



CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - AMENDED

CERTIFICATE NUMBER: 2017-00614

DATE: December 15, 2017
October 23, 2018 - AMENDED
April 12, 2019 - AMENDED

ADDRESS OF PROPERTY: 617 West Park Avenue

TAX PARCEL NUMBER: 11909610

HISTORIC DISTRICT: Wilmore

APPLICANT/OWNER: Angie Lauer, ALB Architecture/Justin Poovey

DETAILS OF APPROVED PROJECT: The project is the construction of a single-family house. A variance was granted September 27, 2016 (2016-045) to reduce the front setback to 10 feet and the rear yard to 10 feet as noted on the site plan. House design features include brick foundation, wood lap and shake siding, and wood trim details. House height is approximately 23'-6". The HDC granted an exception for the 5'-4" porch depth. See attached plans.

April 12, 2019 – Amendment: A wood fence will be installed around the rear yard. The fence/gates will be the shadowbox-style and all framing members will face inward to the property being enclosed or both sides will be the same. The fence will be 6' in height and will tie in at the rear corners of the house. The finished fence will be painted or stained after an appropriate curing time. See attached plans.

The project was approved by the HDC December 13, 2017. This approval replaces COA #2017-00090.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.

Chairman

Staff

APPROVED
 Charlotte
 Historic District
 Commission
 Certificate of Appropriateness
 # 2017-614



INDEX OF DRAWINGS

- A-0.0 Cover Sheet
- A-1.0 Proposed Site Plan
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- A-1.2 Subject Property Images
- A-2.0 Proposed Foundation Plan
- A-2.1 Proposed First Floor Plan
- A-2.2 Proposed Second Floor Plan
- A-2.3 Proposed Roof Plan
- A-3.0 Proposed Front Elevation
- A-3.1 Proposed Right Side Elevation
- A-3.2 Proposed Rear Elevation
- A-3.3 Proposed Left Side Elevation
- A-3.4 Sections and Details



ALB Architecture
 1200 E. Morehead St.
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NOTE:
 Reuse or modification of these construction documents by the client, without the Architect's permission, shall be at the client's sole risk, and the client agrees to indemnify and hold the Architect harmless for all claims, damages and expenses, including attorney fees, arising out of such reuse by client or by others acting through client.

Designed Exclusively For the:
POOVEY RESIDENCE
 617 W Park Avenue, Charlotte, NC 28203

HDC MEETING DATE:
 DECEMBER 13, 2017
 HDC 2017-614

PROJECT #: 17070
 ISSUED: 14 NOV 2017
 REVISIONS:

COVER SHEET

A-0

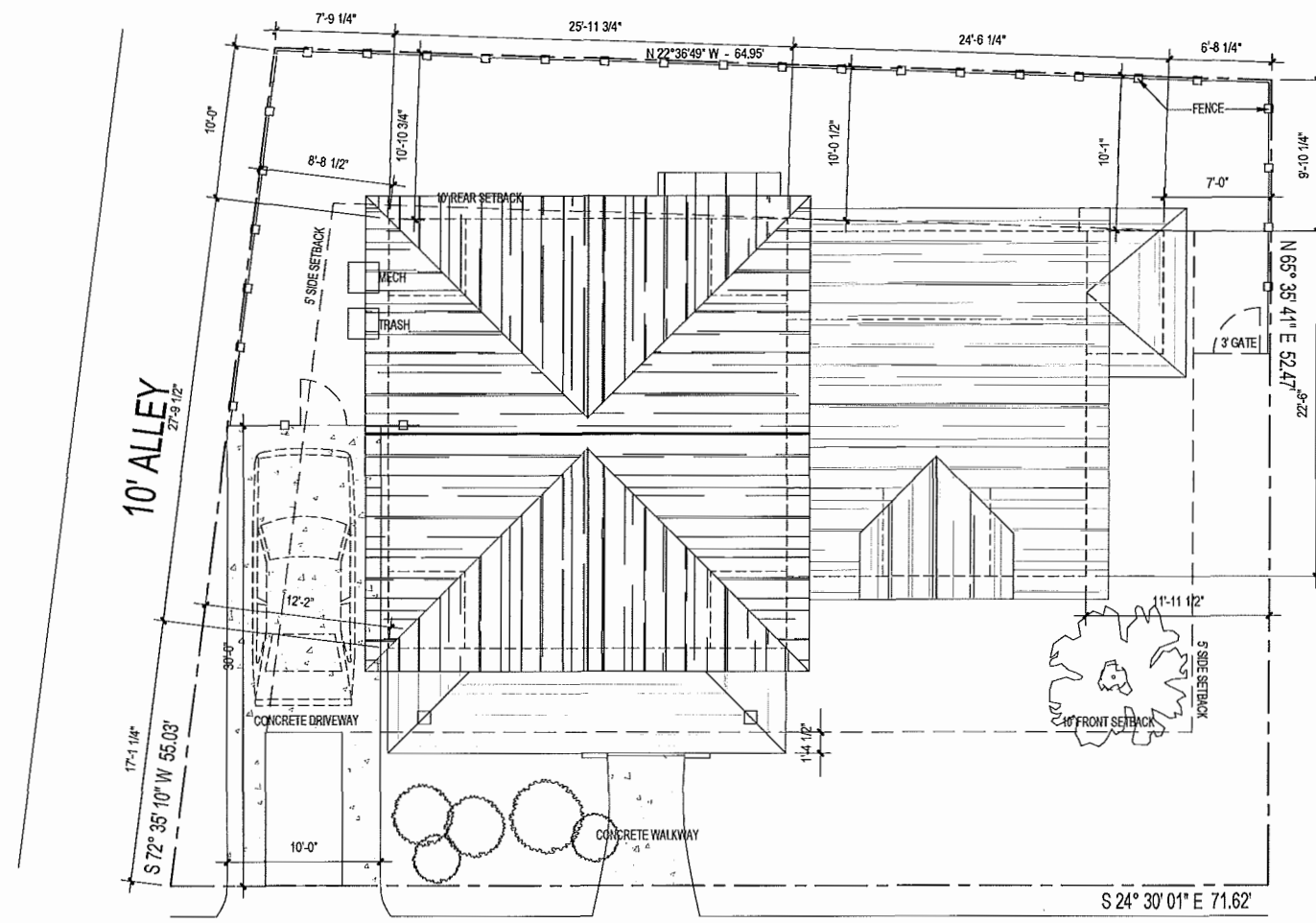
OF THIRTEEN

ADVISORY
 Charlotte
 Planning Commission
 Certificate of Appropriateness
 # 207-614



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WEST PARK AVENUE

PROPOSED SITE PLAN
 1/8" = 1'-0"

NOTE:

CONCRETE		KEY	WALL TO BE REMOVED	
GRAVEL		ITEM TO BE REMOVED		
RETAINING WALL				
FAWER SYSTEM				

LEGEND:

BOUNDARY LINE	
OVERHEAD UTILITIES	
FENCE (TYPE NOTED)	
UTILITY POLE	
RW: RIGHT OF WAY	
EP: EDGE OF PAVEMENT	
CL: CENTERLINE	

NORTH

Designed Exclusively For the:
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 617 W Park Avenue, Charlotte, NC 28203

HDC MEETING DATE:
 DECEMBER 13, 2017
 HDC 2017-614

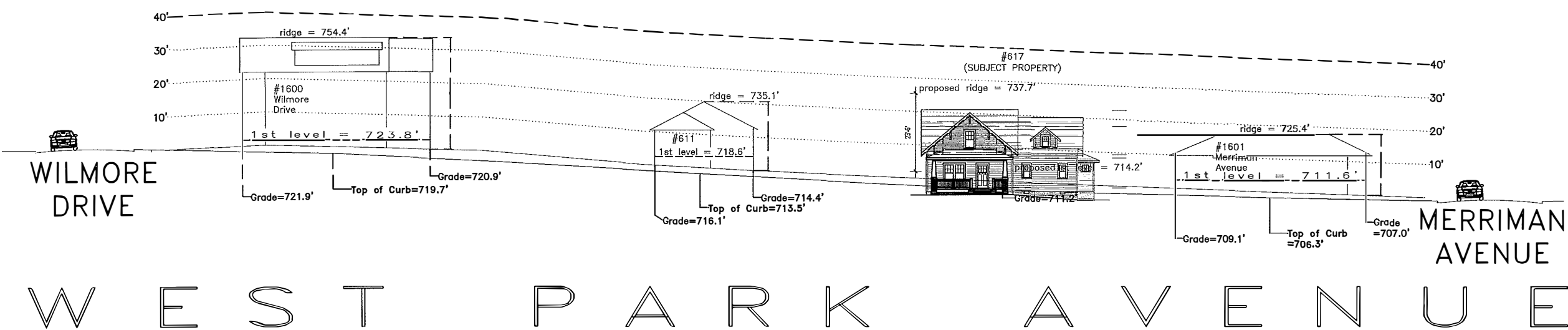
PROJECT #: 17070
 ISSUED: 14 NOV 2017
 REVISIONS:

PROPOSED SITE PLAN
A-1.0
 OF THIRTEEN

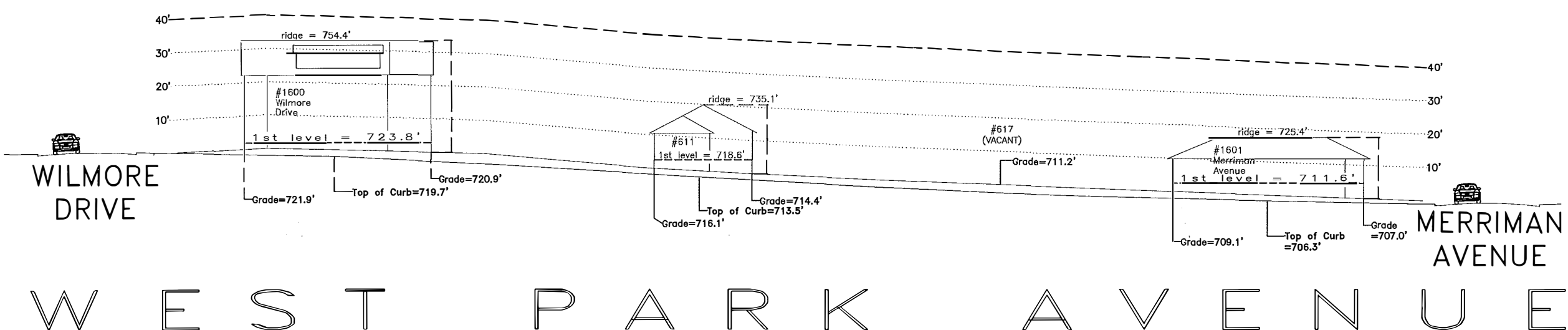
12/13/2017
 POOVEY RESIDENCE
 617 W PARK AVENUE
 CHARLOTTE, NC 28203
 Certificate of Approval
 2017-614



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② PROPOSED STREET SCAPE
 1"=8'-0"



① EXISTING STREET SCAPE
 1"=8'-0"


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Designed Exclusively For the:
POOVEY RESIDENCE
 617 W Park Avenue, Charlotte, NC 28203

HDC MEETING DATE:
 DECEMBER 13, 2017
 HDC 2017-614

PROJECT #: 1170
 ISSUED: 14 NOV 2017
 REVISIONS:

STREETScape STUDY
A-1.1
 OF THIRTEEN


 11/14/17
 Custom
 Match Point
 Conversion
 Certificate of Appropriateness
 # 2017-614



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GENERAL NOTES:

