

REFERENCES	AGENCIES
<ul style="list-style-type: none"> TOPOGRAPHIC SURVEY: CAROLINA SURVEYORS, INC. "A BOUNDARY AND TOPOGRAPHICAL SURVEY SHOWING PROPERTY ON LUTHER STREET SURVEYED FOR THE HOUSING AUTHORITY OF CHARLOTTE AREA, 0.992 ACRES CITY OF CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA." DATED: 12/12/14 ARCHITECTURAL PLAN: NEIGHBORING CONCEPTS ARCHITECTURE MIXED USE DEVELOPMENT "TALL OAKS REDEVELOPMENT" DATED 7/5/16 REVISED 9/7/16 GEOTECHNICAL REPORT: FROEHLING & ROBERTSON, INC. "REPORT OF PRELIMINARY GEOTECHNICAL EXPLORATION TALL OAKS PROJECT SIX (6) PARCELS - MULTI FAMILY APARTMENTS CHERRY NEIGHBORHOOD CHARLOTTE, NCF&R PROJECT NO. 63R-3156" DATED: 02/02/15 	<ul style="list-style-type: none"> CITY OF CHARLOTTE PLANNING ADDRESS: 600 E 4TH STREET, 8TH FLOOR CHARLOTTE, NC 28202 PHONE: (704)336-2205 NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY ADDRESS: 610 E CENTER AVE #301 MOORESVILLE, NC 28115 PHONE: (704)663-1699

**PRELIMINARY PLANNED
MULTI-FAMILY SUBDIVISION
APPROVAL**
 CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
 By Brent Wilkinson 11/14/16



ENGINEERING PCO / DETENTION / DRAINAGE PLAN	APPROVED
EROSION CONTROL	
URBAN FORESTRY TREE ORDINANCE	APPROVED
CDOT	APPROVED
NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT http://development.charmeck.org	

