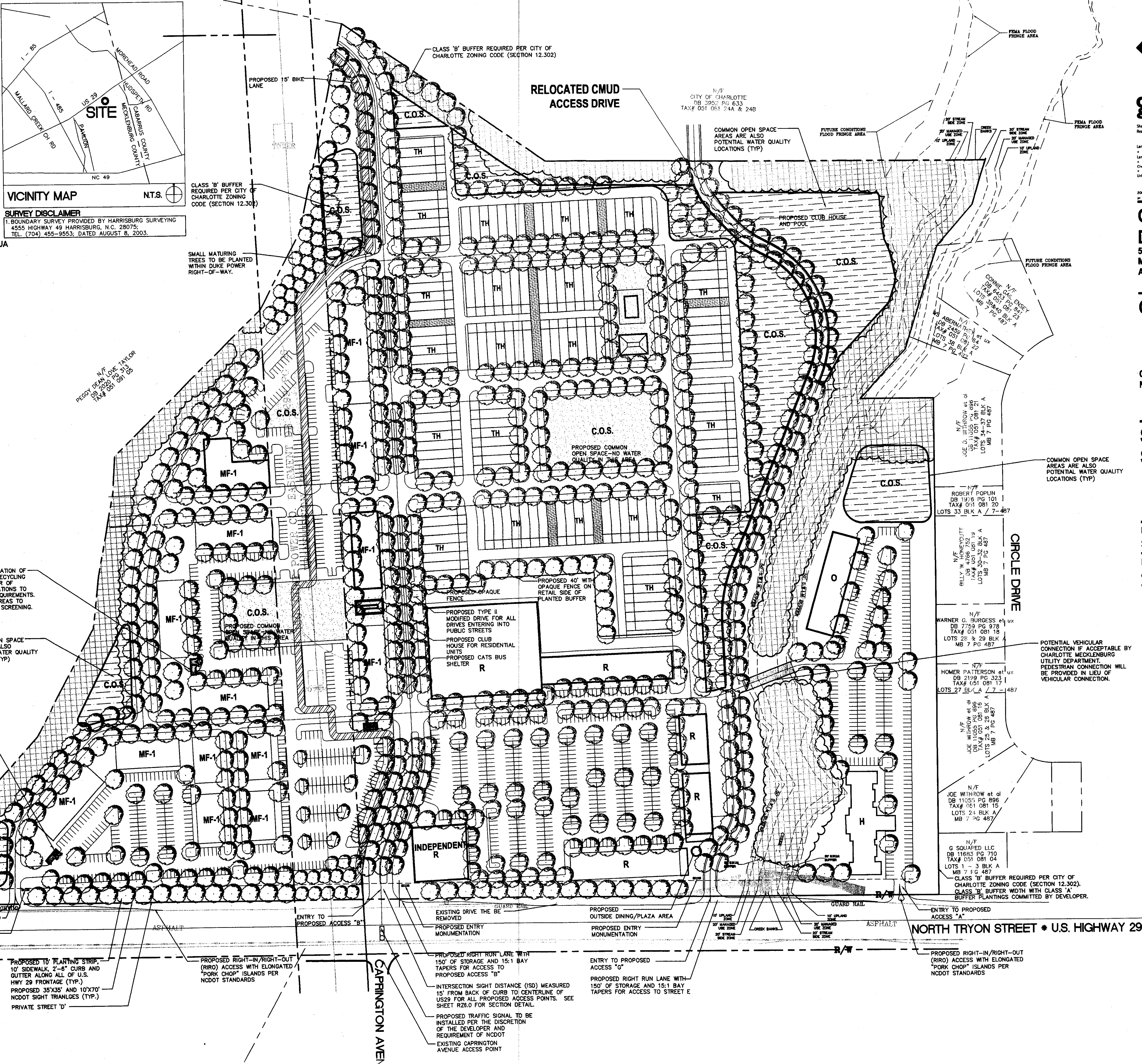
EXISTING:		
O-1 (CD)	OFFICE:	65.89 AC
R-3	SINGLE-FAMILY RESIDENTIAL:	3.01 AC
PROPOSED:		
CC	COMMERCIAL CENTER:	68.90 AC

PARKING SUMMARY

TH	TOWNHOME RESIDENTIAL:	1.5 spaces / unit
MF1	MULTI-FAMILY RESIDENTIAL:	1.5 spaces / unit
MF2	MULTI-FAMILY RESIDENTIAL:	1.5 spaces / unit
R	RETAIL PROVIDED:	1 space / 250 sq. ft.
O	OFFICE PROVIDED:	1 space / 300 sq. ft.
H	HOTEL PROVIDED:	1 space / room

OTHER SITE ACREAGE

	COMMON OPEN SPACE/ POSSIBLE WATER QUALITY AREAS	6.20 +/- AC
	COMMON OPEN SPACE/ NON-WATER QUALITY AREAS	2.52 +/- AC
	TREE SAVE AREA	8.68 +/- AC



Cole Jenest & Stone
Shaping the Environment
Realizing the Possibilities

Land Planning
Landscape Architecture
Civil Engineering
Urban Design

200 South Tryon Street, Suite 1400 Charlotte, NC 28202
704.378.1555 • 704.378.2753 • www.colejeneststone.com

GREYSON RIDGE DEVELOPMENT
50 Midtown Parkway East
Mobile, Alabama 36606

GREYSON RIDGE

Charlotte
North Carolina 28262

SCHEMATIC SITE PLAN

Project No.
3318

Issued
05/03/06

Revised
08/18/06 - REZONING SUBMITTAL

SCALE: 1" = 100'

0 50 100 200

RZ3.0 of 6.0

The drawings, the project manual and the design shown thereon are instruments of Cole Jenest & Stone, P.A. The reproduction or unauthorized use of the documents without consent of Cole Jenest & Stone, P.A. is prohibited.

Cole Jenest & Stone, P.A. 2006 ©

DEVELOPMENT STANDARDS
August 10, 2006

GENERAL PROVISIONS

THESE DEVELOPMENT STANDARDS FORM A PART OF THE TECHNICAL DATA SHEET ASSOCIATED WITH THE REZONING PETITION FILED BY GREYSON RIDGE DEVELOPMENT, LLC TO ACCOMMODATE DEVELOPMENT OF A MIXED USE, NEIGHBORHOOD-SIZE CENTER ON AN APPROXIMATELY 68.90-ACRE SITE LOCATED ON NORTH TRYON STREET BETWEEN I-485 AND THE CARABASUS COUNTY LINE (THE "SITE"). THE SITE CURRENTLY CONSISTS OF FIVE (5) DISTINCT TAX PARCELS, EACH OF WHICH IS OWNED BY GREYSON RIDGE DEVELOPMENT, LLC, AS WELL AS A PORTION OF A TRACT OWNED BY THE CITY OF CHARLOTTE. THE PORTION OF THE CITY OF CHARLOTTE PROPERTY CONSISTS OF A SIXTY FOOT (60') WIDE PRIVATE DRIVEWAY PROVIDING ACCESS TO AND FROM THE MALLARD CREEK WASTEWATER TREATMENT PLANT. UNDER THE PROPOSED PLAN, GREYSON RIDGE AND THE CITY OF CHARLOTTE WILL SWAP LAND SO THAT GREYSON RIDGE TAKES OWNERSHIP OF THE EXISTING DRIVEWAY AND THE CITY OF CHARLOTTE TAKES OWNERSHIP OF A LATTER FROM GREYSON RIDGE TO THE CHARLOTTE'S MCKLENNBURG UTILITIES DEPARTMENT (EXECUTED BY CMUD SIGNIFYING ITS AGREEMENT WITH THE PROPOSED PLAN AND RELOCATION OF THE ACCESS DRIVEWAY AND ALSO SETTING FORTH CERTAIN CONDITIONS PERTAINING TO CMUD'S AGREEMENT TO THE PROPOSED PLAN) ATTACHED TO THE REZONING APPLICATION. GREYSON RIDGE ACCEPTS AND AGREES WITH THE CONDITIONS AS SET FORTH IN THE LETTER ATTACHED TO THE REZONING APPLICATION.

DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE TECHNICAL DATA SHEET, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE ZONING ORDINANCE OF THE CITY OF CHARLOTTE (THE "ORDINANCE"). THE SITE MAY BE DEVELOPED IN PHASES. UNLESS THE TECHNICAL DATA SHEET OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE CC ZONING CLASSIFICATION SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THE SITE.

1. PERMITTED USES

USES PERMITTED BY RIGHT IN THE CC ZONING DISTRICT ARE THOSE USES ALLOWED BY RIGHT AND UNDER PRESCRIBED CONDITIONS IN THE B-1 ZONING DISTRICT AND INCLUDE, AMONG OTHERS: RETAIL, OFFICE, HOTEL AND MOTEL, HEALTH AND INDOOR RECREATION FACILITIES, AND MULTI-FAMILY RESIDENTIAL UNITS.