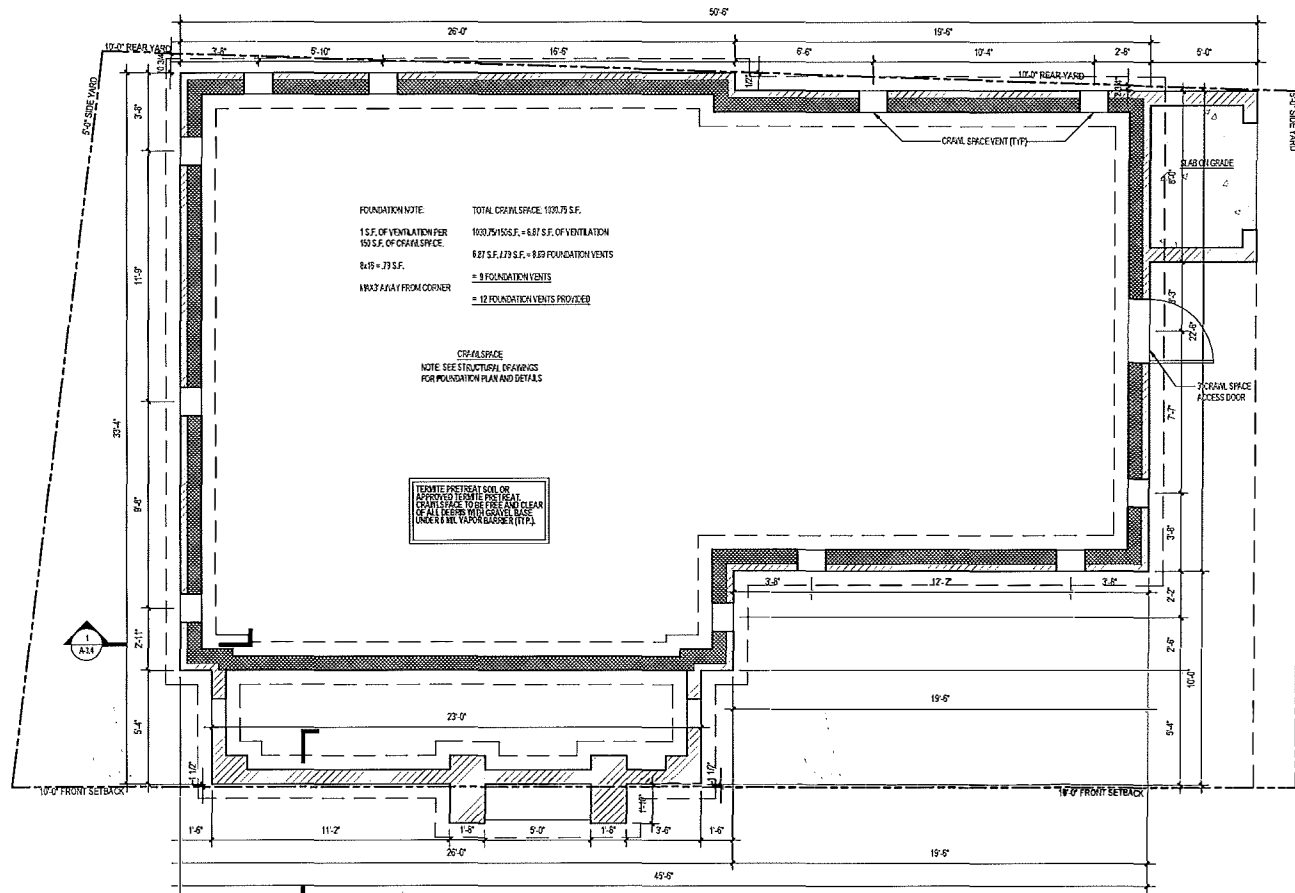
1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF BRICK.
6. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK IN FOUNDATION.
7. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
8. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{4}$ ".
9. ALL RISERS TO BE SOLID.
10. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT.
12. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
13. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 28" IN HEIGHT.
14. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
15. ALL EAVES TO BE 1' 6" U.N.O.
16. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
17. CONTINUOUS EAVE VENT U.N.O.

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STAIRS, RAILING & GUARD NOTES:

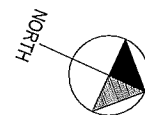
1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 $\frac{1}{2}$ INCHES.
 - 2.1. ALL SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

- NOTE:**
1. REUSE OR MODIFICATION OF THESE CONSTRUCTION DOCUMENTS BY THE CLIENT, WITHOUT THE ARCHITECTS PERMISSION, SHALL BE AT THE CLIENT'S SOLE RISK, AND THE CLIENT AGREES TO INDEMNIFY AND HOLD THE ARCHITECT HARMLESS FOR ALL CLAIMS, DAMAGES AND EXPENSES, INCLUDING ATTORNEY FEES ARISING OUT OF SUCH REUSE BY CLIENT OR BY OTHERS ACTING THROUGH CLIENT.
 2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



PROPOSED FOUNDATION PLAN
 1/4" = 1'-0"

- NOTE:**
- 10" CONCRETE
 - STUD WALL
 - FURRED WALL
 - 4" WALL




Designed Exclusively For the:
POOVEY RESIDENCE
 617 W Park Avenue, Charlotte, NC 28203

HDC MEETING DATE:
 DECEMBER 13, 2017
 HDC 2017-614

PROJECT #: 17078
 ISSUED: 14 NOV 2017
 REVISIONS:

PROPOSED FOUNDATION PLAN
A-2.0
 OF THIRTEEN


 Certificate of Appropriation
 # 2017-614



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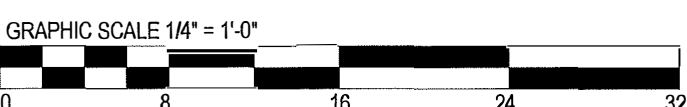
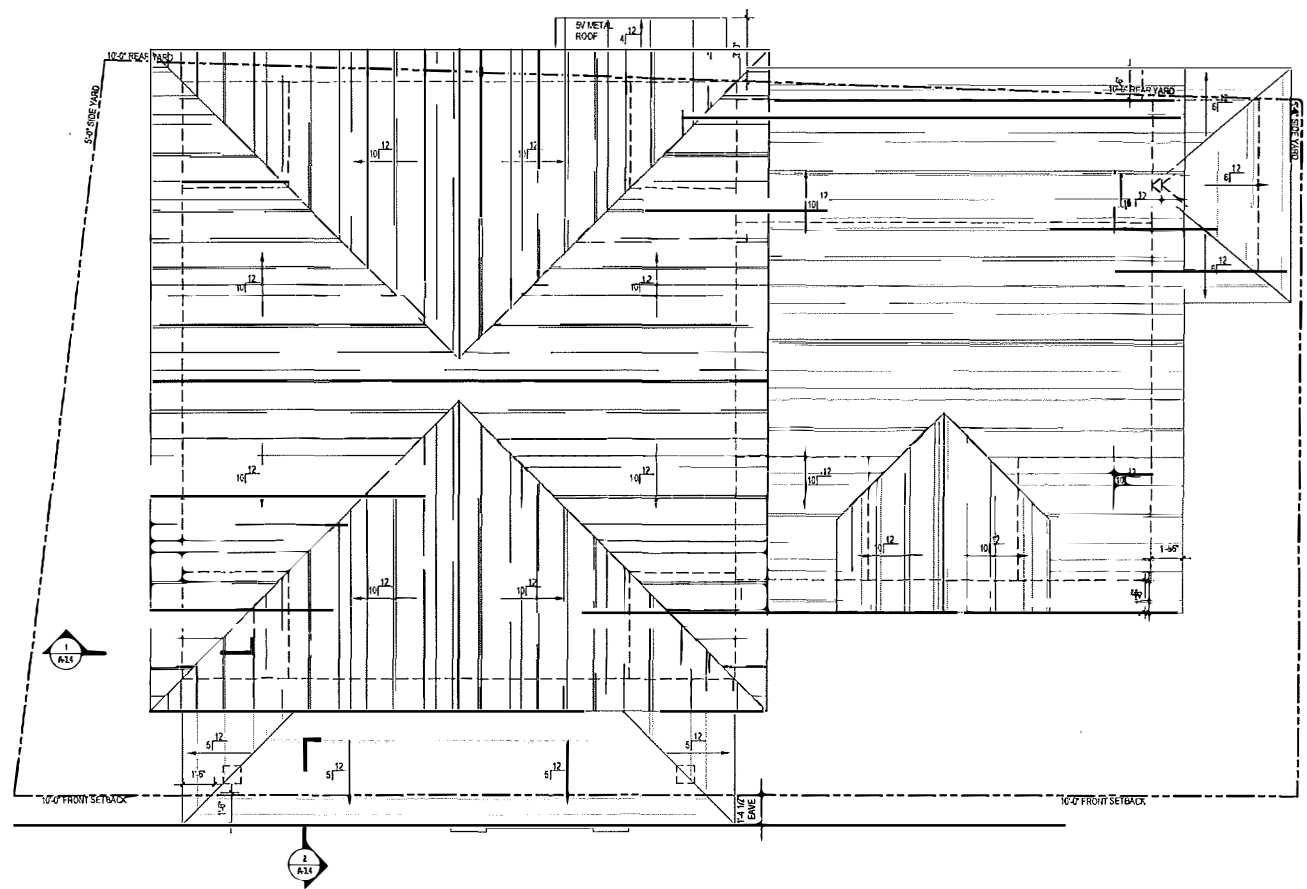
GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF BRICK.
- ALL DIMENSIONS ARE TO FACE OF STUD & BRICK IN FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN $\frac{1}{8}$ ".
- ALL RISERS TO BE SOLID.
- ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL LEAVES TO BE 1'-6" U.N.O.
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