UTILITY RESPONSIBILITY MATRIX FOR THIS PROJECT

UTILITY GOVERNING AGENCIES CONTACTS	CONTRACTOR RESPONSIBILITY-	OTHERS RESPONSIBILITY-
GAS ♦PIEDMONT NATURAL GAS 4720 PIEDMONT ROW DRIVE CHARLOTTE, NC 28210 (704) 384-3120	-COORDINATE CONSTRUCTION ACTIVITIES WITH GAS COMPANY TO ENSURE INSTALLATION OF GAS LINES ARE COMPLETED PRIOR TO ASPHALT OR CURB PLACEMENT (IF APPLICABLE). -INSTALL BOLLARD PROTECTION AS SHOWN ON THE PLANS AND PER THE GAS COMPANY REQUIREMENTS.	-SERVICE FROM THE POINT OF CONNECTION AT THE EXISTING LINE UP TO AND INCLUDING SETTINGS OF METER WILL BE BY THE GAS COMPANY. -ANY RELOCATION OF EXISTING LINES WILL BE DONE BY THE GAS COMPANY.
CABLE, INTERNET, & PHONE ♦TIME WARNER CABLE 7910 CRESCENT EXECUTIVE DR CHARLOTTE, NC 28217 (704) 731-3000	-COORDINATE CONSTRUCTION ACTIVITIES WITH TELEPHONE COMPANY TO ENSURE INSTALLATION OF UNDERGROUND LINES ARE COMPLETED PRIOR TO ASPHALT OR CURB PLACEMENT. -COORDINATE RELOCATION OF PHONE BOXES WITH TELEPHONE COMPANY WITHIN 10 DAYS OF AWARD OF CONTRACT. -PROVIDE AND INSTALL 2-4" SCHEDULE 40 PVC CONDUITS WITH PULL ROPES, INCLUDING ALL TRENCHING AND BACKFILLING, FROM THE RISER POLE UP TO THE BUILDING. -PROVIDE AND INSTALL PULL BOXES AS PER TELEPHONE COMPANY REQUIREMENTS.	-TELEPHONE COMPANY WILL PROVIDE AND INSTALL ALL TELEPHONE CABLES FROM THE POINT OF CONNECTION UP TO THE BUILDING -PRESENT RESPONSIBLE PARTIES. -ANY RELOCATION OF EXISTING LINES WILL BE DONE BY TELEPHONE COMPANY.
ELECTRIC ♦DUKE POWER PO BOX 701516 CHARLOTTE, NC 28272 (800)777-9898	-COORDINATE CONSTRUCTION ACTIVITIES WITH ELECTRIC COMPANY TO ENSURE INSTALLATION OF UNDERGROUND LINES ARE COMPLETED PRIOR TO ASPHALT OR CURB PLACEMENT. -COORDINATE RELOCATION OF UTILITY POLES WITH ELECTRIC COMPANY WITHIN 10 DAYS OF AWARD OF CONTRACT. -PROVIDE AND INSTALL 2-4" SCHEDULE 40 PVC CONDUITS WITH PULL ROPES, INCLUDING TRENCHING AND BACKFILLING, FOR THE UNDERGROUND PORTIONS OF THE PRIMARY FROM THE RISER POLE UP TO THE TRANSFORMER. SCHEDULE 80 PVC CONDUITS SHALL BE USED ON THE RISER POLE AND RIGID METAL LONG RADIUS ELBOWS SHALL BE USED WHERE THE UNDERGROUND PORTION MEETS THE RISER POLE AND TRANSFORMER. - REMOVE EXISTING TRANSFORMER PAD AS PER THE ELECTRIC COMPANY'S SPECIFICATIONS. -CONSTRUCT TRANSFORMER PAD AS PER THE ELECTRIC COMPANY'S SPECIFICATIONS. -PROVIDE AND INSTALL ALL SECONDARY SERVICE AND MATERIALS. -RELOCATE UTILITY POLES AND OVERHEAD LINES AS REQUIRED.	-ELECTRIC COMPANY WILL PROVIDE AND INSTALL ALL MATERIALS NEEDED TO ESTABLISH PRIMARY OVERHEAD SERVICE FROM POINT OF CONNECTION AT THE EXISTING LINE UP TO THE TRANSFORMER. -ELECTRIC COMPANY WILL PROVIDE AND INSTALL PRIMARY CABLE FOR ALL UNDERGROUND LINES UP TO THE TRANSFORMER. -RELOCATE UTILITY POLES AND OVERHEAD LINES AS REQUIRED. -ELECTRIC COMPANY WILL PROVIDE TRANSFORMER.
SANITARY SEWER ♦THE CITY OF CHARLOTTE DEPARTMENT OF WATER & SEWER 5100 BROOKSHIRE BLVD. CHARLOTTE, NC 28217 (704)399-2221	-PROVIDE AND INSTALL SANITARY SEWER LINES AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATIONS. -ALL PUBLIC AND PRIVATE SANITARY SEWER LINES SHALL MEET SPECIFICATIONS. -COORDINATE REQUIRED INSPECTION SERVICES WITH ENGINEER OF RECORD AND THE UTILITIES DIVISION. SEE UTILITY PLAN FOR REQUIREMENTS.	
WATER ♦THE CITY OF CHARLOTTE DEPARTMENT OF WATER & SEWER 5100 BROOKSHIRE BLVD. CHARLOTTE, NC 28217 (704)399-2221	-PROVIDE AND INSTALL ALL WATER MAINS AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATIONS. -ALL PORTIONS OF THE FIRE PROTECTION WATER SYSTEM SHALL BE INSTALLED BY A LICENSED FIRE SPRINKLER CONTRACTOR. -ALL PORTIONS OF OTHER NON-FIRE PROTECTION RELATED LINES MAY BE INSTALLED BY THE PLUMBING CONTRACTOR. -COORDINATE REQUIRED INSPECTION SERVICES WITH ENGINEER OF RECORD AND THE UTILITIES DIVISION. SEE UTILITY PLAN FOR REQUIREMENTS. -CONTRACTOR SHALL PROVIDE AND INSTALL WATER METER WITH UTILITY DIVISION.	
STORM SEWER ♦CITY OF CHARLOTTE STORMWATER SERVICES 600 E FORTY STREET 12TH AND 14TH FLOOR CHARLOTTE, NC 28202 (704)432-3122	-PROVIDE AND INSTALL ALL STORM SEWER LINES AND ASSOCIATED APPURTENANCES PER THE PLANS AND SPECIFICATIONS. -REFER TO GRADING PLAN FOR INFORMATION ON ALLOWABLE STORM SEWER MATERIALS. -PIPE JOINTS TO BE SILENT TIGHT. -CLEAN EXISTING PIPES IMMEDIATELY DOWNSTREAM OF CONNECTION.	