2. MAXIMUM BUILDING AREAS AND DEVELOPMENT LIMITATIONS

THE SITE MAY BE DEVELOPED WITH UP TO 110,000 SQUARE FEET OF RETAIL/COMMERCIAL SPACE, UP TO 30,000 SQUARE FEET OF OFFICE USES, A HOTEL WITH UP TO 90 ROOMS, AND UP TO 141 TOWNHOMES AND 339 MULTI-FAMILY UNITS. IN THE EVENT A GROCERY STORE IS NOT LOCATED ON THE SITE, THE RETAIL AREA SHALL BE LIMITED TO NO MORE THAN 100,000 SQUARE FEET.

ALL BUILDING HEIGHTS WILL CONFORM TO THE REQUIREMENTS SET FORTH IN THE ORDINANCE FOR THE CC ZONING DISTRICT.

3. SETBACKS, SIDE YARDS AND REAR YARDS

ALL BUILDINGS CONSTRUCTED ON THE SITE SHALL SATISFY OR EXCEED THE SETBACK, REAR YARD AND SIDE YARD REQUIREMENTS ESTABLISHED UNDER THE ORDINANCE FOR THE CC ZONING DISTRICT.

4. DESIGN AND PERFORMANCE STANDARDS

THE DEVELOPMENT DEPICTED ON THE SITE PLAN IS SCHEMATIC IN NATURE AND INTENDED TO DESCRIBE THE GENERAL ARRANGEMENT OF USES ON THE SITE. ACCORDINGLY, THE CONFIGURATIONS, PLACEMENTS, AND SIZES OF THE BUILDING FOOTPRINTS, AS WELL AS THE LOCATIONS OF STREETS SHOWN ON THE SITE PLAN ARE SCHEMATIC IN NATURE AND, SUBJECT TO THE PROVISIONS SET FORTH BELOW UNDER ARCHITECTURAL CONTROLS, MAY BE ALTERED OR MODIFIED DURING DESIGN DEVELOPMENT AND CONSTRUCTION PHASES. PARKING LAYOUTS MAY ALSO BE MODIFIED TO ACCOMMODATE FINAL BUILDING LOCATIONS TO THE EXTENT PERMITTED BY THE ORDINANCE.

(a) ARCHITECTURAL CONTROLS

(i) BUILDINGS CONSTRUCTED ALONG NORTH TRYON STREET WILL CONTAIN NON-OPAQUE WINDOWS WHICH FACE NORTH TRYON STREET.

(ii) LARGE EXPANSES OF SOLID WALLS EXCEEDING 20 LINEAR FEET FOR THESE BUILDINGS WILL BE AVOIDED THROUGH THE INTRODUCTION OF ARTICULATED FACADES AND OTHER SPECIALLY DESIGNED ARCHITECTURAL ELEMENTS.

(iii) DUMPSTER AREAS WILL BE ENCLOSED ON ALL FOUR SIDES BY AN OPAQUE ENCLOSURE WITH ONE SIDE BEING A HINGED OPAQUE GATE. IF ONE OR MORE SIDES OF A DUMPSTER AREA ADJOIN A SIDE OR REAR WALL OF A BUILDING, THEN THE SIDE OR REAR WALL OF THAT BUILDING MAY BE SUBSTITUTED FOR A SIDE.

(iii) THE DESIGN TREATMENT WITHIN THE SITE SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING AMENITIES:

- OUTDOOR DINING AREA(S)
- OUTDOOR SEATING AREA(S)
- COURTYARD(S)

(b) LANDSCAPING AND SCREENING

(i) INTERNAL AREAS OF THE SITE SHALL BE LANDSCAPED IN ACCORDANCE WITH THE REQUIREMENTS OF THE CODE OF THE CITY OF CHARLOTTE.

(ii) ALL ROOF MOUNTED MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW FROM ADJOINING PUBLIC RIGHTS-OF-WAY AND ABUTTING PROPERTIES AS VIEWED FROM GRADE.

(iii) ALL OTHER SCREENING AND LANDSCAPING SHALL CONFORM TO THE STANDARDS OF THE ORDINANCE.

(iv) THE SITE SHALL CONFORM TO THE CITY OF CHARLOTTE TREE ORDINANCE.

(v) THE PORTION OF THE 56.25 FOOT CLASS "B" BUFFER LOCATED ALONG THE WESTERLY EDGE OF THE SITE SHALL INCLUDE ADDITIONAL PLANT MATERIALS SUFFICIENT TO CONFORM TO A CLASS "A" BUFFER (12 TREES AND 60 SHRUBS PER 100 LINEAR FEET). THE REMAINING REQUIRED BUFFERS SHALL CONFORM TO CLASS "B" STANDARDS.

(vi) In the event that an adjacent parcel is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirements, then the Petitioner may reduce or eliminate, as the case may be, the buffer set out on the Site Plan accordingly.

(c) STREETSCAPE TREATMENT

WITHIN THE SITE, THE STREETSCAPE TREATMENTS WILL CONFORM TO THE REQUIREMENTS OF THE ORDINANCE.

(d) LIGHTING

(i) ALL FREESTANDING LIGHTING FIXTURES INSTALLED WITHIN THE SITE WILL BE UNIFORM IN DESIGN.

(ii) THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHTING FIXTURE IN THE SITE, INCLUDING ITS BASE, MAY NOT EXCEED 25 FEET.

(iii) ALL PARKING LOT LIGHTING IN THE SITE SHALL BE CAPPED, DOWNWARDLY DIRECTED AND FULLY SHIELDED.

(iv) ANY LIGHTING ATTACHED TO A BUILDING IN THE SITE SHALL BE CAPPED AND DOWNWARDLY DIRECTED.

(v) WALL-MOUNTED DECORATIVE LIGHT FIXTURES SUCH AS SCONCES ARE PERMITTED.

(vi) PEDESTRIAN SCALE LIGHTING OF NO MORE THAN 15 FEET IN HEIGHT WILL BE PROVIDED ALONG ALL PUBLIC AND PRIVATE STREETS.

(e) PARKING

(i) OFF-STREET PARKING WILL BE PROVIDED IN ACCORDANCE WITH THE FOLLOWING STANDARDS:

RETAIL USES:	1 SPACE / 250 SF OF FLOOR AREA
OFFICE USES:	1 SPACE / 300 SF OF FLOOR AREA
HOTEL USE:	1 SPACE / PER HOTEL ROOM
RESIDENTIAL USE:	1.5 SPACES / UNIT

(ii) ON-STREET PARKING SHALL BE PERMITTED IN ACCORDANCE WITH NORMAL CITY STANDARDS.

(iii) WHILE AREAS DEVOTED TO OUTDOOR DINING, COURTYARDS AND PLAZAS WITHIN THE SITE ARE NOT INCLUDED IN THE SQUARE FOOTAGE MAXIMUM NOTED ABOVE, ANY OFF-STREET PARKING REQUIRED BY THE ORDINANCE WILL BE PROVIDED FOR THESE AREAS.

(f) OTHER

(i) NO MORE THAN ONE INDEPENDENT, FREESTANDING, SINGLE TENANT BUILDING SHALL BE PERMITTED ON THE SITE. THE REMAINING FREESTANDING, SINGLE TENANT BUILDINGS SHALL BE INTERCONNECTED.

(ii) PARKING SHALL NOT BE LOCATED BETWEEN BUILDINGS AND ABUTTING PUBLIC STREETS GENERALLY AS INDICATED ON THE SITE PLAN.

(iii) MULTI-FAMILY DEVELOPMENT WITHIN THE SITE SHALL CONFORM TO THE RELEVANT STANDARDS OF THE SECTION 9.303(19) OF THE ORDINANCE.

(iv) IN THE EVENT THAT DEVELOPMENT OF THE SITE INCLUDES A HEALTH/INDOOR RECREATION FACILITY, THE FLOOR AREA ASSOCIATED WITH THE FACILITY SHALL BE COUNTED AS PART OF THE TOTAL RETAIL AREA ALLOWED ON THE SITE.

5. STORM WATER MANAGEMENT

(a) STORM WATER RUNOFF WILL BE MANAGED IN ACCORDANCE WITH THE RELEVANT ORDINANCE REQUIREMENTS THROUGH PROVEN TECHNIQUES WHICH SATISFY THE STANDARDS IMPOSED BY THE CITY OF CHARLOTTE'S ORDINANCES AND THE CHARLOTTE MCKLENNBURG STORM WATER DESIGN MANUAL. SURFACE LEVEL STORM WATER DETENTION, IF PROVIDED, MAY BE LOCATED IN THE COMMON OPEN SPACE BUT SHALL NOT BE LOCATED IN THE REQUIRED SETBACKS OR BUFFERS.