- R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. -SEE PLANS FOR CLEAR WIDTH.
 - EXCEPTION DOES NOT APPLY TO THIS PROJECT.
- R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
- R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
- R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
 - R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
- R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
- R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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1 PROPOSED ROOF PLAN
1/4" = 1'-0"

NOTE:

10' CONCRETE	
STUD WALL	
FURRED WALL	
4' WALL	

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Designed Exclusively For the:
POOVEY RESIDENCE
 617 W Park Avenue, Charlotte, NC 28203

HDC MEETING DATE:
 DECEMBER 13, 2017
 HDC 2017-614

PROJECT #: 11070
 ISSUED: 14 NOV 2017
 REVISIONS:

PROPOSED ROOF PLAN
A-2.3
 OF THIRTEEN

WINDOW SCHEDULE

ID	SIZE	HEADER HEIGHT	TYPE
A	2'-6" X 5'-0"	7'-0"	DOUBLE HUNG
B	2'-0" X 4'-0"	7'-0"	DOUBLE HUNG
C	2'-0" X 2'-0"	8'-0" (FROM STORAGE EFF.)	CASEMENT
D	2'-0" X 2'-6"	7'-0"	DOUBLE HUNG
E	2'-0" X 3'-0"	8'-0"	DOUBLE HUNG
F	2'-6" X 3'-6"	7'-0"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK GUTTER AT WINDOWS.
 2. SEE ELEVATIONS FOR MATCH PATTERN VERIFY ANY REQUIREMENTS FOR EXPANSION JOINTS/SPACERS OR THERMO BREAK GLASS.
 3. ALL WINDOWS WITH 8" OF GLASS OR MORE & LESS THAN 1" AFF MUST BE TYPED.
 4. PROVIDE FALL PROTECTION WHERE WINDOW IS LESS THAN 2' ABOVE AFF AND GREATER THAN 12" ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZES:
 - 5.1. VERIFY EXISTING WINDOW SIZES BASED ON KOLBE IN TRASSERIES DIVISIONS.
 - 5.2. FOR KITCHEN & BATHROOMS - MATCH EXISTING WINDOW & DOOR SIZES. INSTALL WITH DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MATCH PATTERN VERIFY ANY REQUIREMENTS FOR EXPANSION JOINTS/SPACERS OR THERMO BREAK GLASS.
 - 5.3. M.E. - MATCH EXISTING.
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

GENERAL NOTES:

1. ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF BRICK.
6. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK IN FOUNDATION.
7. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
8. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
9. ALL RISERS TO BE SOLID.
10. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT.
12. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
13. NO RAIL REQUIRED IF GRADE TO STOODS & PORCHES IS LESS THAN 29" IN HEIGHT.
14. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
15. ALLEAVE TO BE 1/8" U.N.O.
16. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
17. CONTINUOUS EAVE VENT U.N.O.

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STAIRS, RAILING & GUARD NOTES:

1. R311.7.4 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
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5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
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 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
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3 OPTION 'C'
1/4" = 1'-0"



2 OPTION 'B'
1/4" = 1'-0"



1 OPTION 'A'
1/4" = 1'-0"

Larger window, same size as front windows (10/23/2018)

Designed Exclusively For the:
POOVEY RESIDENCE
617 W Park Avenue, Charlotte, NC 28203

HOC MEETING DATE:
DECEMBER 13, 2017
HOC 2017-614

PROJECT #: 17070
ISSUED: 14 NOV 2017
REVISIONS:

PROPOSED FRONT ELEVATION
A-3.0
OF THIRTEEN

APPROVED
 2017-614

ID	SIZE	HEADER HEIGHT	TYPE
A	2'-6" X 5'-0"	7'-0"	DOUBLE HUNG
B	2'-0" X 4'-0"	7'-0"	DOUBLE HUNG
C	2'-0" X 2'-0"	5'-0" (FROM STORAGE FLOOR)	CASEMENT
D	2'-0" X 3'-0"	7'-0"	DOUBLE HUNG
E	2'-0" X 3'-0"	5'-0"	DOUBLE HUNG
F	2'-0" X 3'-0"	7'-0"	DOUBLE HUNG

- NOTE:
1. MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATIONS FOR MATCH PATTERN VERIFY ANY REQUIREMENTS FOR SERIES OR TYPED GLASS.
 3. ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 18" AFF MUST BE TYPED.
 4. PROVIDE RAIL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE AFF AND GREATER THAN 1/2 ABOVE GRADE OR WALKING SURFACE SEE ON.
 5. WINDOW SIZES:
 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRA SERIES DIMENSIONS.
 5.2. FOR ADDITIONS & RENOVATIONS - MATCH EXISTING WINDOW & DOOR SIZES. VISUALLY MATCH TRIM AND FLASHING. SEE ELEVATIONS FOR MATCH PATTERN VERIFY ANY REQUIREMENTS FOR SERIES OR TYPED GLASS.
 5.3. USE MATCH EXISTING.
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

