



**CHARLOTTE HISTORIC DISTRICT COMMISSION
CERTIFICATE OF APPROPRIATENESS - Amended**

CERTIFICATE NUMBER: 2017-00393

DATE: July 12, 2018

ADDRESS OF PROPERTY: 315 East Boulevard

TAX PARCEL NUMBER: 12307510

HISTORIC DISTRICT: Dilworth

OWNER(S): East Kingston Automotive, LLC

DETAILS OF APPROVED PROJECT: The project is a two story structure with parking on the first level and flex space on the second level. Mature trees on site will be preserved as indicated on the site plan. Primary access is from East Boulevard and secondary access is from the alley easement along the side streets. The front setback (facing the East Boulevard) is 10'-4" from the edge of alley easement, the rear setback is 20' from the edge of alley easement. The left side yard setback is 29'-8" and the right is 5'-8" to building wall. Building height is approximately 28'-2". Materials include cedar shakes on the dormers and 'Hardie Artisan' lap siding. The site plan identifies a 20' easement to be reserved for vehicular and pedestrian access on plan sheet HDC-06. Trim details are provided on sheet HDC-11. Windows are wood or approved material with simulated true divided lights (STDL) and muntin bars mounted on the exterior glass. Minor revisions are highlighted on plan sheets HDC-08 and HDC-09.

The project was approved by the HDC August 9, 2017.

- This Certificate of Appropriateness (COA) indicates that this project proposal has been determined to comply with the standards and policies of the Charlotte Historic District Commission.
- Display the blue COA placard in a visible location along with any required permits.
- No other approvals are to be inferred.
- No demolition other than that specifically indicated on any attached plans is authorized under this approval.
- All work must be completed in accordance with all other applicable state and local codes.
- Any changes from or additions or deletions to the plans referenced herein will void this Certificate, and a new application must be filed with the Historic District Commission.

This Certificate is valid for a period of twelve (12) months from the date of issuance. Failure to obtain a building permit in that time will be considered as a failure to comply with the Certificate and the Certificate will become invalid. If a building permit is not required, then the approved work must be completed within twelve (12) months of the date of issuance of this Certificate. In either situation, the Certificate can be renewed for an additional twelve (12) months by Historic District Commission staff by written request within the first twelve (12) months from the date of issuance.



James Haden, Chairman



Staff

ARCHITECTURAL SYMBOLOGY

DETAIL REFERENCE NUMBER
DRAWING TITLE
CLUCK DESIGN COLLABORATIVE
Scale: 1/8" = 1'-0"

DRAWING SCALE

BUILDING SECTION INDICATOR
DRAWING NUMBER TYPICAL
SHEET NUMBER TYPICAL

WALL SECTION INDICATOR

DETAIL SECTION INDICATOR

ELEVATION INDICATOR

INTERIOR ELEVATION MARKER
DRAWING NUMBER TYPICAL
SHEET NUMBER TYPICAL

PLAN DETAIL INDICATOR
SHEET NUMBER TYPICAL
DRAWING NUMBER TYPICAL

ROOM/SPACE INDICATOR-
ROOM OR SPACE
DIMENSIONS AND/OR AREA
Bedroom
12'0" x 12'0"
144.0 S.F.

PARTITION TYPE INDICATOR-
REFER TO PARTITION TYPES ON G004

WINDOW/LOUVER TYPE INDICATOR-
REFER TO WINDOW TYPES ON G004
NOMINAL DIMENSION WxH
TYPE (CAS/W/INTX)

REVISION INDICATOR

WALL SECTION ELEVATION
0'-0"
FIN FLR

DOOR WIDTH MARKER
WIDTH - INCHES
WIDTH - FEET

NORTH ARROW

COLUMN TAG BUBBLE

CHANGE BUBBLE

WALL MATERIAL AND FINISH KEY
STL
P-1

1 HOUR RATED PARTITION
2 HOUR RATED PARTITION

ABBREVIATIONS

A	A/C ALT AL ANOD APPROX ARCH	AIR CONDITIONING ALTERNATE ALUMINUM ANODIZED APPROXIMATE ARCHITECT(URAL)	G	GA GALV GC GWB GB	GAGE (GAUGE) GALVANIZED GENERAL CONTRACTOR GYPSUM WALL BOARD GYPSUM BOARD	O	OC OPNG OPP OPH OD	ON CENTER(S) OPENING OPPOSITE OPPOSITE HAND OUTSIDE DIAMETER
B	BSMT BRG BM BEL BLKG BD BLDG BUR	BASEMENT BEARING BENCH MARK BELOW BLOCKING BOARD BUILDING BUILT-UP ROOF	H	HTG HVAC HD HT HEX HC HM HB	HEATING HEATING/VENTILATION/AIR COND. HEAVY DUTY HEXAGONAL HOLLOW CORE HOLLOW METAL HOSE BIBB	P	PNT PNL PERF PVC PTC PSF PSI PL	PAINT(ED) PANEL PERFORATED POLYVINYL CHLORIDE POAT-TENSIONED CONC. POUNDS PER SQUARE FOOT POUNDS PER SQUARE INCH PROPERTY LINE
C	CIPC CR CLG CT CIC COL CONC CMU CONTR CONTR CJ CUFT CUYD	CAST-IN-PLACE CONCRETE CATCH BASIN CEILING CERAMIC TILE CLUCK IS COOL COLUMN CONCRETE CONCRETE MASONRY UNIT CONTINUOUS OR CONTINUE CONTRACTOR CONTROL JOINT CUBIC FOOT CUBIC YARD	I	INCL ID INSUL INT INV	INCLUDE(D)ING INSIDE DIAMETER INSULATED(D)CON INTERIOR INVERT	R	REINF RC RCP REV RHW RD RM RO	REINFORCED(D)ING REINFORCE CONCRETE REFLECTED CEILING PLAN REVISION(S) REVI RIGHT HAND RIGHT OF WAY ROOF DRAIN ROOM ROUGH OPENING
D	DL DTL DIA DIM DIV DR DS DWG DF	DEAD LOAD DEMOLISH, DEMOLITION DETAIL DIAMETER DIMENSION DIVISION DOOR DOWNSPOUT DRAWING DRINKING FOUNTAIN	J	JT	JOINT	K	KIT KO	KITCHEN KNOCKOUT
E	E ELEC EWC EQ EQUIP EXT	EAST ELECTRICAL ELECTRICAL WATER COOLER EQUAL EQUIPMENT EXTERIOR	L	LBL LAB LAM LAV LH LIT LW LL	LABEL LABORATORY LAMINATED(D) LAVATORY LEFT HAND LIGHT LIGHTWEIGHT LIVE LOAD	M	MH MFR MAS MO MATS MAX MECH MED MTL M MM MIN MISC MRGWB MULL	MANHOLE MANUFACTURE(ER) MASONRY MASONRY OPENING MATERIAL(S) MAXIMUM MECHANICAL(A) MEDIUM METAL METER(S) MILLIMETER(S) MINIMUM MISCELLANEOUS MOISTURE-RESISTANT GWB MULLION
F	FA FE FEC FLR FD FTG FND FRP FJR	FIRE ALARM FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FLOORING FLOOR DRAIN FOOTING FOUNDATION FIBER REINFORCED PLASTIC FURFED(ING)	N	NA NC NRC NOM NMT NIC NTS	NORTH NOT APPLICABLE NON COMBUSTIBLE NOISE REDUCTION COEFFICIENT NOMINAL NONMETALLIC NOT IN CONTRACT NOT TO SCALE	T	TOC TOM TOS TOW TYP	TOP OF CURB TOP OF MASONRY TOP OF STEEL TOP OF WALL TYPICAL
						V	VERT VCT	VERTICAL VINYL COMPOSITION TILE
						W	WC WP WR W WM WD WD	WATER CLOSET WATERPROOFING WATER REPELLENT WEST WIRE MESH WITHOUT WOOD