(b) THE DETENTION SHALL TIE-IN TO THE EXISTING ABUTTING STORM WATER SYSTEM(S). THE PETITIONER SHALL HAVE THE RECEIVING DRAINAGE SYSTEM ANALYZED TO ENSURE THAT IT WILL NOT BE TAKEN OUT OF STANDARD DUE TO THE DEVELOPMENT. IF IT IS FOUND THAT THE DEVELOPMENT WILL EXCEED THE WDM DRAINAGE SYSTEM TO BE TAKEN OUT OF STANDARD, THE PETITIONER SHALL PROVIDE ALTERNATE METHODS TO PREVENT THIS FROM OCCURRING. SHOULD THE EXISTING RECEIVING DRAINAGE SYSTEM BE DETERMINED TO BE OUT OF STANDARD PRIOR TO THE DEVELOPMENT OF ITS SITE, THE PETITIONER SHALL PROVIDE ADEQUATE DETENTION TO ENSURE THAT THE SYSTEM WILL NOT BE ADDITIONALLY OVERBURDENED.

(c) THE PETITIONER SHALL CONTROL AND TREAT THE DIFFERENCE IN STORM WATER RUNOFF VOLUME LEAVING THE PROJECT SITE BETWEEN THE PRE AND POST DEVELOPMENT RUNOFF CONDITIONS FOR THE 1-YEAR 24 HOUR STORM OR THE VOLUME GENERATED FROM THE FIRST 1-INCH OF RUNOFF PER THE NCDMR BMP MANUAL, WHICHEVER IS MORE STRINGENT. RUNOFF PRIOR TO DRAW DOWN TIME SHALL BE A MINIMUM OF 24 HOURS, BUT NOT MORE THAN 120 HOURS. PEAK STORM WATER RELEASE RATES SHOULD MATCH PRE-DEVELOPMENT RATES FOR THE 2-YEAR AND 10-YEAR 6-HOUR STORM EVENTS.

(d) THE USE OF STRUCTURAL STORM WATER TREATMENT SYSTEMS (WET PONDS, EXTENDED DETENTION WETLANDS, BIO-RETENTION, ETC) SHALL BE INCORPORATED INTO THE SITE AND DESIGNED TO HAVE AN 85% AVERAGE ANNUAL REMOVAL FOR TOTAL SUSPENDED SOLIDS GENERATED FROM THE DEVELOPMENT ACCORDING TO SPECIFICATIONS IN THE NC DEPARTMENT OF ENVIRONMENTAL AND NATURAL RESOURCES BEST MANAGEMENT PRACTICES MANUAL, APRIL 1999.

(e) THE FOLLOWING AGENCIES MUST BE CONTACTED PRIOR TO PLAN APPROVAL REGARDING WETLAND AND WATER QUALITY PERMITS:

SECTION 401 PERMIT NCDEN/INR-RALEIGH OFFICE
SECTION 404 PERMIT U.S. ARMY CORPS OF ENGINEERS

1. WATER QUALITY PROTECTION MEASURES/WATERSHED PROTECTION MEASURES

(a) SWIM BUFFERS SHALL BE PROVIDED AS REQUIRED BY THE ORDINANCE. THE S.W.I.M. STREAM BUFFER REQUIREMENTS IN THE CITY OF CHARLOTTE'S ZONING ORDINANCE, CHAPTER 12. IN ADDITION, INTERMITTENT AND PERENNIAL STREAMS WITHIN THE PROJECT BOUNDARY SHALL BE DELINEATED BY A CERTIFIED PROFESSIONAL USING U.S. ARMY CORPS OF ENGINEERS AND N.C. DIVISION OF WATER QUALITY METHODOLOGY AND SHALL BE SHOWN IN THE SITE PLAN SUBMITTAL ALONG WITH ALL SWIM BUFFER AREAS.

ALL PERENNIAL AND INTERMITTENT STREAMS DRAINING LESS THAN 30 ACRES SHALL HAVE A MINIMUM 30-FOOT VEGETATED BUFFER INCLUDING A 10-FOOT ZONE ADJACENT TO THE BANK. DISTURBANCE OF THE BUFFER IS ALLOWED; HOWEVER, ANY DISTURBED AREA MUST BE RE-VEGETATED AND DISTURBANCE OF THE 10-FOOT ZONE ADJACENT TO THE BANK SHALL REQUIRE STREAM BANK STABILIZATION USING BIOENGINEERING TECHNIQUES AS SPECIFIED IN THE DESIGN MANUAL.

ALL STREAMS DRAINING GREATER THAN OR EQUAL TO 30 ACRES AND LESS THAN 300 ACRES SHALL HAVE A 25-FOOT BUFFER WITH TWO (2) ZONES, INCLUDING STREAM SIDE AND UPLAND. STREAMS DRAINING GREATER THAN OR EQUAL TO 300 ACRES AND LESS THAN 640 ACRES SHALL HAVE A 50-FOOT BUFFER WITH THREE (3) ZONES, INCLUDING STREAM SIDE, MANAGED USE AND UPLAND.

STREAMS DRAINING GREATER THAN OR EQUAL TO 640 ACRES SHALL HAVE A 100-FOOT BUFFER, PLUS 50% OF THE AREA OF THE FLOOD FRINGE BEYOND 100 FEET. THIS BUFFER SHALL CONSIST OF THREE (3) ZONES, INCLUDING STREAM SIDE, MANAGED USE AND UPLAND.

ALL BUFFERS SHALL BE MEASURED FROM THE TOP OF THE BANK ON BOTH SIDES OF THE STREAM. THE USES ALLOWED IN THE DIFFERENT BUFFER ZONES AS DESCRIBED IN THE S.W.I.M. STREAM BUFFER REQUIREMENTS IN THE ZONING ORDINANCE, CHAPTER 12, AS WELL AS THE OTHER PROVISIONS OF THE S.W.I.M. ORDINANCE SHALL APPLY (EXCEPT BUFFER WIDTHS).

(b) THE SITE SHALL CONFORM TO WATERSHED PROTECTION MEASURES APPLICABLE TO THE MALLARD CREEK DISTRICT.

(c) TEMPORARY OR STAGED SEEDING SHALL BE PERFORMED ON GRADED AREAS IMMEDIATELY FOLLOWING THE COMPLETION OF LAND DISTURBING ACTIVITIES TO MINIMIZE THE POTENTIAL FOR OFF-SITE SEDIMENTATION.

(d) TWO ROWS OF WIRE-REINFORCED SILT FENCES SHALL BE USED IN CRITICAL AREAS OF THE SITE SUCH AS AT ALL INTERMITTENT AND PERENNIAL STREAMS, WETLANDS, AT THE BASE OF SLOPES, AND OTHER LOCATIONS WHERE THE POTENTIAL FOR OFF-SITE SEDIMENTATION IS GREATEST.

(e) TWO-STAGE SEDIMENT BASINS WITH OUTLET WEIRS SIZED FOR A 50-YEAR, 24-HOUR STORM EVENT SHALL BE EMPLOYED TO LESSEN THE RISK OF BASIN FAILURE.

7. VEHICULAR ACCESS AND ROAD IMPROVEMENTS

(a) VEHICULAR ACCESS SHALL BE AS GENERALLY DEPICTED ON THE TECHNICAL DATA SHEET.

(b) THE PLACEMENTS AND CONFIGURATIONS OF THESE ACCESS POINTS ARE SUBJECT TO ANY MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND ARCHITECTURAL CONSTRUCTION PLANS AND DESIGNS AND TO ANY ADJUSTMENTS REQUIRED FOR APPROVAL BY THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION.

(c) DEVELOPMENT OF THE SITE WILL REQUIRE ACQUISITION BY GREYSON RIDGE OF A PORTION OF THE EXISTING SIXTY FOOT (60') WIDE ROADWAY FROM THE CITY OF CHARLOTTE. THE EXISTING ROADWAY WILL BE ABANDONED AND ACCESS TO THE ADJOINING CMUD FACILITY WILL BE BY WAY OF THAT ROADWAY. IN THE WESTERN PORTION OF THE SITE, AS MARKED ON THE SITE PLAN, A PERMANENT EASEMENT RIGHT OF ACCESS WILL BE GRANTED TO THE CITY OF CHARLOTTE AND/OR CMUD AS A REQUIREMENT OF THIS PROJECT.

(d) IT IS ANTICIPATED THAT THE MAIN ROADWAY (ACCESS "A") AND ACCESS B SHALL BE PUBLICLY DEDICATED AND CONVEYED TO THE CITY OF CHARLOTTE. IT IS ANTICIPATED THAT THE REMAINING ROADWAYS SHALL BE PRIVATELY MAINTAINED, HOWEVER, THEY MAY BE PUBLICLY DEDICATED AT SOME POINT IN THE FUTURE IF REQUIRED.