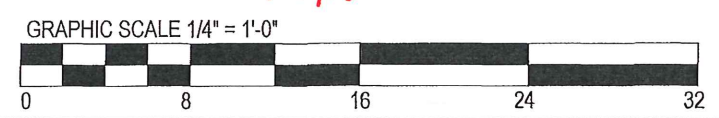
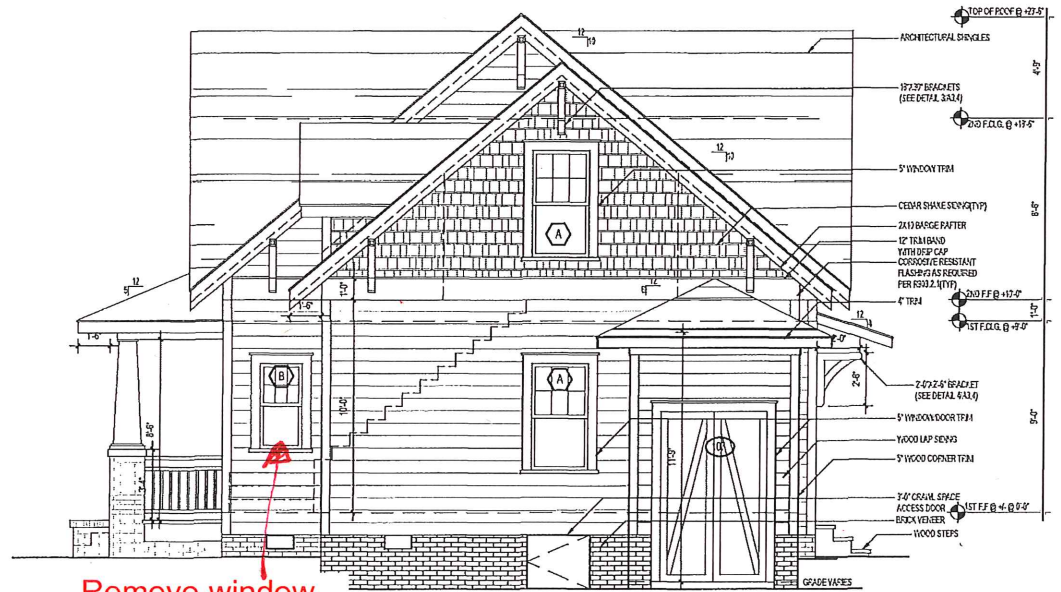
GENERAL NOTES:

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STAIRS, RAILING & GUARD NOTES:

1. R311.7.1 WIDTH - STAIRWAYS SHALL NOT BE LESS THAN 36 INCHES IN CLEAR WIDTH AT ALL POINTS ABOVE THE PERMITTED HANDRAIL HEIGHT. - SEE PLANS FOR CLEAR WIDTH.
 - 1.1. EXCEPTION DOES NOT APPLY TO THIS PROJECT.
2. R311.7.4.1 RISER HEIGHT - THE MAXIMUM RISER HEIGHT SHALL BE 8 1/4 INCHES.
 - 2.1. ALB SPECIFIES MAXIMUM RISER HEIGHT SHALL BE 8 INCHES FOR THIS PROJECT.
3. R311.7.4.2 TREAD DEPTH - THE MINIMUM TREAD DEPTH SHALL BE 9 INCHES.
4. R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
5. R311.7.7.1 HANDRAIL HEIGHT - HANDRAIL HEIGHT SHALL NOT BE LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES IN HEIGHT.
6. R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - 6.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
7. R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - 7.1. EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENING (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

- NOTE:
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 2. THESE DRAWINGS ARE NOT TO BE SCALED FOR ANY REASON, ALL DIMENSIONS TO BE FIELD VERIFIED. IF DIMENSIONS ARE IN QUESTION, OBTAIN CLARIFICATION FROM ARCHITECT.



1 PROPOSED RIGHT ELEVATION
 1/4" = 1'-0"

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Designed Exclusively For the:
POOVEY RESIDENCE
 617 W Park Avenue, Charlotte, NC 28203

HDC MEETING DATE:
 DECEMBER 13, 2017
 HDC 2017-614

PROJECT #: 17070
 ISSUED: 14 NOV 2017
 REVISIONS:

PROPOSED RIGHT ELEVATION
A-3.1
 OF THIRTEEN


 APPROVED
 11/14/2017
 2017-614

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-0"	7'-0"	DOUBLE HUNG
B	2'-0" X 4'-0"	7'-0"	DOUBLE HUNG
C	2'-0" X 2'-0"	9'-0" (FROM STORAGE FR.)	CASEMENT
D	3'-0" X 3'-0"	7'-0"	DOUBLE HUNG
E	2'-0" X 3'-0"	5'-6"	DOUBLE HUNG
F	2'-0" X 3'-0"	7'-0"	DOUBLE HUNG

- NOTE:
- MATCH TRIM DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 - SEE ELEVATIONS FOR MOUNTING PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ALL WINDOWS WITH 9 SF OF GLASS OR MORE & LESS THAN 19" AFFAIR MUST BE TEMPERED.
 - PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 24" ABOVE A.F.F. AND GREATER THAN 7' ABOVE GRADE OR WALKING SURFACE BELOW.
 - WINDOW SIZING:
 - NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRASERIES DIMENSIONS.
 - FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR SIZES. FINISH WITH METAL DRIP CAP AND FLASHING. SEE ELEVATIONS FOR MOUNTING PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - ME = MATCH EXISTING.
 - PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

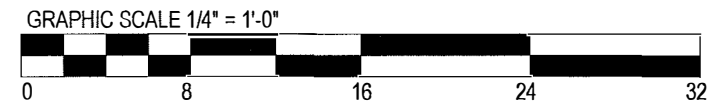
GENERAL NOTES:

- ALL PROPERTY LINES TO BE VERIFIED BY SURVEYOR.
- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
- FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
- ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
- FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF BRICK.
- ALL DIMENSIONS ARE TO FACE OF STUD & BRICK IN FOUNDATION.
- STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
- INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
- ALL RISERS TO BE SOLID.
- ALL CASE OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
- RAILS TO BE 36" IN HEIGHT.
- ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
- NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 29" IN HEIGHT.
- USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
- ALL EAVES TO BE 1'-6" U.I.L.O.
- CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
- CONTINUOUS EAVE VENT U.I.L.O.

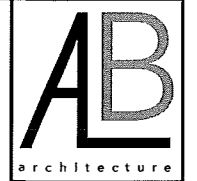
STAIRS, RAILING & GUARD NOTES:

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- R311.7.7 HANDRAILS - HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS OR FLIGHT OF STAIRS WITH FOUR OR MORE RISERS.
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 - R312.2 GUARD HEIGHT - GUARDS SHALL NOT BE LESS THAN 36 INCHES.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - GUARD HEIGHT SHALL NOT BE LESS THAN 34 INCHES IF ON THE OPEN SIDE OF STAIR & SERVES AS THE RAILING.
 - R312.3 OPENING LIMITATIONS - REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
 - EXCEPTIONS 1 & 2 APPLY TO PROJECT - OPEN SIDE OF STAIR SHALL NOT ALLOW PASSAGE OF A 6 INCH SPHERE IN DIAMETER AT THE TRIANGULAR OPENINGS (BETWEEN BOTTOM RAIL, TREAD AND RISER). GUARDS SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER SPHERE ON OPEN SIDE OF STAIR.