CONSULTANTS

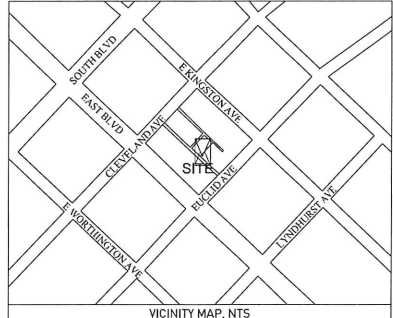
CIVIL	PLUMBING	STRUCTURAL
FIRM: NAME: TEL: EMAIL:	FIRM: NAME: TEL: EMAIL:	FIRM: NAME: TEL: EMAIL:
ELECTRICAL	MECHANICAL	OTHER
FIRM: NAME: TEL: EMAIL:	FIRM: NAME: TEL: EMAIL:	FIRM: NAME: TEL: EMAIL:

SITE NOTES & LOCATION

ZONING SETBACKS:
PED OVERLAY SETBACKS: REAR: 5'-0"/20'-0" - ALL OTHER: 0'-0"/5'-0"

OPEN SPACE CALCULATIONS: N/A PER PED OVERLAY DISTRICT ZONING. SEE TABLE 10.812(1) IN CHARLOTTE ZONING ORDINANCE.

GENERAL SITE NOTES
1. FIELD VERIFY EXISTING SITE FOR GRADING AND TREE LOCATIONS PRIOR TO SITE PREPARATION/DEMOLITION.
2. ARCHITECT TO CONFIRM EXISTING TREES/PLANTINGS TO REMAIN PRIOR TO SITE PREPARATION/DEMOLITION.
3. CONTRACTOR TO FIELD ERECT PROTECTIVE BARRIER(S) AROUND EXISTING TREES/PLANTINGS TO REMAIN. (CANOPY, TRUNK, AND ROOT SYSTEM TO BE PROTECTED).
4. ALL PERIMETER GROUND SURFACES TO SLOPE AWAY FROM STRUCTURE/FOUNDATION TO ENSURE PROPER DRAINAGE.
5. REPAIR/REPLACE EXISTING SIDEWALKS AS REQUIRED.



GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR PROVIDING A COMPLETE SET OF CONSTRUCTION DOCUMENTS (DRAWINGS, SPECIFICATIONS AND ADDENDA) TO EACH SUBCONTRACTOR TO INSURE THAT THE WORK OF EACH SUBCONTRACTOR IS COORDINATED WITH THE WORK OF ALL OTHER SUBCONTRACTORS.

THESE CONSTRUCTION DOCUMENTS ARE INTENDED TO INCLUDE ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES REQUIRED TO COMPLETE ALL WORK DESCRIBED THEREIN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BRING TO THE ATTENTION OF THE ARCHITECT ANY CONDITIONS WHICH WILL NOT PERMIT CONSTRUCTION ACCORDING TO THE INTENTIONS OF THE CONSTRUCTION DOCUMENTS. THE ARCHITECT SHALL PROVIDE SUPPLEMENTAL INFORMATION REGARDING DESIGN INTENT WHERE ACCOMMODATIONS FOR EXISTING CONDITIONS OR WHERE SUFFICIENT INFORMATION IS ABSENT FROM THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE GENERAL CONDITIONS.

ANY PROPOSED SUBSTITUTION OF SPECIFIED MATERIALS / PRODUCTS SHALL BE PRESENTED TO THE ARCHITECT FOR REVIEW, IN ACCORDANCE WITH PROCEDURES DESCRIBED IN THE CONSTRUCTION DOCUMENTS. SUBSTITUTIONS WILL BE CONSIDERED ONLY IF MORE ADVANTAGEOUS DELIVERY DATE OR LESSER COST, WITH CREDIT TO THE OWNER, ARE PROVIDED WITHOUT SACRIFICING QUALITY, APPEARANCE, AND / OR FUNCTION. UNDER NO CIRCUMSTANCES WILL THE ARCHITECT BE REQUIRED TO PROVE THAT A PRODUCT SUBSTITUTION IS OR IS NOT EQUAL TO THE QUALITY OF THE PRODUCT SPECIFIED. INITIATING A REQUEST FOR SUBSTITUTION DOES NOT AUTHORIZE THE CONTRACTOR TO CHANGE THE SPECIFIED PRODUCT, UNTIL THE ARCHITECT HAS APPROVED THE SUBSTITUTION.

SUBMIT SHOP DRAWINGS, CUT-SHEETS, AND SAMPLES WHEN REQUIRED BY THE CONSTRUCTION DOCUMENTS FOR REVIEW BY THE ARCHITECT PRIOR TO COMMENCING WITH RELATED WORK. ALL WORK RELATED TO SUCH SAMPLES SHALL CONFORM WITH REVIEWED AND ACCEPTED SAMPLES. WORK WHICH DOES NOT CONFORM SHALL BE REVIEWED AND REPLACED AT THE CONTRACTOR'S EXPENSE. SUB-CONTRACTORS SHALL SUBMIT FOR REVIEW THROUGH THE GENERAL CONTRACTOR. CONTRACTOR IS TO REVIEW ALL SHOP DRAWINGS PRIOR TO SUBMISSION TO THE ARCHITECT. ALL SUBMITTALS AND SAMPLES SHALL BE SUBMITTED IN SUCH A MANNER AS TO ALLOW (5) FIVE BUSINESS DAYS FOR REVIEW, OR AS OTHERWISE NOTED IN THE CONSTRUCTION DOCUMENTS, AND AS NOT TO DELAY WORK IN PROGRESS.

ALL WORK SHALL BE ERECTED PLUMB AND TRUE-TO-LINE IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADE. MANUFACTURER'S RECOMMENDATIONS FOR THE PARTICULAR PRODUCT, IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS, AND IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES.

THE LOCAL GOVERNMENT AGENCIES SHALL BE NOTIFIED BY THE CONTRACTOR WHEN THERE IS A NEED OF INSPECTIONS REQUIRED BY THE APPLICABLE CODE OR BY ANY LOCAL CODE OR ORDINANCE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAFETY AND CARE OF ADJACENT PROPERTIES DURING CONSTRUCTION, FOR COMPLIANCE WITH FEDERAL AND STATE O.S.H.A. REGULATIONS, AND FOR THE PROTECTION OF ALL WORK UNTIL IT IS DELIVERED TO THE OWNER.

ALL DIMENSIONS NOTED TAKE PRECEDENCE OVER SCALED DIMENSIONS. N.T.S. DENOTES NOT TO SCALE. IN NO CASE SHOULD THE DRAWINGS BE SCALED FOR DIMENSIONAL INFORMATION.

THE CONTRACTOR SHALL VERIFY AND COORDINATE ALL OPENINGS THROUGH FLOORS, CEILINGS, AND WALLS WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, PLUMBING, ELECTRICAL AND OTHER DISCIPLINES DRAWINGS AND SPECIFICATIONS, AS WELL AS EXISTING CONDITIONS.