(e) PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY FOR ANY BUILDINGS ON THE SITE, THE PETITIONER SHALL PROVIDE FOR THE FOLLOWING ROAD IMPROVEMENTS:

US 29 & Caprington Avenue/Proposed Access "B"

- Construct Proposed Access "B" to align with Caprington Avenue and form the fourth leg to the intersection. *This driveway connection shall also be approved by NCDOT and concur with the latest edition of the NCDOT Policy on Street and Driveway Access to North Carolina Highways.*
- Proposed Access "B" shall be constructed with a single northbound left turn lane with 150' of storage and a combination thru-and-right turn lane.
- Construct a southbound left turn lane on Caprington Avenue with 150' of storage and a 15:1 bay taper with 45:1 through lane taper(s).
- Construct an eastbound right turn lane on US 29 with 100' of storage and a 20:1 bay taper.

US 29 & Relocated CMUD Drive

- Relocate the existing CMUD Access Drive approximately 415' east of Proposed Access "A", as depicted on the site plan. This access drive shall be constructed within the City relocated land and shall not have any internal connections to the proposed development.

US 29 & Proposed Access "A"

- Construct Proposed Access "A" with two exiting lanes. *The thru lane shall terminate as a right turn lane and construct a left turn lane with 150' of internal storage. This driveway connection shall also be approved by NCDOT and concur with the latest edition of the NCDOT Policy on Street and Driveway Access to North Carolina Highways.*
- Construct an eastbound right turn lane on US 29 with 100' of storage and a 20:1 bay taper.

US 29 & Proposed Access "C"

- Construct Proposed Access "C" with two exiting lanes. *The thru lane shall terminate as a right turn lane and construct a left turn lane with 150' of internal storage. This driveway connection shall also be approved by NCDOT and concur with the latest edition of the NCDOT Policy on Street and Driveway Access to North Carolina Highways.*
- Construct an eastbound right turn lane on US 29 with 100' of storage and a 20:1 bay taper.

NOTHING IN THE ABOVE NOTE 7(c) SHALL BE DEEMED AS A COMMITMENT BY THE PETITIONER TO PROVIDE FOR DEDICATION OF RIGHT-OF-WAY OF ANY PROPERTY LOCATED OUTSIDE THE BOUNDARIES OF THIS REZONING PETITION EXCEPT AS NECESSARY IN ORDER TO COMPLETE THE REQUIRED ROADWAY IMPROVEMENTS AS OUTLINED IN NOTE 7(c).

(f) Traffic signal control will be installed at the intersection of US 29 and Caprington Avenue (Proposed Access "B") upon meeting the applicable NCDOT traffic signal control warrants and at the developer's sole discretion. In the event the developer chooses to install traffic signal control AT THE intersection of US 29 and Caprington Avenue (Proposed Access "B") after approval by NCDOT, the developer will be responsible for all costs associated with the installation including modifications to the US 29 reversible-lane system and interconnect cable.

(g) THE PETITIONER WILL BE RESPONSIBLE FOR THE COSTS ASSOCIATED WITH THE DESIGN AND CONSTRUCTION OF ANY AND ALL ROADWAY IMPROVEMENTS AND/OR MODIFICATIONS AS DEPICTED ON THE SITE PLAN. THE DESIGN OF THESE IMPROVEMENTS MUST MEET APPLICABLE REQUIREMENTS AS DETERMINED BY AND BE SUBJECT TO THE REVIEW/APPROVAL OF CDOT AND THE NCDOT.

(h) A DRIVEWAY WILL BE PROVIDED, AS SHOWN ON THE SITE PLAN, TO PROVIDE FOR ACCESS TO AND FROM THE ADJOINING MALLARD CREEK WASTEWATER TREATMENT PLANT AND NORTH TRYON STREET. THIS DRIVEWAY SHALL BE LOCATED OUT OF THE FLOODPLAIN AND ANY APPLICABLE SWIM BUFFERS. THE NEW DRIVEWAY SHALL NOT HAVE ANY OTHER STREET OR ACCESS POINTS FOR PUBLIC USE ALONG ITS LENGTH, AS SHOWN ON THE SITE PLAN. THE DRIVEWAY SHALL BE CONSTRUCTED TO MEET CDOT STANDARDS FOR PUBLIC STREET. THE CONSTRUCTION FOR AN INDUSTRIAL AREA AND SHALL BE CONSTRUCTED AT GREYSON RIDGE'S SOLE COST AND EXPENSE (INCLUDING ANY AND ALL COSTS AND EXPENSES ASSOCIATED WITH RELOCATING ANY UTILITIES SERVING THE WASTEWATER TREATMENT PLANT). FURTHERMORE, GREYSON RIDGE SHALL BE RESPONSIBLE FOR RELOCATION OF ALL SIGNAGE SIGNIFYING THE ENTRANCE TO THE WASTEWATER TREATMENT PLANT AND GREYSON RIDGE SHALL BE RESPONSIBLE FOR INSTALLATION OF A SIX FOOT PLANTING/SCREENING STRIP ALONG BOTH SIDES OF THE RELOCATED DRIVEWAY.

(i) ALL PROPOSED COMMERCIAL DRIVEWAY CONNECTIONS TO A FUTURE PUBLIC STREET WILL REQUIRE A DRIVEWAY PERMIT TO BE SUBMITTED TO CDOT FOR REVIEW AND APPROVAL.

(j) ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.

(k) A RIGHT-OF-WAY ENCROACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ANY NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVEMENT, ETC) WITHIN A PROPOSED/EXISTING PUBLICLY STREET RIGHT-OF-WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S/BUSINESS ASSOCIATION. AN ENCROACHMENT AGREEMENT MUST BE APPROVED BY NCDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS). CONTACT NCDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL, AND LIABILITY INSURANCE COVERAGE REQUIREMENTS.

8. CONNECTIVITY

(a) PEDESTRIAN AND VEHICULAR CONNECTIONS THROUGHOUT THE SITE WILL BE PROVIDED IN THE MANNER GENERALLY DEPICTED AS SHOWN ON THE TECHNICAL DATA SHEET. INTERNAL SIDEWALKS ARE LOCATED BETWEEN BUILDINGS AND PARKING BAYS. EITHER A SIDEWALK AT LEAST SEVEN FEET IN WIDTH OR WHEEL STOPS SHALL BE PROVIDED.

(b) A PEDESTRIAN/BICYCLE TRAIL OF AT LEAST 10 FEET IN WIDTH MAY BE PROVIDED ALONG THE CREEK ON THE EASTERN EDGE OF THE DEVELOPMENT. IF SO, SUCH TRAIL WOULD BE COMPOSED OF GRAVEL OR OTHER POROUS MATERIAL AND MAY BE LOCATED WITHIN THE BUFFER ALONG THE STREAM.

(c) A BICYCLE TRAIL OF AT LEAST 15 FT IN WIDTH MAY BE PROVIDED WITHIN AND/OR ADJACENT TO THE DUKE POWER RIGHT-OF-WAY. IF SO, SUCH TRAIL WOULD BE COMPOSED OF GRAVEL OR OTHER POROUS MATERIAL. THE DEVELOPER SHALL PROVIDE SIGNAGE AND PAVEMENT MARKINGS FOR ALL BIKE PATH CROSSINGS WITHIN PARKING LOTS AND AT INTERSECTIONS WITH STREETS.

(d) A PEDESTRIAN CONNECTION EXTENDING FROM PARCEL A TO PARCEL B SHALL BE PROVIDED SUBJECT TO CMUD ALLOWING SUCH A CONNECTION OVER THE RELOCATED CMUD ACCESS DRIVE. IN THE EVENT CMUD ALLOWS SUCH A CONNECTION, IT SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FOR OFFICE OR HOTEL USES ON THE SITE. FURTHER, IF CMUD SO ALLOWS, A VEHICULAR CONNECTION FROM PARCEL A TO PARCEL B MAY ALSO BE PROVIDED AT ANY POINT DURING THE DEVELOPMENT PROCESS.

9. BICYCLE PARKING

BICYCLE PARKING SPACES (BIKE RACKS) SHALL BE PROVIDED IN ACCORDANCE WITH THE ORDINANCE.

10. FIRE PROTECTION

ADEQUATE FIRE PROTECTION IN THE FORM OF FIRE HYDRANTS WILL BE PROVIDED TO THE CHARLOTTE FIRE MARSHAL'S SPECIFICATIONS.