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PROPOSED REAR ELEVATION
 1/4" = 1'-0"



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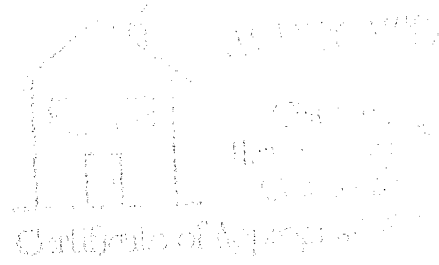
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POOVEY RESIDENCE
 617 W Park Avenue, Charlotte, NC 28203

HDC MEETING DATE:
 DECEMBER 13, 2017
 HDC 2017-614

PROJECT #: 17070
 ISSUED: 14 NOV 2017
 REVISIONS:

PROPOSED REAR ELEVATION
A-3.2
 OF: THIRTEEN



2017-614

WINDOW SCHEDULE			
ID	SIZE	HEADER HEIGHT	TYPE
A	2'-0" X 5'-0"	7'-0"	DOUBLE HUNG
B	2'-0" X 4'-0"	7'-0"	DOUBLE HUNG
C	2'-0" X 2'-0"	8'-0" (FROM STORAGE FFL)	CASEMENT
D	2'-0" X 3'-0"	7'-0"	DOUBLE HUNG
E	2'-0" X 3'-0"	8'-0"	DOUBLE HUNG
F	2'-0" X 3'-0"	7'-0"	DOUBLE HUNG

- NOTE:
1. MATCH WINDOW DETAILS WITH METAL DRIP CAP (WITH FLASHING) & BACK BAND TRIM AT WINDOWS.
 2. SEE ELEVATION FOR MANTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 3. ALL WINDOWS WITH 5' OF GLASS OR MORE & LESS THAN 1' AFF MUST BE TEMPERED.
 4. PROVIDE FALL PROTECTION WHERE THE WINDOW IS LESS THAN 2' ABOVE AFF AND GREATER THAN 7' ABOVE GRADE OR WALKING SURFACE BELOW.
 5. WINDOW SIZING:
 - 5.1. NEW CONSTRUCTION - DIMENSIONS BASED ON KOLBE ULTRASERIES DIMENSIONS.
 - 5.2. FOR ADDITIONS & REMODELS - MATCH EXISTING WINDOW & DOOR SPECIFICATIONS. VERIFY WINDOW HEADS FOR EGRESS OR TEMPERED GLASS. FOR MANTIN PATTERN, VERIFY ANY REQUIREMENTS FOR EGRESS OR TEMPERED GLASS.
 - 5.3. ME - MATCH EXISTING.
 6. PRIOR TO ORDERING WINDOWS, SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR APPROVAL.

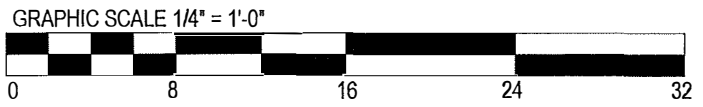
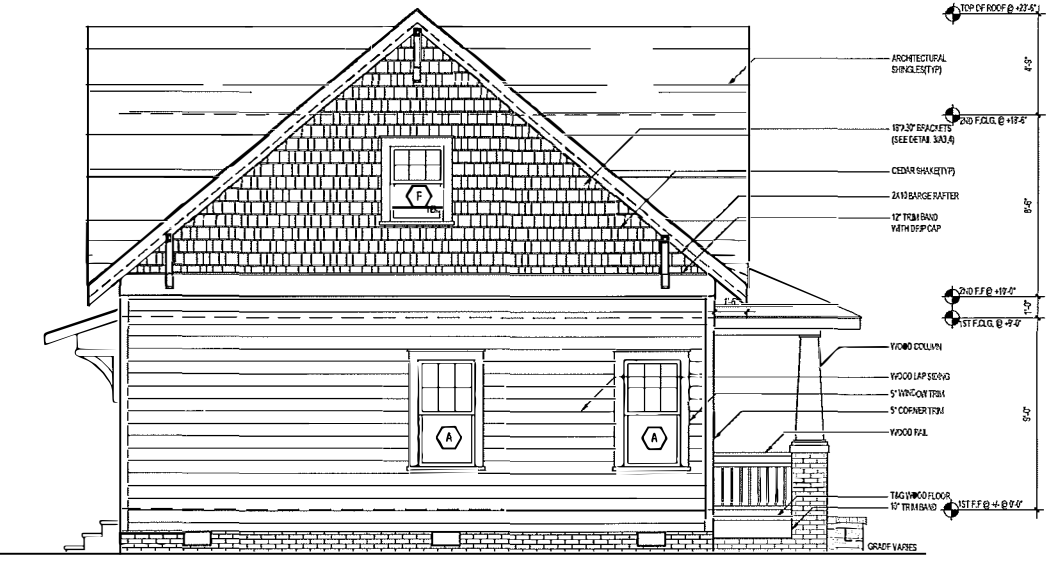
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2. ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
3. FINISH GRADE TO BE COORDINATED BY CONTRACTOR.
4. ALL FINISH FLOOR HEIGHTS TO BE VERIFIED AT SITE & PRIOR TO CONSTRUCTION.
5. FACE OF PLYWOOD SHEATHING TO ALIGN WITH FACE OF BRICK.
6. ALL DIMENSIONS ARE TO FACE OF STUD & BRICK IN FOUNDATION.
7. STAIR RISE & TREAD DEPTH TO BE VERIFIED ON SITE BY STAIR COMPANY PRIOR TO PRODUCTION.
8. INTERIOR & EXTERIOR STAIR NOSING SHALL CONFORM TO R311.7.4 PROFILE - CURVATURE OF THE NOSING SHALL BE NO GREATER THAN 1/8".
9. ALL RISERS TO BE SOLID.
10. ALL CASED OPENINGS TO MATCH DOOR MFG. - CONTRACTOR TO COORDINATE.
11. RAILS TO BE 36" IN HEIGHT.
12. ALL EXTERIOR COLUMNS TO BE SQUARE COLUMNS - SEE DRAWINGS FOR ALL SIZES & HEIGHTS.
13. NO RAIL REQUIRED IF GRADE TO STOOPS & PORCHES IS LESS THAN 28" IN HEIGHT.
14. USE DOUBLE FELT FOR ALL PITCHES OF 4:12 OR LESS.
15. ALL LEAVES TO BE 1'-6" U.N.O.
16. CONTRACTOR TO COORDINATE GUTTER & DOWNSPOUT LOCATIONS.
17. CONTINUOUS EAVE VENT U.N.O.