CONTRACTOR TO VERIFY ALL SPACE DIMENSIONS AS SHOWN WITH EXISTING JOB CONDITIONS BEFORE STARTING CONSTRUCTION.

WHERE WORK IS INSTALLED OR EXISTING FINISHES ARE DISTURBED, SUCH AREAS SHALL BE REFINISHED TO MATCH THE AREA PRIOR TO THE DISTURBANCE.

THE CONTRACTOR SHALL CHECK AND VERIFY THE CONSTRUCTION DOCUMENTS WITH FIELD CONDITIONS, CONFIRMING THAT ALL WORK IS BUILDABLE AS SHOWN, PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY DISCREPANCIES EXIST, PRIOR TO COMMENCEMENT OF WORK, OR AS SOON AS POSSIBLE, THEREAFTER.

EACH MISCELLANEOUS ITEM OF CUTTING, PATCHING, OR FITTING IS NOT NECESSARILY INDIVIDUALLY DESCRIBED IN THE DOCUMENTS. NO SPECIFIC DESCRIPTION OF CUTTING, PATCHING OR FITTING REQUIRED TO PROPERLY ACCOMMODATE THE SCOPE OF WORK SHALL RELIEVE THE CONTRACTOR FROM THE RESPONSIBILITY TO PERFORM SUCH WORK AS REQUIRED.

ANY QUESTIONS REGARDING THE INTENT OF THE CONSTRUCTION DOCUMENTS ARE TO BE CLARIFIED WITH THE ARCHITECT PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH THE RELATED WORK.

ALL ITEMS ARE NEW UNLESS CALLED OUT AS EXISTING.