THIS MATRIX HAS BEEN PROVIDED FOR INFORMATIONAL PURPOSES. THE CONTRACTOR SHALL PROVIDE ANY AND ALL APPURTENANCES, TRENCHING AND BACKFILL AND OTHER INCIDENTALS TO MEET OR EXCEED THE SPECIFICATIONS OF THE ITEMS LISTED. CONTRACTOR SHALL VERIFY RESPONSIBILITIES PRIOR TO BID. CONTRACTOR SHALL CONTACT PROVIDER WITH SUFFICIENT LEAD TIME TO NOT IMPACT PROJECT SCHEDULE.

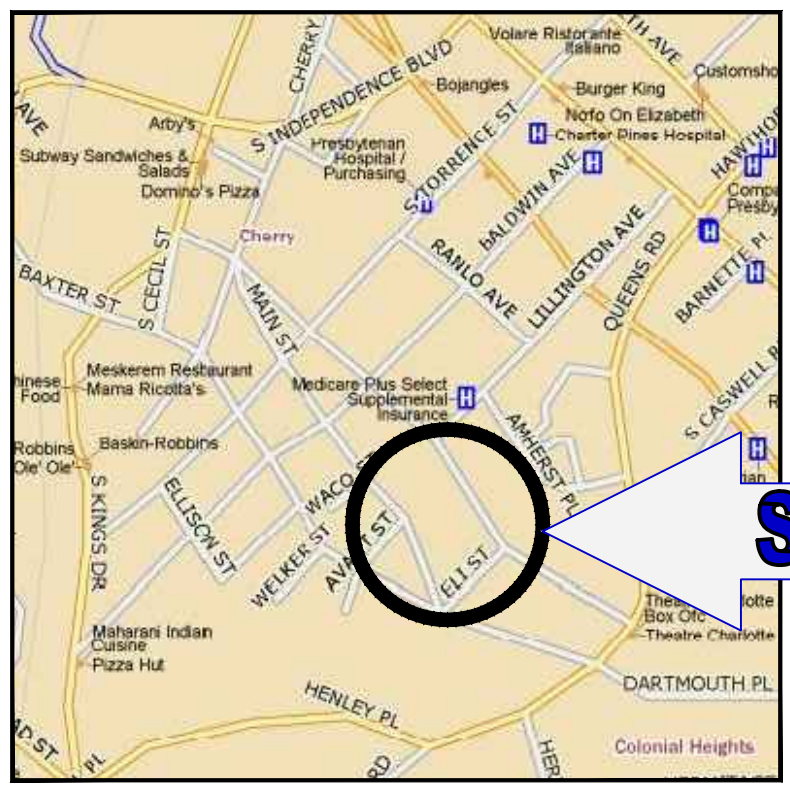
GENERAL NOTE: IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND DRAWINGS. SHOULD THE CONTRACTOR DISCOVER ANY DISCREPANCIES BETWEEN THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS AND IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL CODES.

CONSTRUCTION DOCUMENTS

FOR TALL OAKS REDEVELOPMENT SITE D

LOCATION OF SITE
 1708 LUTHER ST
 CITY OF CHARLOTTE
 MECKLENBURG COUNTY
 NORTH CAROLINA 28204
 TAX ID: 12523416

REZONING PETITION #2015-030



LOCATION MAP

DEVELOPER
CHARLOTTE HOUSING AUTHORITY
400 EAST BOULEVARD
CHARLOTTE, NC 28203
CONTACT: TROY DRAWZ
PHONE: (704) 336-4227



1927 S TRYON STREET, SUITE 310
 CHARLOTTE, NC 28203
 Phone: (980) 272-3400
 Fax: (980) 272-3401
NC@BohlerEng.com

CONTACT: BRIAN ROSENFELD

PCCO SUMMARY	
ORIGINAL PARCEL ID NUMBER(S):	12523416
DEVELOPMENT TYPE:	MULTI-FAMILY
SUBJECT TO PCCO? Y/N	Yes
IF NO, WHY?	
WATERSHED:	CENTRAL CATAWBA
DISTURBED AREA (AC):	0.539
SITE AREA (AC):	0.562
TOTAL ON-SITE DRAINAGE AREA (AC):	DA#1
	DA#2
TOTAL ON-SITE DRAINAGE AREA (AC):	0.017
	DA#3
TOTAL ON-SITE DRAINAGE AREA (AC):	0.054
EXISTING BUILT-UPON-AREA (SF):	8856
EXISTING BUA TO BE REMOVED (SF):	8856
EXISTING BUA TO REMAIN (SF):	0
PROPOSED NEW BUA (SF):	13891
PROPOSED % BUA:	56.78%
DENSITY (HIGH / LOW):	HIGH
TOTAL POST-PROJECT BUA FOR SITE:	13891
DEVELOPMENT OR REDEVELOPMENT?	REDEVELOPMENT
NATURAL AREA REQUIRED (AC):	0.054
NATURAL AREA PROVIDED, TOTAL (AC):	0.054
UNDISTURBED TREED NATURAL AREA PRESERVED (AC):	0.053
TOTAL STREAM BUFFER PROTECTED ON-SITE (AC):	0
TRANSIT STATION AREA? Y/N	N
DISTRESSED BUSINESS DISTRICT? Y/N	N
MITIGATION TYPE (IF APPLICABLE)	Sec. 18-161 (a)
NATURAL AREA MITIGATION? Y/N	N
BUFFER MITIGATION? Y/N	N
TOTAL PHOSPHOROUS MITIGATION? Y/N	N