11. SIGNS

ALL SIGNS PLACED ON THE SITE WILL BE ERRECTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

12. SOLID WASTE

(a) AS THE SITE IS CURRENTLY VACANT LAND, NO DEMOLITION ACTIVITIES ARE NECESSARY. TO THE EXTENT NECESSARY, THE PETITIONER SHALL SUBMIT A SOLID WASTE MANAGEMENT PLAN PRIOR TO INITIATING CONSTRUCTION ACTIVITIES TO INCLUDE, AT A MINIMUM, THE PROCEDURES THAT WILL BE USED TO RECYCLE ALL CLEAN WOOD, METAL, AND CONCRETE GENERATED DURING CONSTRUCTION ACTIVITIES.

(b) THE MULTI-FAMILY COMPLEX LOCATED ON THE SITE SHALL MEET THE REQUIREMENTS OF CHAPTER 9 AND 12 OF THE CHARLOTTE CITY CODE REGARDING SOLID WASTE, DUMPSTER, COMPACTOR AND RECYCLING AREAS.

13. COMMON OPEN SPACE

THE COMMON OPEN SPACE ON THE SITE SHALL BE AS SHOWN ON THE SITE PLAN AND SHALL BE OTHERWISE IN CONFORMANCE WITH THE REQUIREMENTS OF THE ORDINANCE.

14. BUS SHELTER AND PARK N-RIDE SPACES

(a) A CATS BUS SHELTER AND WAITING PAD AREA SHALL BE PROVIDED IN THE AREA GENERALLY DEPICTED ON THE SITE PLAN IF CATS GRANTS APPROVAL OF SUCH SHELTER AND WAITING PAD.

(b) A PARK-N-RIDE LOT INCLUDING 100 NON-EXCLUSIVE PARKING SPACES WILL BE PROVIDED IN THE AREA GENERALLY DEPICTED ON THE SITE PLAN.

(c) THE BUS SHELTER, WAITING PAD AND PARK-N-RIDE SPACES SHALL BE INSTALLED PRIOR TO THE ISSUANCE OF ANY CERTIFICATES OF OCCUPANCY FOR THE OFFICE, HOTEL OR RETAIL AREAS OF THE SITE.

15. AMENDMENTS TO REZONING PLAN

FUTURE AMENDMENTS TO THE TECHNICAL DATA SHEET, THE SITE PLAN, THE ELEVATION AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THIN OWNER OR OWNERS OF THE PARCEL OR PARCELS WITHIN THE SITE INVOLVED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.

15. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

(a) IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THESE DEVELOPMENT STANDARDS AND THE TECHNICAL DATA SHEET WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND THE CURRENT AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.

(b) THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS, "PETITIONER" AND "OWNER" OR "OWNERS" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER OR THE OWNER OR OWNERS OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.

SITE ACREAGE TABULATION

TOTAL SITE ACREAGE:	68.90 AC
TOWNHOME RESIDENTIAL ACREAGE:	19.59 +/- AC
MULTI-FAMILY 1:	23.15 +/- AC
RETAIL:	10.82 +/- AC
OFFICE:	7.05 +/- AC
HOTEL:	7.06 +/- AC

CMU DRIVE (50 FT R.O.W.)

DEVELOPMENT SUMMARY

TH	TOWNHOME RESIDENTIAL:	141 UNITS
MF1	MULTI-FAMILY RESIDENTIAL:	339 UNITS
R	RETAIL PROVIDED:	110,000 SF
O	OFFICE PROVIDED:	30,000 SF
H	HOTEL PROVIDED:	45,000 SF (90 ROOMS)

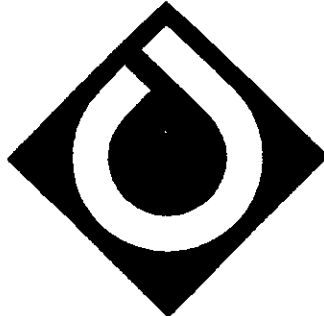
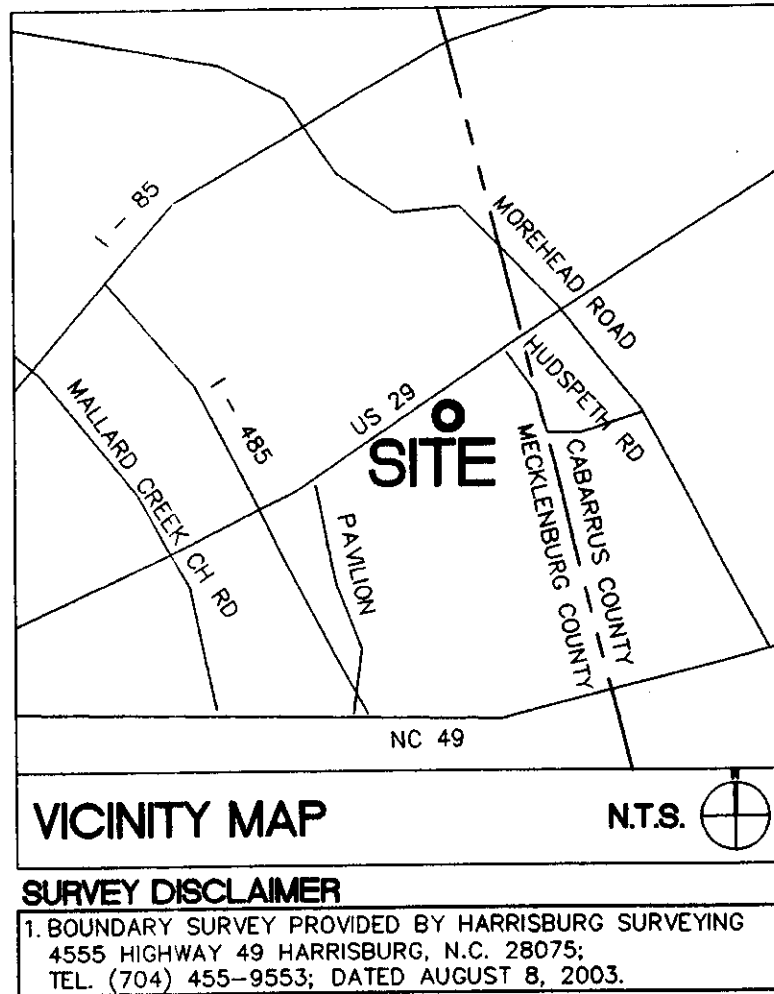
ZONING SUMMARY

EXISTING

O-1 (CD)	OFFICE:	65.89 AC
R-3	SINGLE-FAMILY RESIDENTIAL:	3.01 AC

PROPOSED

CC	COMMERCIAL CENTER:	68.90 AC
----	--------------------	----------



ColeJenest & Stone

Shaping the Environment
Realizing the Possibilities

Land Planning
Landscape Architecture
Civil Engineering
Urban Design

200 South Tryon Street, Suite 1400 Charlotte, NC 28202
P: 704.375.5555 or 704.375.7851 or www.colejenestandstone.com

GREYSON RIDGE DEVELOPMENT

50 Midtown Parkway East
Mobile, Alabama 36606

GREYSON RIDGE

Charlotte
North Carolina 28262

TECHNICAL DATA SHEET - NOTES

Project No.
3318

Issued

05/03/06

Revised

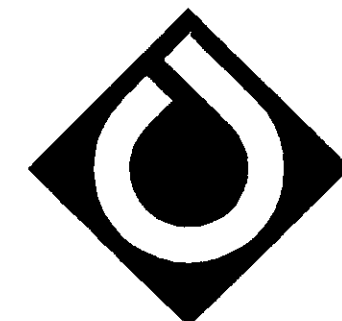
08/18/06 -- REZONING RESUBMITTAL

SCALE: N.T.S.

RZ4.0 of 6.0

The drawings, the project manual and the design shown thereon are instruments of ColeJenest & Stone, P.A.'s. These production or unauthorized use of the documents without consent of ColeJenest & Stone, P.A. is prohibited.

ColeJenest & Stone, P.A. 2006 ©



ColeJenest & Stone

Shaping the Environment
Realizing the Possibilities

Land Planning
Landscape Architecture
Civil Engineering
Urban Design

200 South Tryon Street, Suite 1400 Charlotte, NC 28202
704.378.3355 or 704.378.2951 or www.colejeneststone.com

**GREYSON RIDGE
DEVELOPMENT**
50 Midtown Parkway East
Mobile,
Alabama 36606

GREYSON RIDGE

Charlotte

North Carolina 28262

**DETAIL
SHEET**

Project No.