METAL STUD STRUCTURAL ENGINEERING IS BY THE GENERAL CONTRACTOR

315 East Blvd.

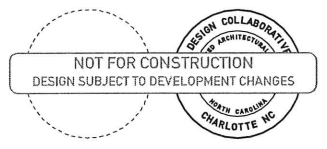
HDC REVIEW SET

Contents:

G001	Cover
HDC-01	Existing Site Photos
HDC-02	Context Photos
HDC-03	Context Streetscapes
HDC-04	Site Plan & Survey
HDC-05	Proposed Site Plan
HDC-06	Proposed Alternate Site Plan
HDC-07	Proposed Landscape Plan
HDC-08	Proposed Elevations - Front & Left
HDC-09	Proposed Elevations - Rear & Right
HDC-10	Building Sections
HDC-11	Architectural Details
HDC-12	Elevation Surveys
HDC-13	First Floor Plan
HDC-14	Second Floor Plan
HDC-15	Roof Plan



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Charlotte, NC

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02	05/30/17	Pricing Review Set
03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review

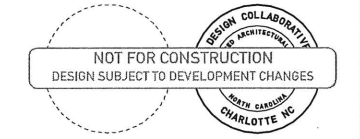
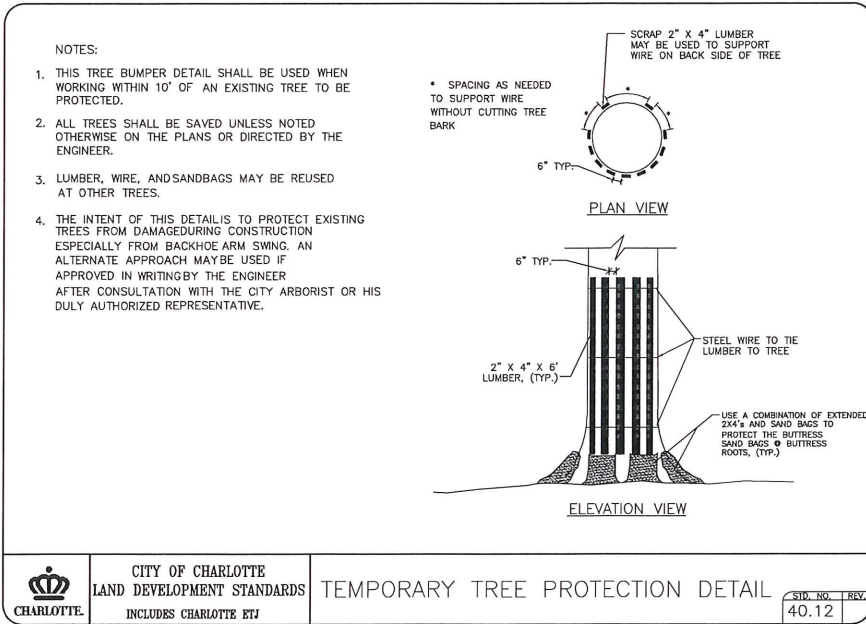
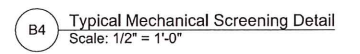
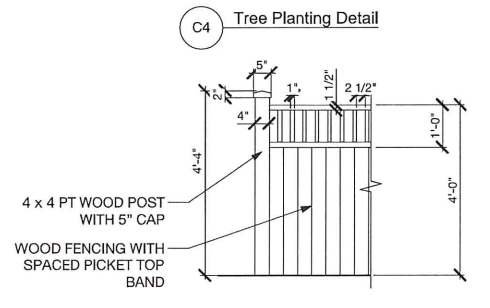
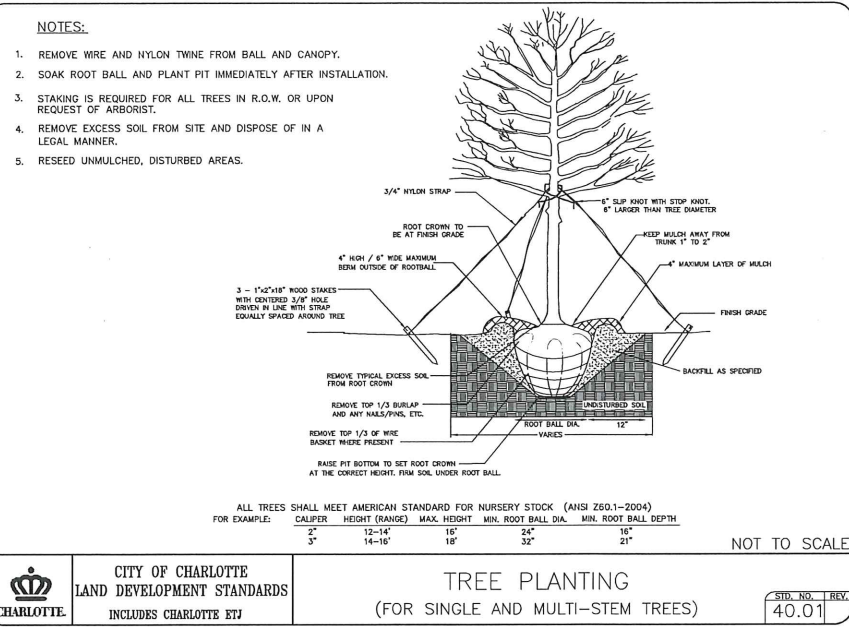
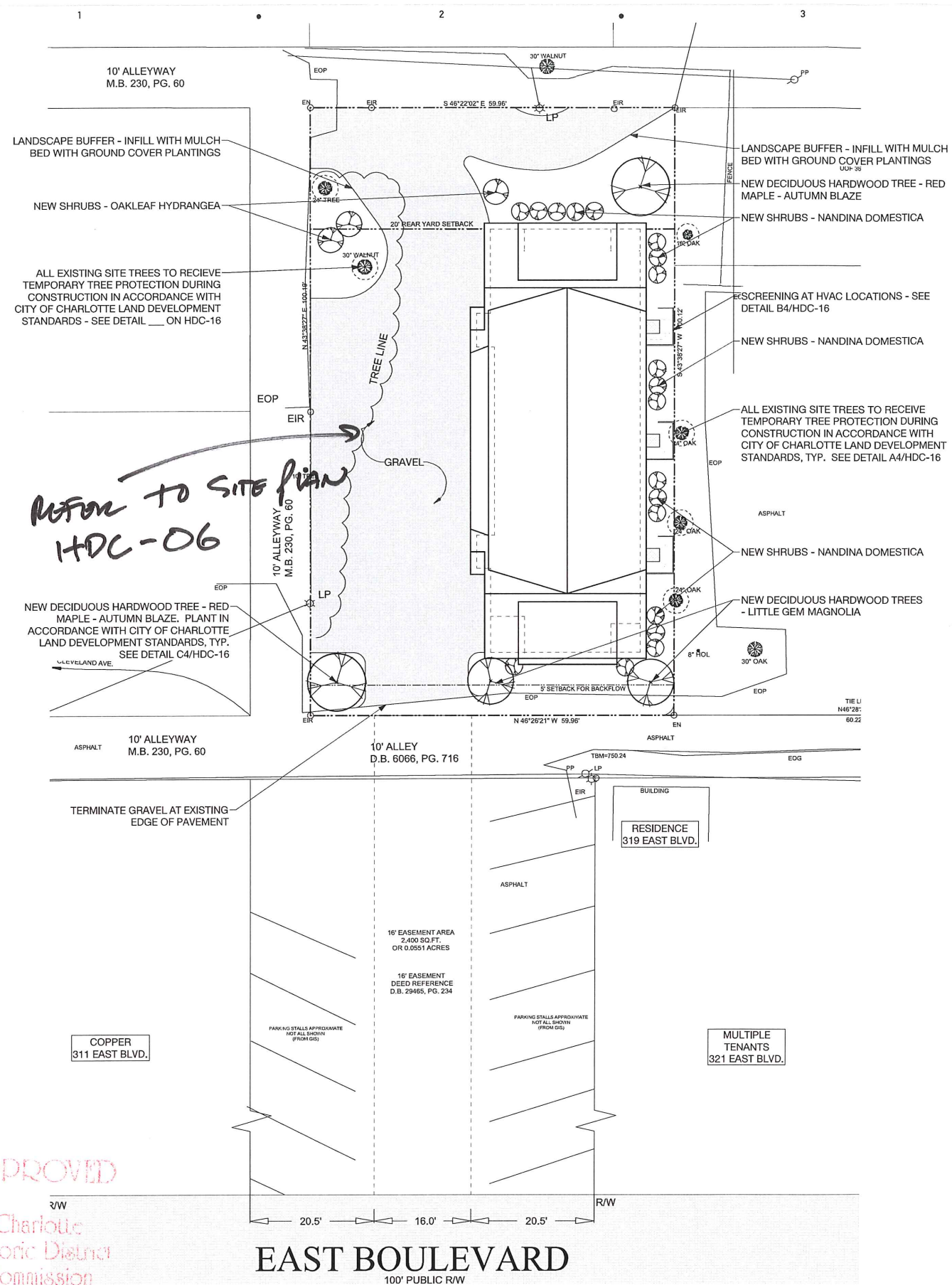
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Cover