STAIRS, RAILING & GUARD NOTES:

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PROPOSED LEFT ELEVATION
1/4" = 1'-0"

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Designed Exclusively For the:
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617 W Park Avenue, Charlotte, NC 28203

HDC MEETING DATE:
DECEMBER 13, 2017
HDC 2017-614

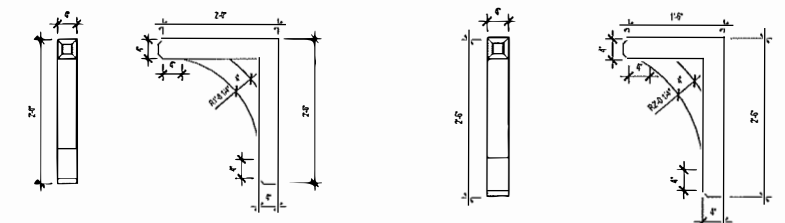
PROJECT #: 17070
ISSUED: 14 NOV 2017
REVISIONS:

PROPOSED LEFT ELEVATION:
A-3.3
OF THIRTEEN



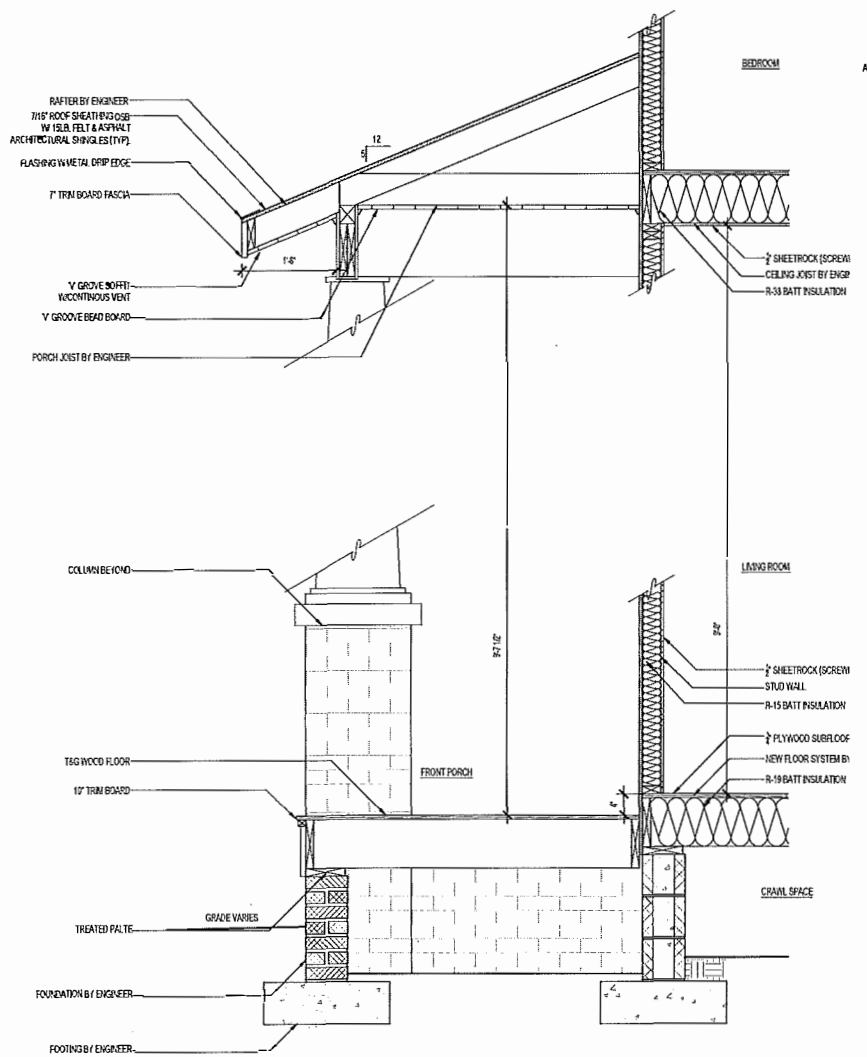
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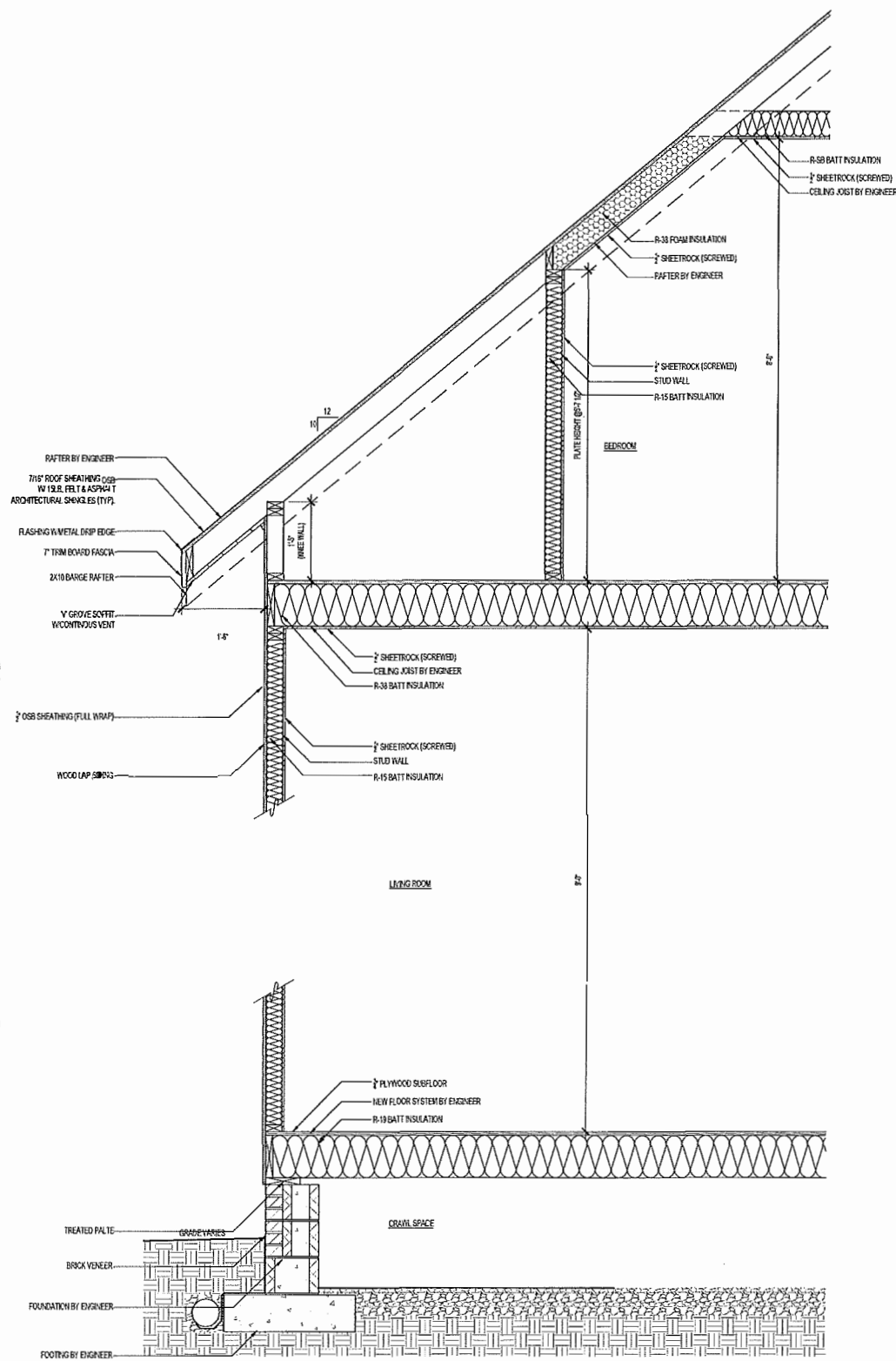