3318

Issued

03/10/06

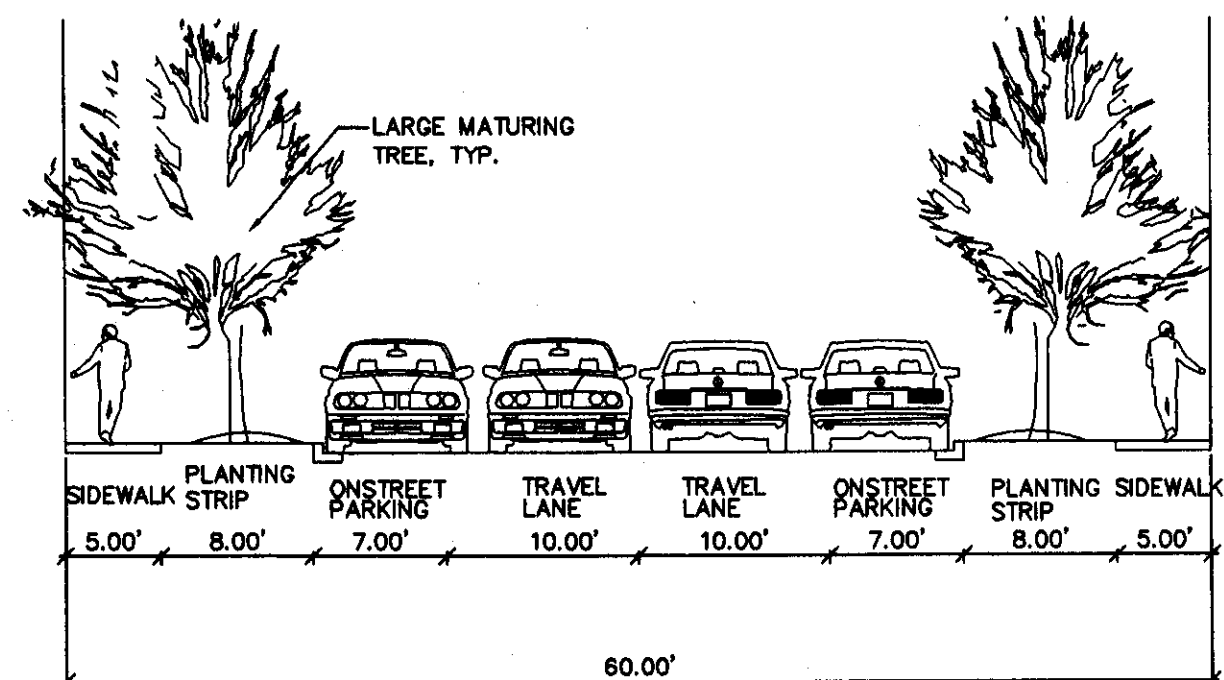
Revised

08/18/06 - REZONING SUBMITTAL

RZ5.0 of 6.0

The drawings, the project manual and the design shown thereon are instruments of ColeJenest & Stone, P.A. The reproduction or unauthorized use of the documents without consent of ColeJenest & Stone, P.A. is prohibited.

ColeJenest & Stone, P.A. 2006 ©



- NOTES:
1. THIS CROSS SECTION IS PER THE URBAN STREET GUIDELEINS FOR A "WIDE RESIDENTIAL STREET".
 2. ON STREET PARKING MAY BE PROVIDED ALONG ONE SIDE, BOTH SIDES OR NEITHER SIDE OF THE PUBLIC STREET.

PRIVATE STREET-TYPICAL SECTION

SCALE 1"=10'

9

TYPE III DRIVEWAY ENTRANCE

CMLD STD. DTL. #10.28 N.T.S.

3

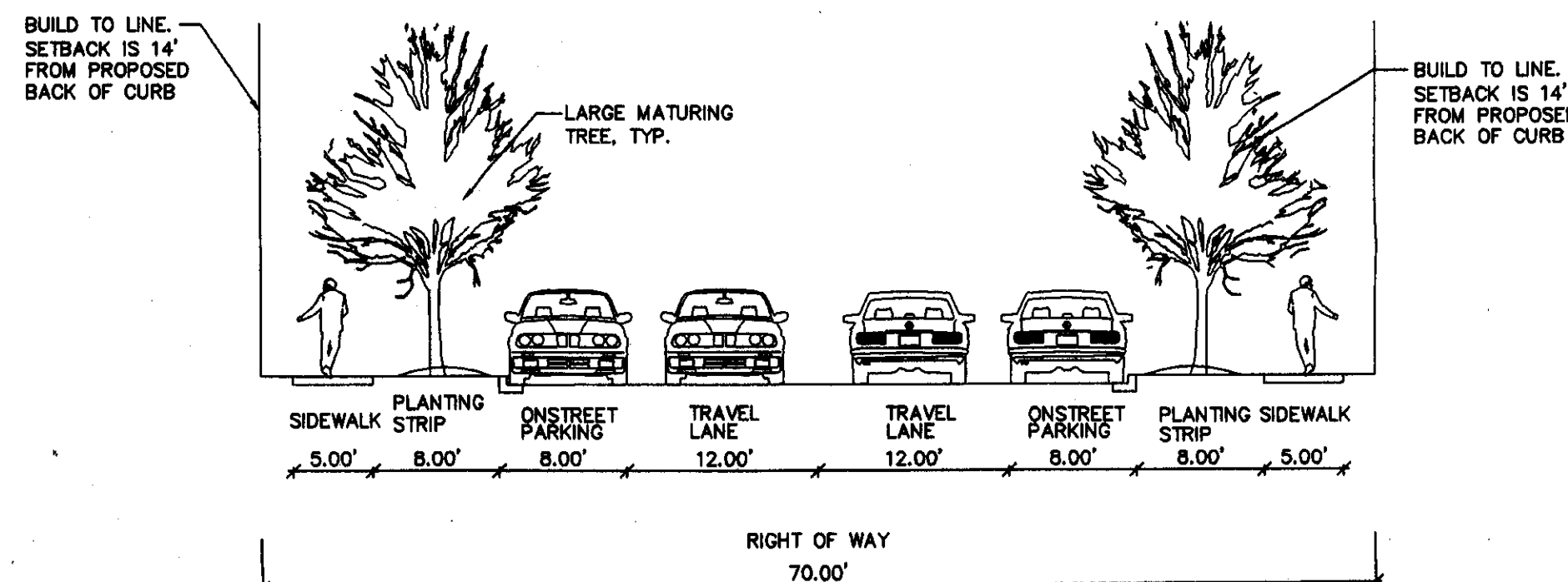
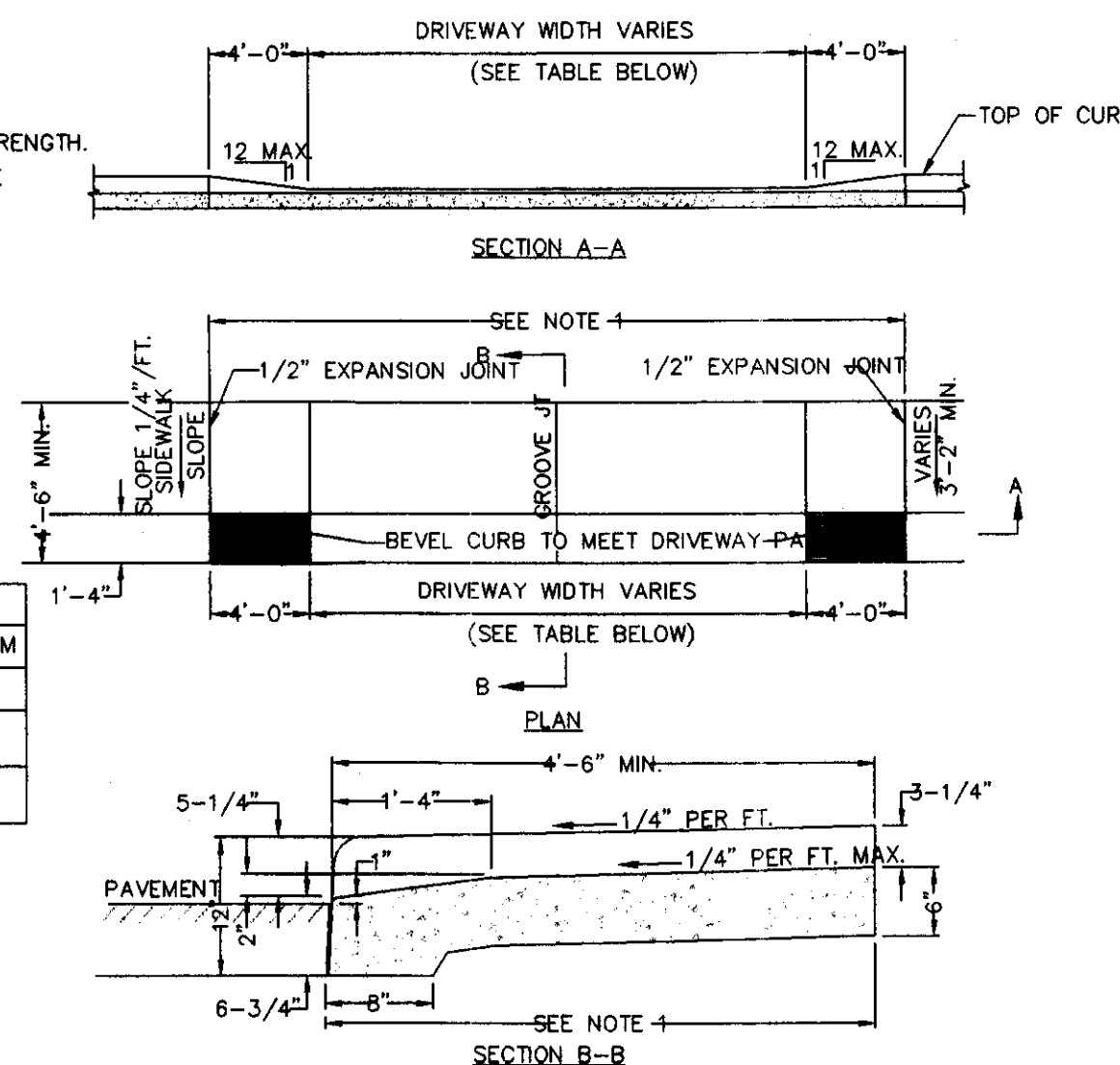
GENERAL NOTES:

ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE. SEE STANDARD 10.22.
THIS DETAIL TO BE USED ONLY IN CONJUNCTION WITH MONOLITHIC SIDEWALK AS ON STANDARD NO. 10.23.

NOTES:

1. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT.

DRIVEWAY CLASSIFICATIONS		
TYPE DRIVEWAY	MINIMUM	MAXIMUM
TYPE I - RESIDENTIAL	15'	30'
ONE-WAY TYPE II - COMMERCIAL	20'	30'
TWO-WAY TYPE II - COMMERCIAL	26'	50'



PUBLIC STREET B-TYPICAL SECTION

SCALE 1"=10'

8

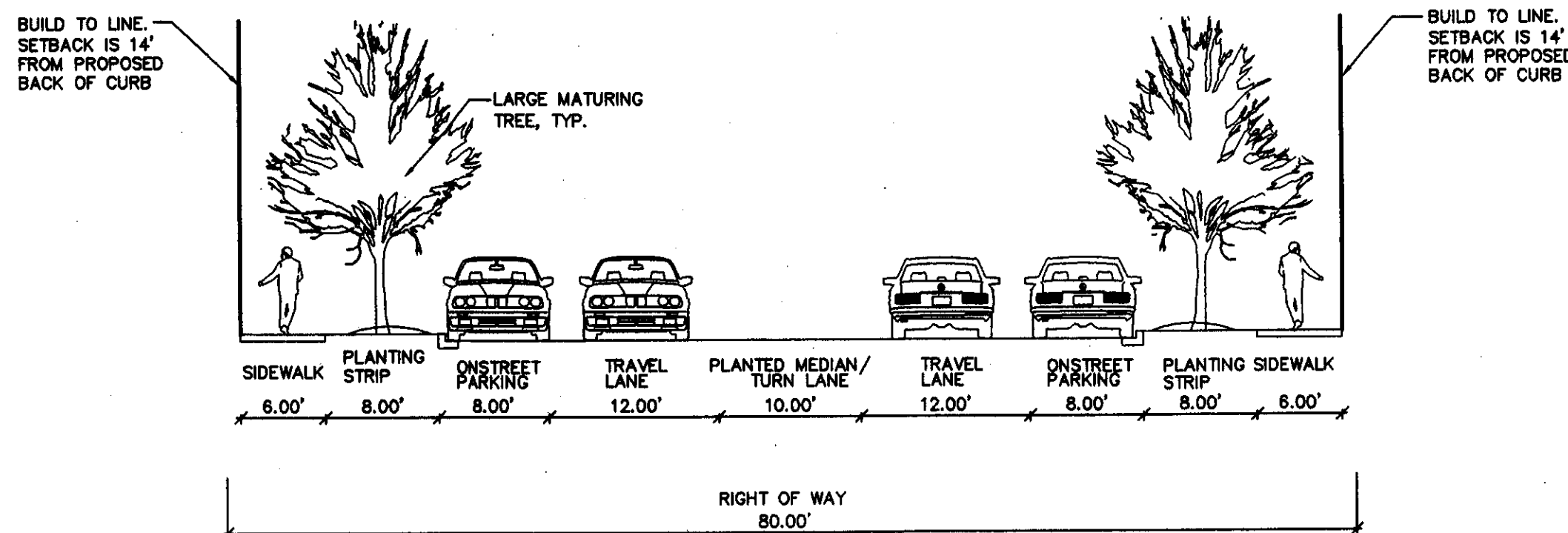
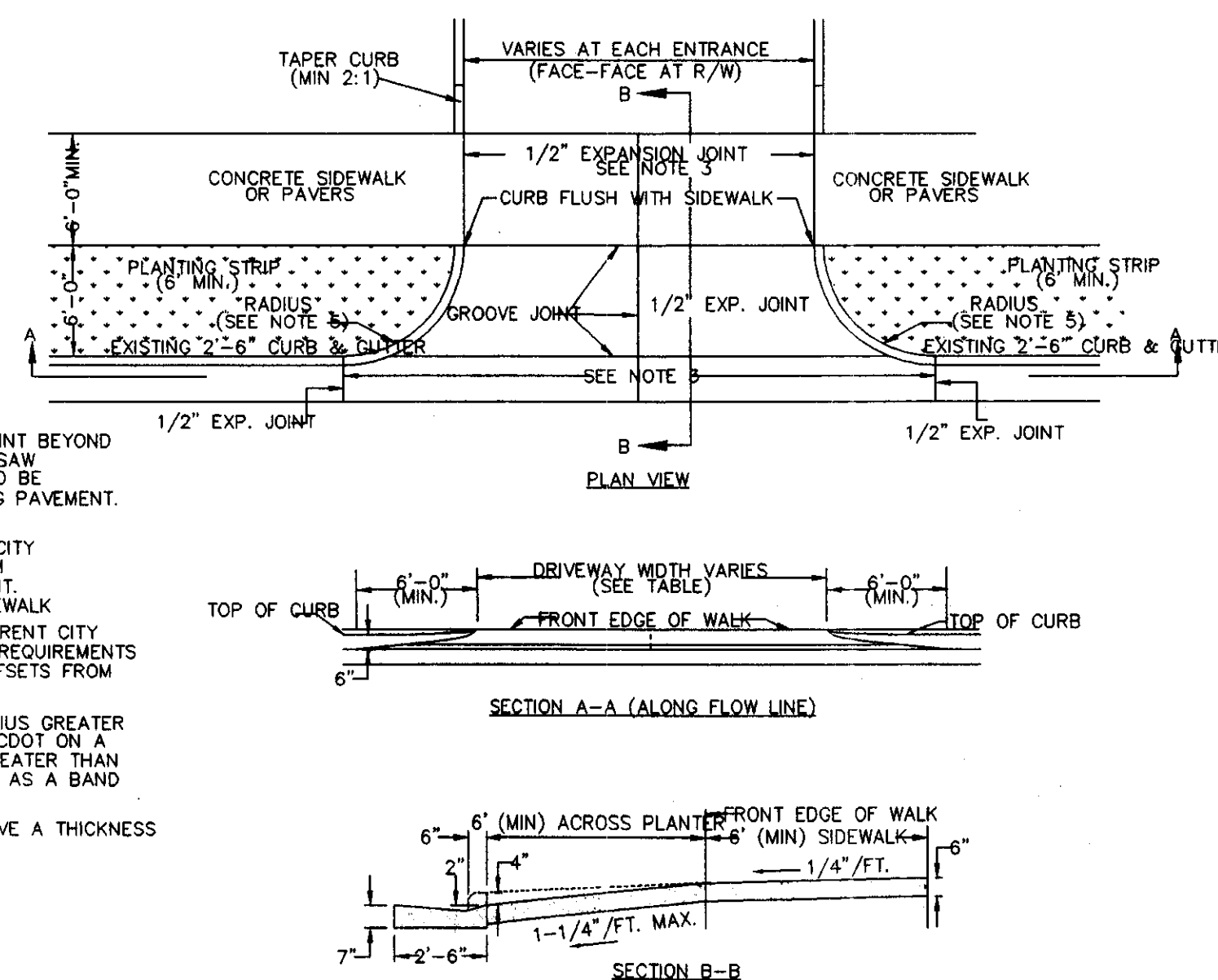
DROP CURB TYPE II DRIVEWAY MONOLITHIC CONCRETE CURB AND SIDEWALK

CMLD STD. DTL. #10.26 N.T.S.