G001





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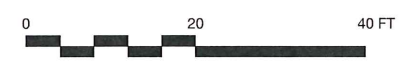
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Proposed Landscape Plan

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Charlotte Historic District Commission
Certificate of Appropriateness
2017-393

A1 Proposed Site Plan
Scale: 1" = 10 ft

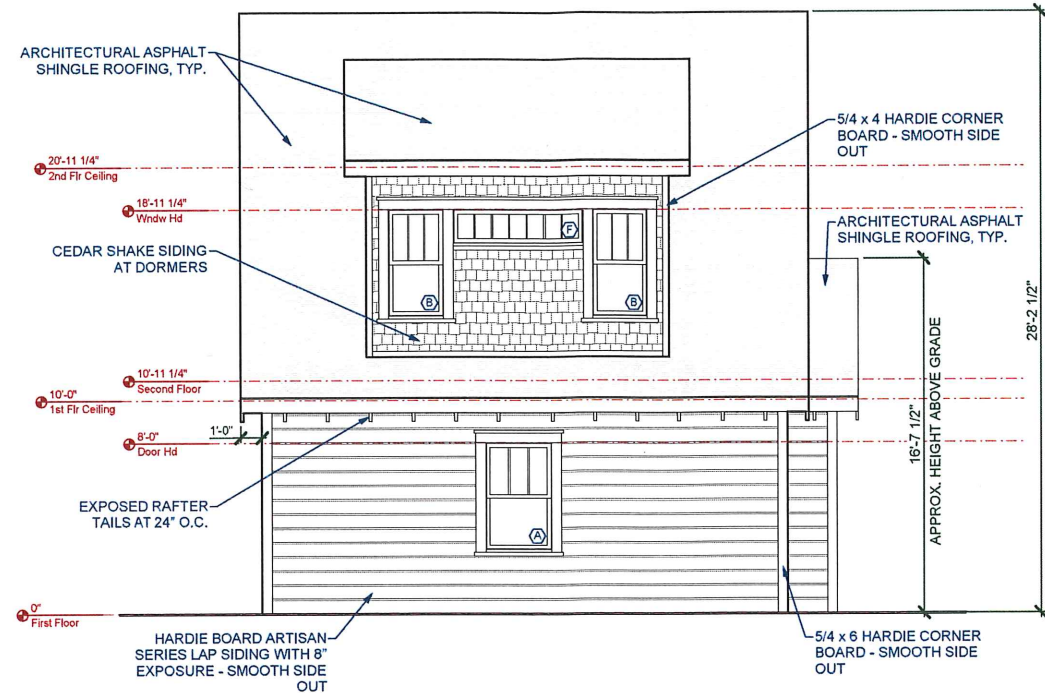




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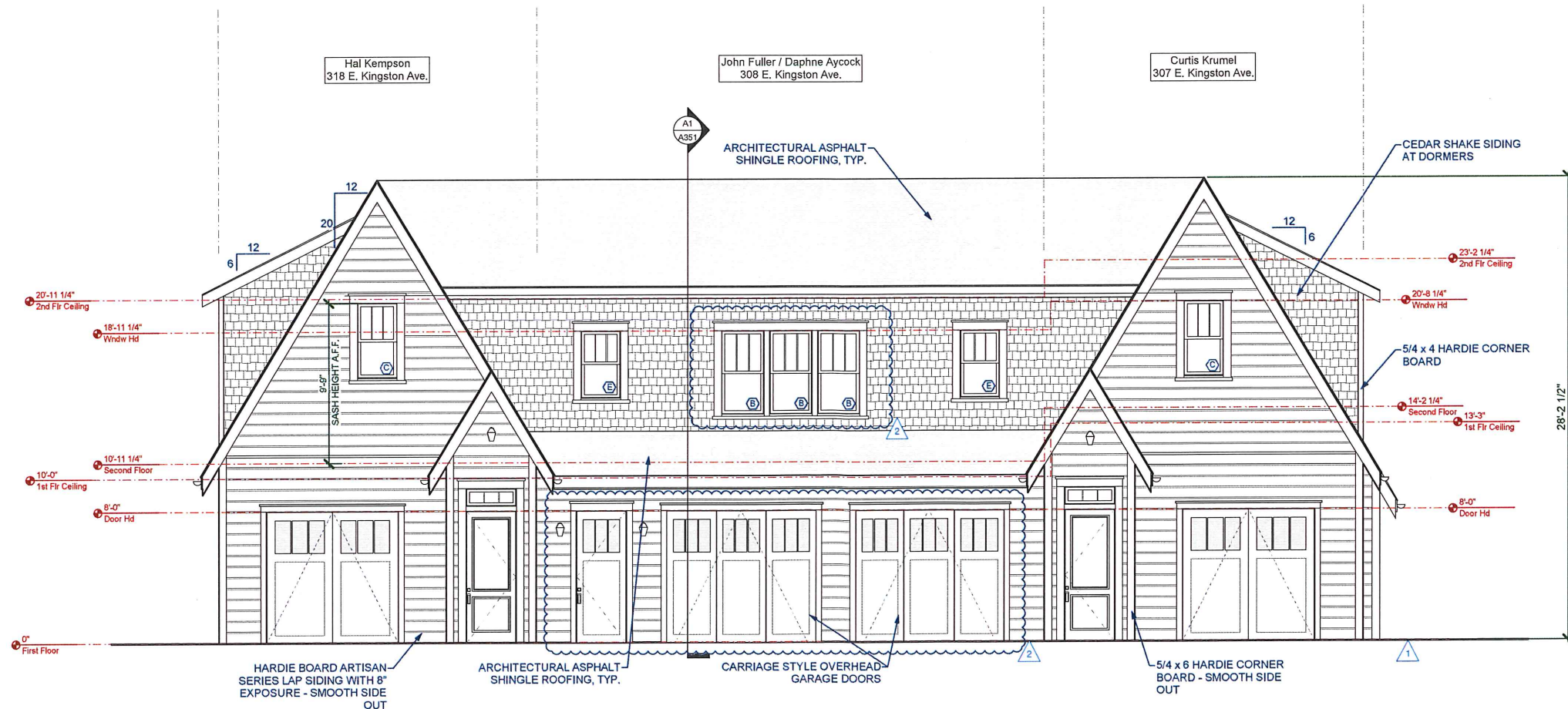
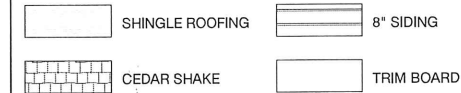
C2 Left Elevation
Scale: 1/4" = 1'-0"



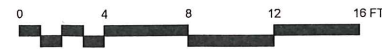
FLASHING NOTE:

PROVIDE CORROSION RESISTANT FLASHING AT ALL ROOF INTERSECTIONS
 PROVIDE CORROSION RESISTANT FLASHING AT ALL WALL/ROOF INTERSECTIONS
 PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW AND DOOR HEADS
 PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW SILLS

MATERIAL LEGEND



A2 Front Elevation
Scale: 1/4" = 1'-0"



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Submitted: 00/00/00

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Charlotte, NC

prepared for: Hal Kempson

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03	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review
05	08/25/17	For Pricing
06	07/10/18	HDC Administration Amendment



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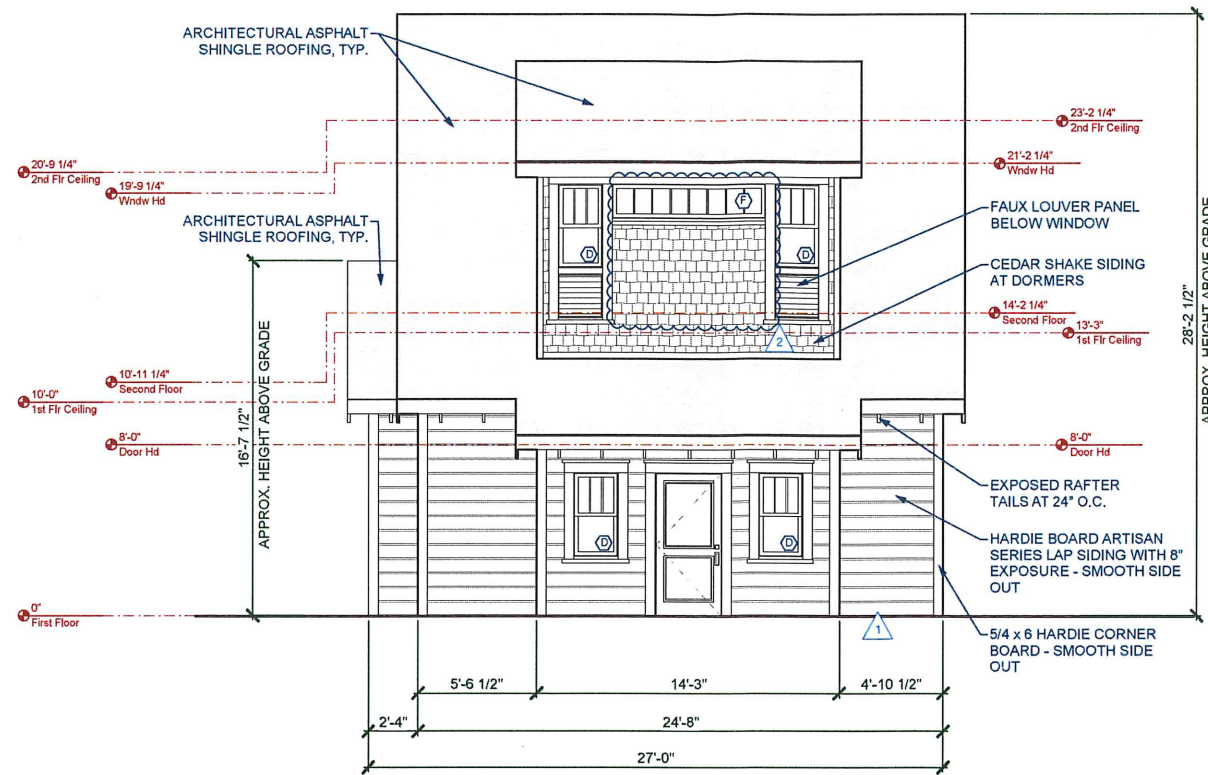
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**Proposed Elevations
Front & Left**