4 BRACKETS @ REAR PORCH
 3/4" = 1'-0"

3 BRACKETS DETAIL
 3/4" = 1'-0"



2 SECTION @ PORCH
 3/4" = 1'-0"



1 TYPICAL WALL SECTION
 3/4" = 1'-0"

GENERAL NOTES:

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- ALL BUILDING LOCATIONS TO BE VERIFIED BY SURVEYOR.
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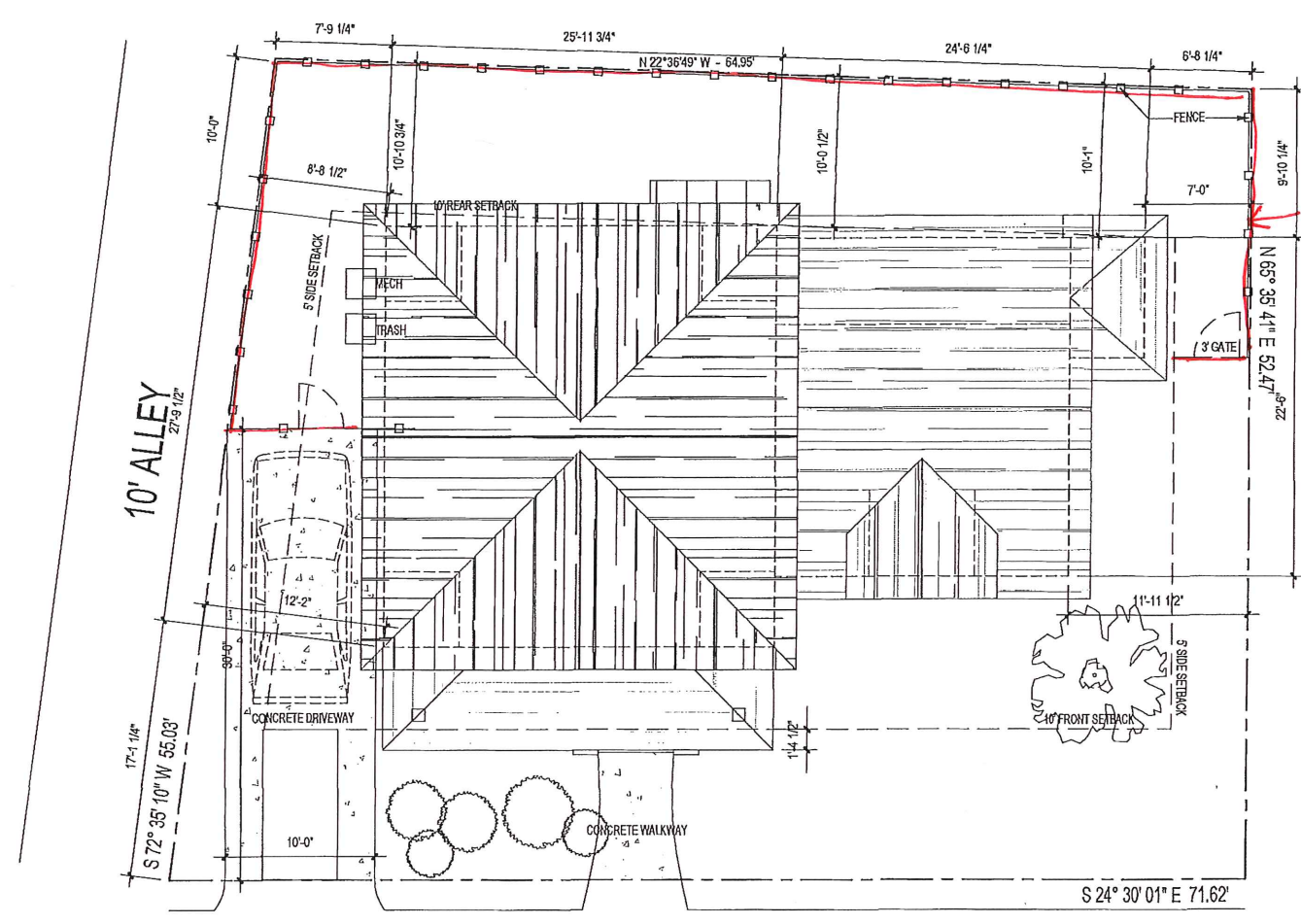
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PROJECT #: 17070
 ISSUED: 14 NOV 2017
 REVISIONS:

SECTIONS & DETAILS
A-3.4
 OF THIRTEEN

APPROVAL:
 Charlotte
 Environmental
 Commission
 Condition of Approval:
 207-614

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Fence 4/12/19

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HDC MEETING DATE:
 DECEMBER 13, 2017
 HDC 2017-014

PROJECT #: 17070
 ISSUED: 14 NOV 2017
 REVISIONS:

PROPOSED SITE PLAN
A-1.0
 OF THIRTEEN

NOTE:

CONCRETE		KEY	WALL TO BE REMOVED	
GRAVEL		ITEM TO BE REMOVED		
RETAINMENT WALL				
RAVEN SYSTEM				

LEGEND:

BOUNDARY LINE	
OVERHEAD UTILITIES	
FENCE (TYPE NOTED)	
UTILITY POLE	
RW: RIGHT OF WAY	
EP: EDGE OF PAVED/DIRT	
CL: CENTERLINE	

NORTH

1 PROPOSED SITE PLAN
 1/8" = 1'-0"



Fence Design - April 2019



APPROVED

Charlotte
Historic District
Commission

Certificate of Appropriateness

2017-00614