2

DRIVEWAYS CLASSIFICATION		
TYPE DRIVEWAYS	MINIMUM	MAXIMUM
ONE-WAY TYPE II - COMMERCIAL	20'	30'
TWO-WAY TYPE II - COMMERCIAL	26'	50'

- NOTES:
1. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
 2. AT ALL DRIVEWAYS, SIDEWALKS TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT. SEE ST. NO. 10.17 FOR JOINT DETAIL.
 3. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT. FROM LIP OF CURB TO BACK OF SIDEWALK.
 4. ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NCDOT REQUIREMENTS FOR SPACING DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.
 5. RADI MUST BE MINIMUM 6 FEET. RADIUS GREATER THAN 6 FEET MAY BE REQUIRED BY CDOT ON A CASE-BY-CASE BASIS. FOR RADI GREATER THAN 6 FEET, THE RADI ARE TO CONTINUE AS A BAND AT GRADE THROUGH THE SIDEWALK.
 6. PAVERS USED IN DRIVEWAY MUST HAVE A THICKNESS OF 80mm.



PUBLIC STREET A-TYPICAL SECTION

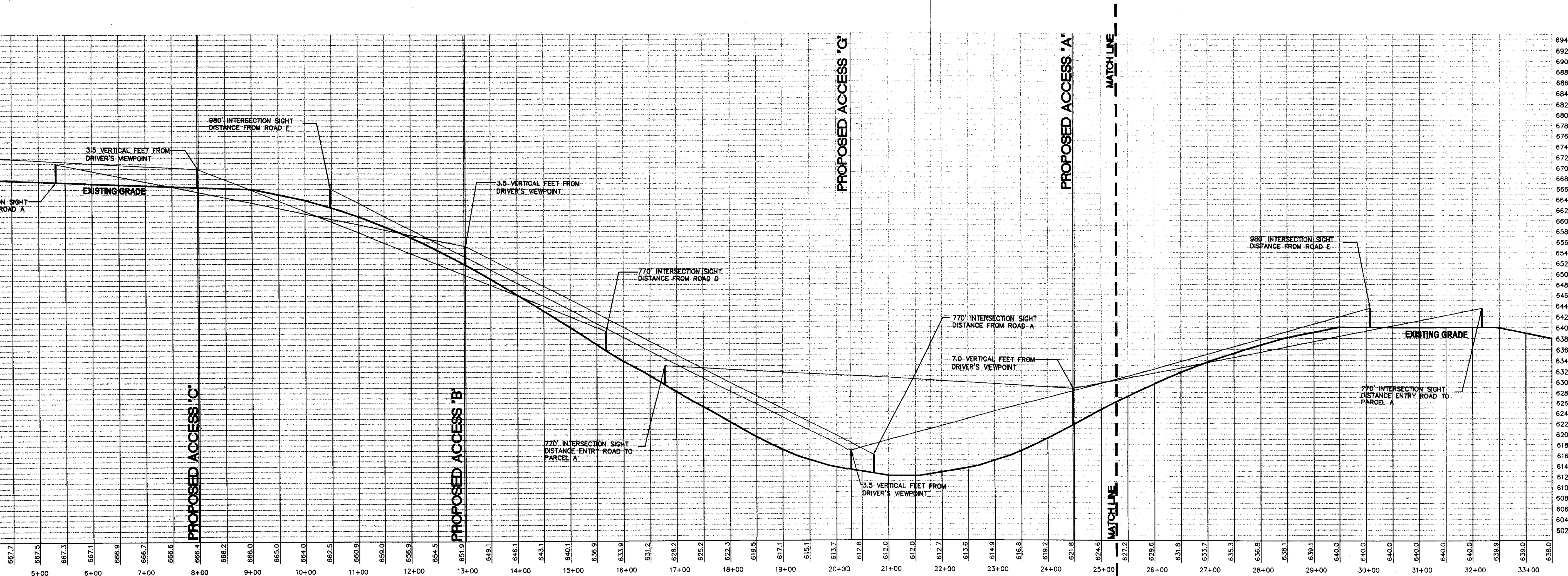
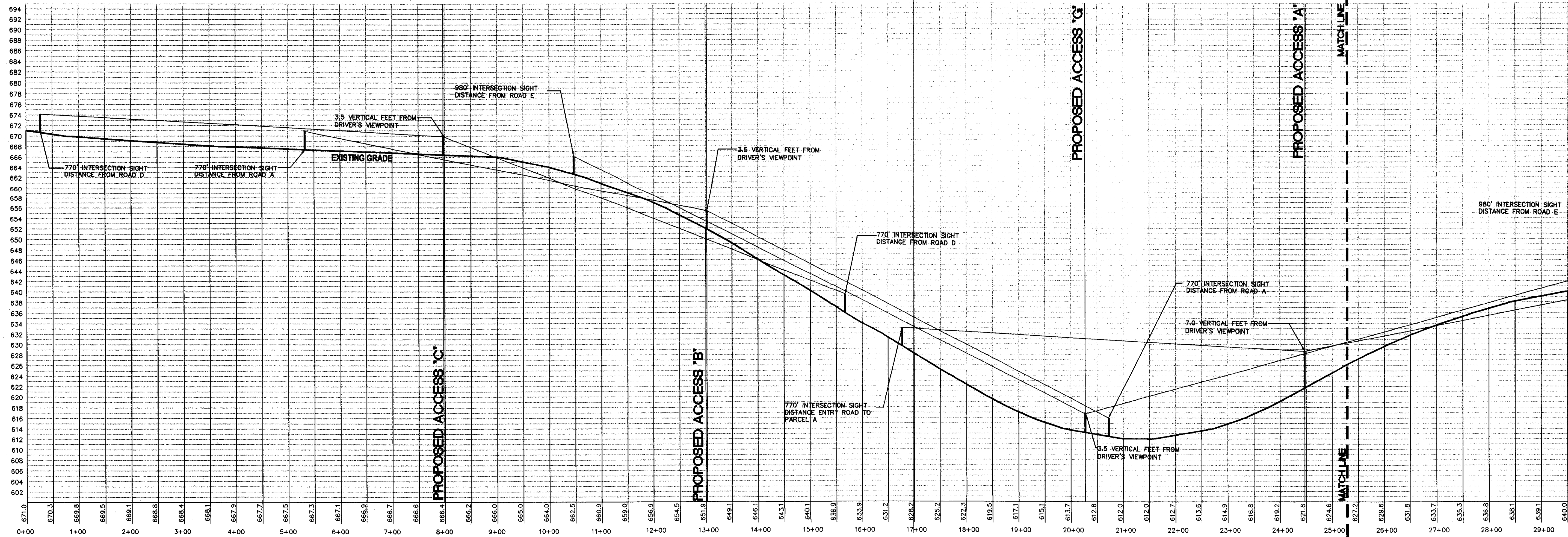
SCALE 1"=10'

7

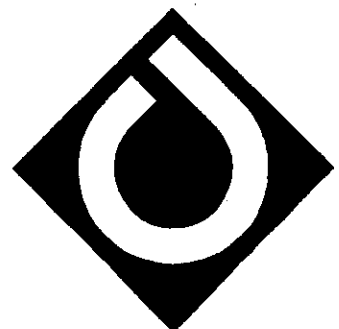
MODIFIED TYPE II DRIVEWAY DETAIL WITH PLANTING STRIP

CMLD STD. DTL. #10.25E N.T.S.

1



NOTE: ALL INTERSECTION SIGHT DISTANCES (ISD) WERE MEASURED FROM 15' BACK OF CURB TO CENTERLINE OF US 29 AT 3.5 VERTICAL FEET.



**ColeJenest
& Stone**

Shaping the Environment
Realizing the Possibilities

Land Planning
Landscape Architecture
Civil Engineering
Urban Design

200 South Tryon Street, Suite 1400 Charlotte, NC 28202
P: 704.376.1555 • F: 704.376.7853 • W: www.colejeneststone.com

GREYSON RIDGE DEVELOPMENT

50 Midtown Parkway East
Mobile,
Alabama 36606

GREYSON RIDGE

Charlotte

North Carolina 28262

NORTH TRYON SHEET- ROAD PROFILE

Project No.

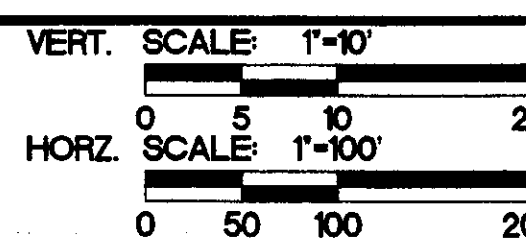
3318

Issued

05/03/06

Revised

08/16/06 - REZONING SUBMITTAL



RZ6.0 of 6

The drawings, the project manual and the design shown thereon are instruments of ColeJenest & Stone, P.A. The reproduction or unauthorized use of the documents without consent of ColeJenest & Stone, P.A. is prohibited.

ColeJenest & Stone, P.A. 2006 ©