HDC-08



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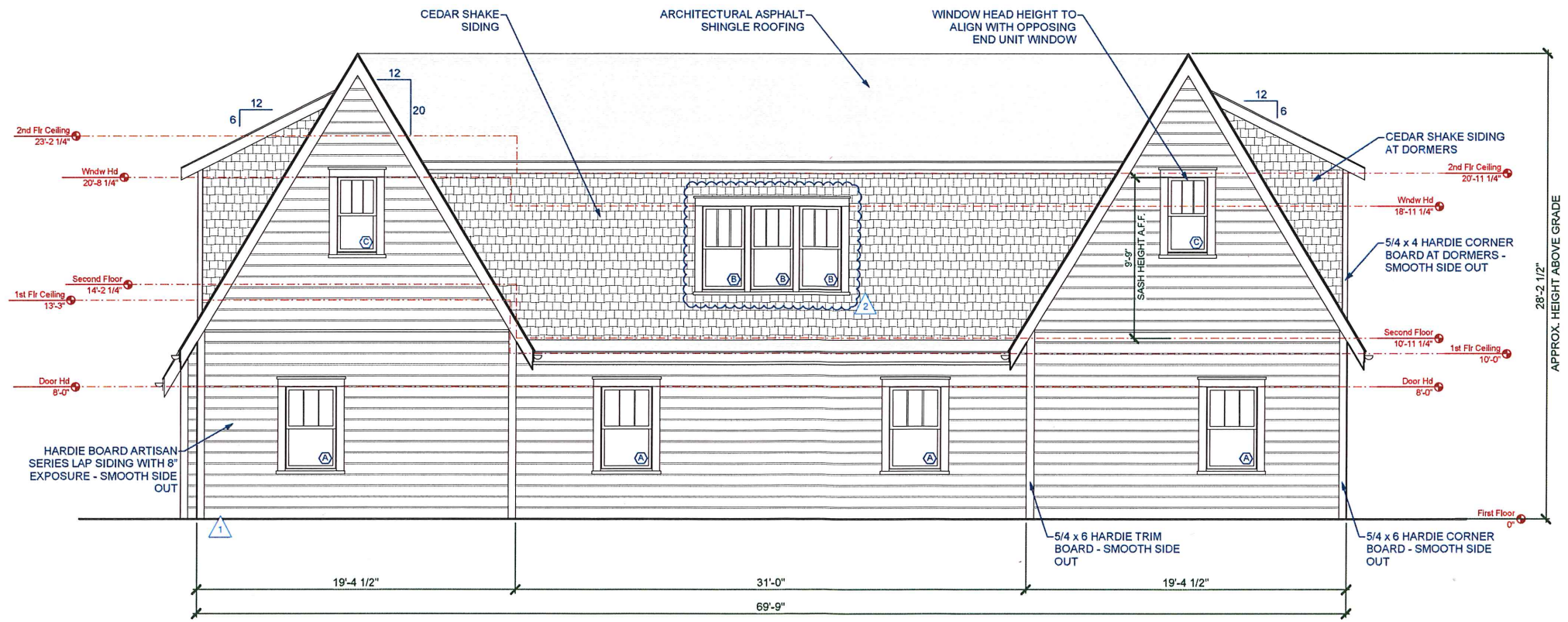
C2 Right Elevation
Scale: 1/4" = 1'-0"



FLASHING NOTE:
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PROVIDE CORROSION RESISTANT FLASHING AT ALL WALL/ROOF INTERSECTIONS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW AND DOOR HEADS
PROVIDE CORROSION RESISTANT FLASHING AT ALL WINDOW SILLS

MATERIAL LEGEND

	SHINGLE ROOFING		8" SIDING
	CEDAR SHAKE		TRIM BOARD

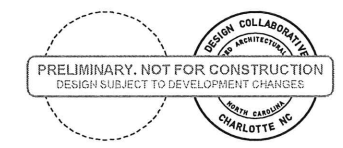


A2 Rear Elevation
Scale: 1/4" = 1'-0"



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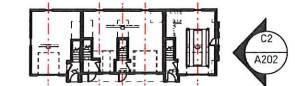


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**Proposed Elevations
Rear & Right**

HDC-09

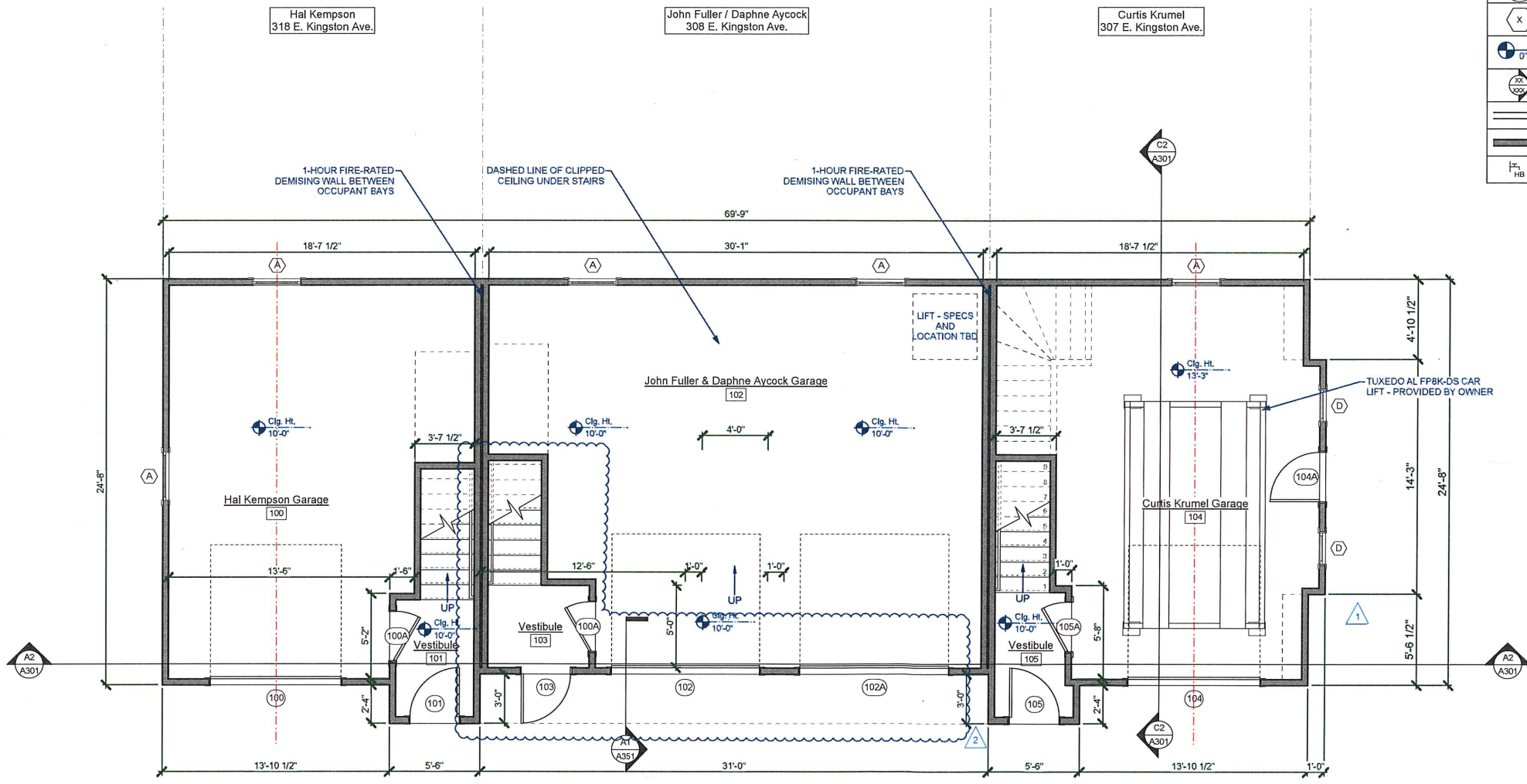


FIRST FLOOR PLAN NOTES (10'-0" Ceiling)

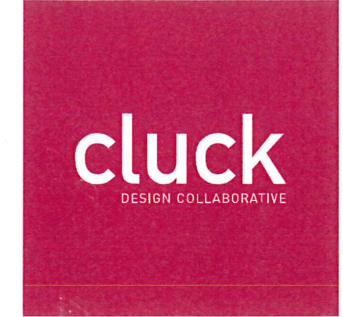
1. ALL INTERIOR DOORS TO BE SOLID TWO PANEL SHAKER DOORS
2. ALL FIRST FLOOR DOORS AND CASED OPENINGS ARE 8'-0", UNLESS NOTED OTHERWISE - SEE A002
3. SEE A002 FOR WINDOW/DOOR ELEVATIONS AND DETAILS
4. FLOORING: CONCRETE SLAB ON GRADE IN GARAGE AREAS. 5" PLANK WHITE OAK HARDWOOD FLOORING, UNLESS NOTED OTHERWISE
5. PREWIRE FOR CABLE, PHONE, NETWORK, A/V AND SECURITY

PROPOSED AREAS	
Heated Custom	1446.1
Proposed Heated Total	1446.1
Unheated Custom	1705.5
Proposed Unheated Total	1705.5

LEGEND	
SYMBOL	DESCRIPTION / REFERENCE
(101A)	DOOR NUMBER, SEE SCHEDULE, SHEET A002
(X)	WINDOW TYPE, SEE SCHEDULE, SHEET A002
⊕	ELEVATION MARKER
⊕	ELEVATION/SECTION MARKER
---	PROPOSED HALF-HEIGHT WALL
---	PROPOSED WALL
⊕ _{HB}	HOSE BIB LOCATION



A2 First Floor Plan
Scale: 1/4" = 1'-0"



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First Floor Plan

HDC-13



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Certificate of Appropriation

SECOND FLOOR PLAN NOTES (10'-0" Ceiling)

1. ALL INTERIOR DOORS TO BE SOLID TWO PANEL SHAKER DOORS
2. ALL SECOND FLOOR DOORS AND CASED OPENINGS ARE 8'-0", UNLESS NOTED OTHERWISE - SEE A002
3. SEE A002 FOR WINDOW/DOOR ELEVATIONS AND DETAILS
4. FLOORING: 5" PLANK WHITE OAK HARDWOOD FLOORING, UNLESS NOTED OTHERWISE
5. PREWIRE FOR CABLE, PHONE, NETWORK, A/V AND SECURITY
6. ALL BATHROOM AND KITCHEN EXHAUST VENTILATION TO BE ROUTED TO REAR SIDE OF ROOF, TYP.

PROPOSED AREAS

<i>Heated</i>		
Custom		1446.1
Proposed Heated Total		1446.1
<i>Unheated</i>		
Custom		1705.5
Proposed Unheated Total		1705.5

LEGEND

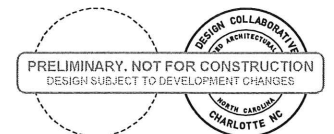
SYMBOL	DESCRIPTION / REFERENCE
101A	DOOR NUMBER, SEE SCHEDULE, SHEET A002
X	WINDOW TYPE, SEE SCHEDULE, SHEET A002
0'	ELEVATION MARKER
200	ELEVATION/SECTION MARKER
---	PROPOSED HALF-HEIGHT WALL
---	PROPOSED WALL
HB	HOSE BIB LOCATION



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Offices: CLT / NYC



Submitted: 00/00/00

**315 East Blvd.
Charlotte, NC**

prepared for: Hal Kempson

Mark	Date	Description
01	04/28/17	Progress Set
02	05/30/17	Pricing Review Set
1	06/27/17	HDC Review Package
04	07/28/17	Rev. Per HDC Review
05	08/25/17	For Pricing
2	07/10/18	HDC Administration Amendment

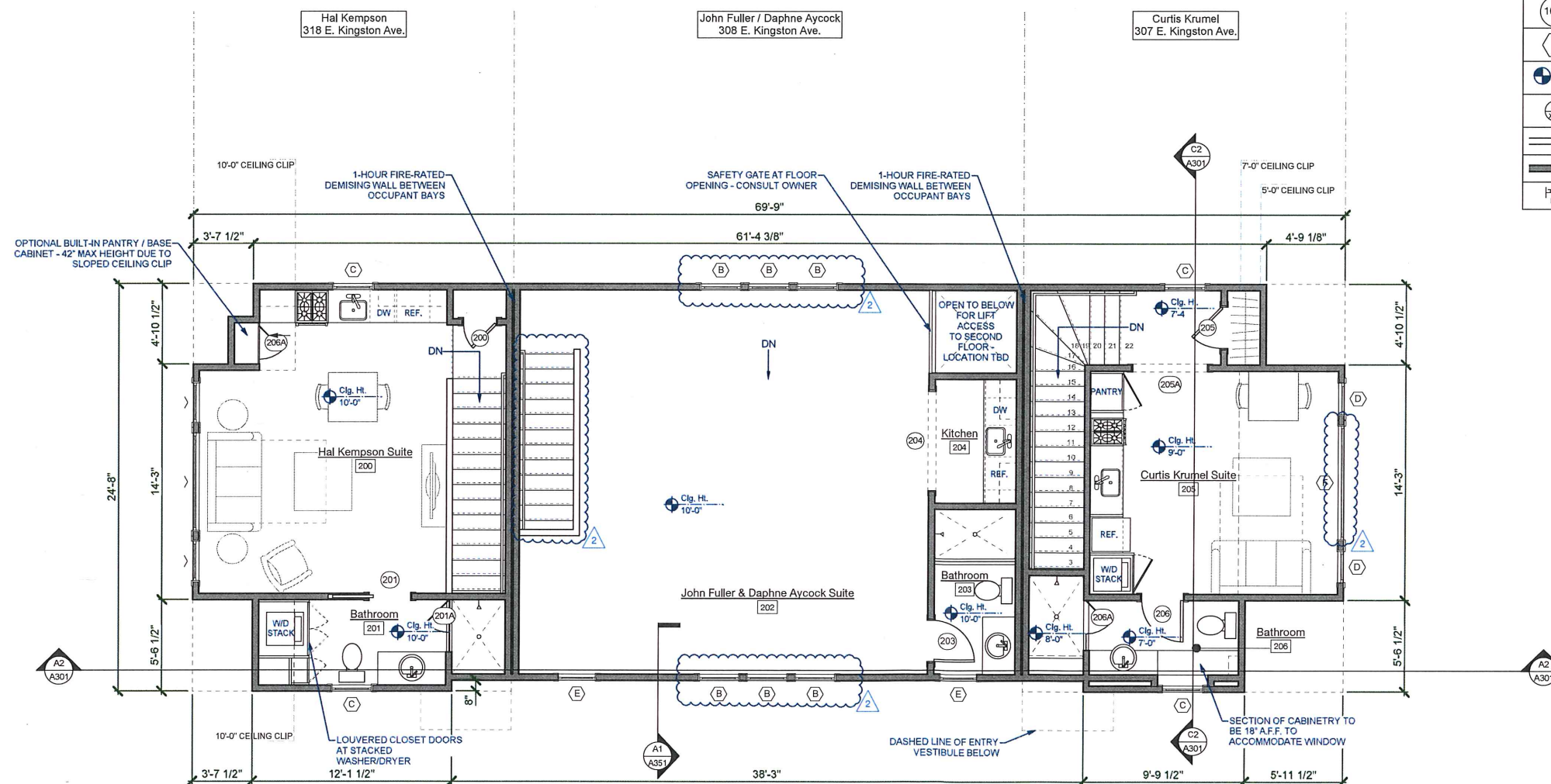
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Project name/#: Kempson Garage / 17_103
CAD File Name: Kempson_Garage_CD.vwx

Second Floor Plan

HDC-14



A2 Second Floor Plan
Scale: 1/4" = 1'-0"

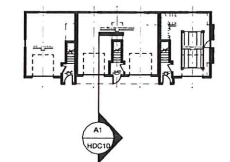




315 East Blvd.
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prepared for: HDC Review

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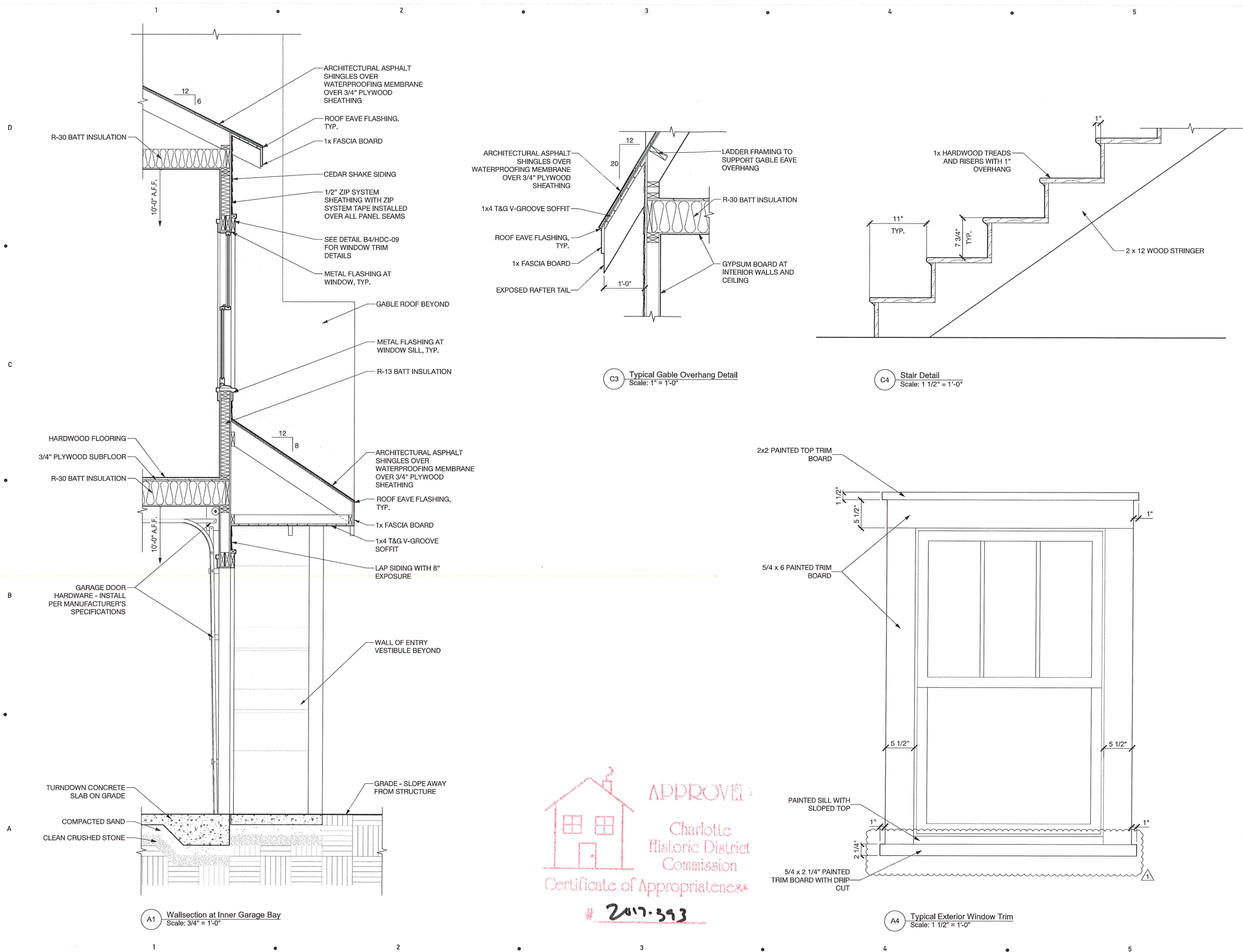


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Revised Architectural Details

HDC-11



APPROVED
Charlotte
Historic District
Commission
Certificate of Appropriateness
2017-393



ROOF PLAN NOTES

1. PROVIDE NON-CORROSIVE FLASHING AT ALL WALL / ROOF INTERSECTIONS.
2. PROVIDE NON-CORROSIVE VALLEY FLASHING AT ALL VALLEY CONDITIONS.
3. FIELD VERIFY ALL ROOF SLOPES.
4. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS.

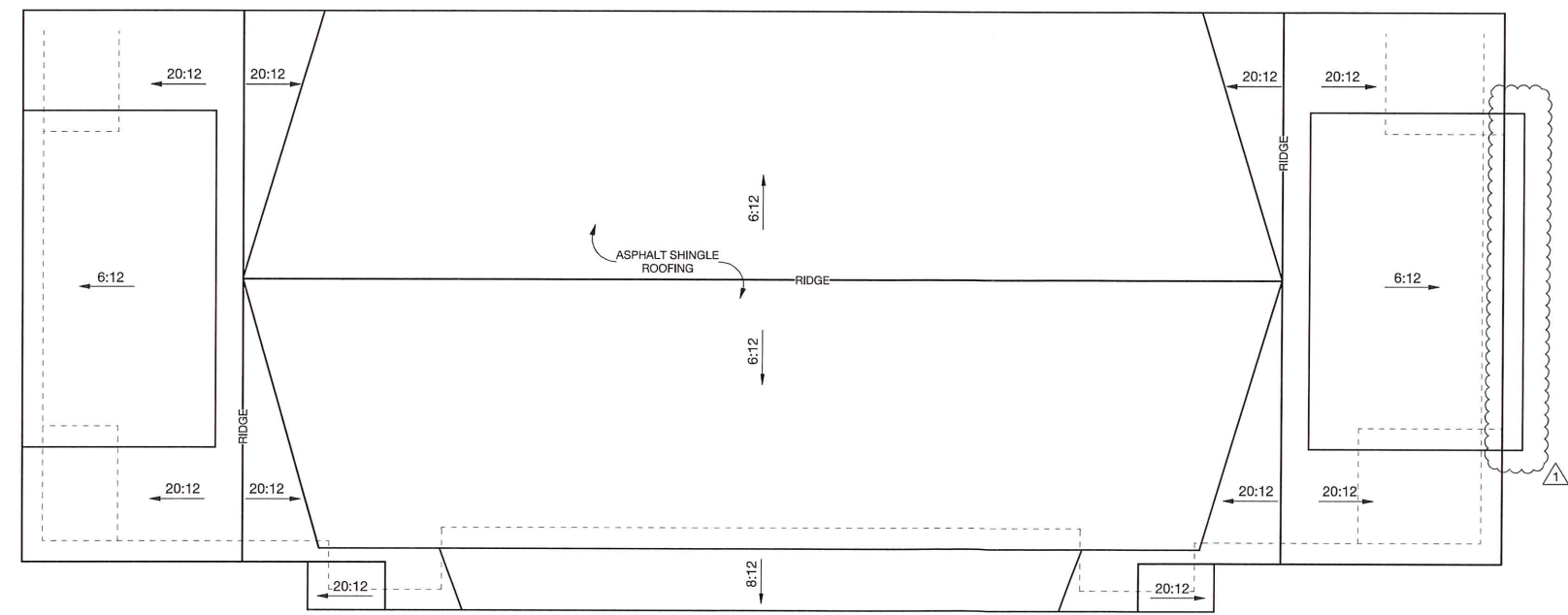


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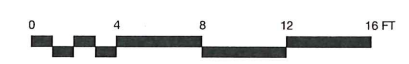


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A2 Roof Plan
Scale: 1/4" = 1'-0"



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Roof Plan
July / August

HDC-15