PCO NOTE:

- THIS SITE IS MEETING THE REQUIREMENTS OF THE POST CONSTRUCTION CONTROLS ORDINANCE BY PAYING A MITIGATION FEE AS ALLOWED IN SECTION A8-161(A) OF THE ORDINANCE. THE IMPERVIOUS AREA ON WHICH THE FEE IS THE TOTAL OF ALL NEW IMPERVIOUS AREAS AND IMPERVIOUS AREAS THAT HAVE BEEN REMOVED AND REPLACED. THE IMPERVIOUS AREA FOR THIS PROJECT IS 0.319 ACRES. THE MITIGATION FEE MUST BE PAID TO THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT WHEN PLANS ARE APPROVED.

PHASING SEQUENCE OF CONSTRUCTION

- EROSION CONTROL PLAN IS APPROVED BY THE CITY OF CHARLOTTE EROSION CONTROL PROGRAM.
- CONTRACTOR MUST NOTIFY THE CITY OF CHARLOTTE SEDIMENT CONTROL INSPECTOR 48 HOURS PRIOR TO THE START OF EARTH DISTURBANCE.
- THE LIMITS OF DISTURBANCE MUST BE FIELD MARKED PRIOR TO INSTALLATION OF SEDIMENT CONTROL MEASURES, DEMOLITION OR OTHER LAND DISTURBING ACTIVITIES.
- PRIOR TO ANY CLEARING, INSTALLATION OF SEDIMENT CONTROL MEASURES, OR GRADING, A PRE-CONSTRUCTION MEETING MUST BE CONDUCTED ON-SITE WITH THE EROSION SEDIMENT CONTROL INSPECTOR TO DISCUSS EROSION CONTROL MEASURES. (48 HOURS MINIMUM NOTICE)
- INSTALL SEDIMENT AND EROSION CONTROL MEASURES, INCLUDING PERIMETER SILT FENCE, TREE PROTECTION AND STABILIZED CONSTRUCTION ENTRANCE/EXIT. COMPLETE INSTALLATION OF INLET PROTECTION ON EXISTING STORMWATER STRUCTURES. PERIMETER CONTROLS SHOULD BE CHECKED DAILY AND ADJUSTED AND/OR REPAIRED TO FULLY CONTAIN AND CONTROL SEDIMENTATION ON THIS SITE BY CONTRACTOR. PERIMETER CONTROLS ARE TO REMAIN FUNCTIONING FOR THE DURATION OF THE PROJECT. THE MONITORING AND INSPECTING OF EROSION CONTROL MEASURES SHOULD FOLLOW THE GUIDELINES OF THE NPDES PERMIT (GENERAL PERMIT NCG 010000).
- CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF INSTALLATION OF PERIMETER EROSION AND SEDIMENT CONTROLS PRIOR TO PROCEEDING WITH ANY OTHER EARTH DISTURBANCE OR GRADING.
- UPON APPROVAL FROM SEDIMENT CONTROL INSPECTOR, COMPLETE DEMOLITION OF ANY SITE FEATURES (PAVEMENT, CURB, ETC.), CLEARING AND GRUBBING, AND STRIP SITE OF TOP SOIL.
ALL DEMOLISHED MATERIAL IS TO BE DISPOSED IN ACCORDANCE WITH APPLICABLE NORTH CAROLINA REGULATIONS. CONTRACTOR TO ENSURE ALL APPLICABLE DEMOLITION PERMITS HAVE BEEN ISSUED AND HAVE ORIGINALS OF THE SAME PRIOR TO COMMENCING DEMOLITION ACTIVITIES.
- CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF STRIPPING, THE STOCKPILING OF TOPSOIL, THE CONSTRUCTION OF TEMPORARY SEDIMENT AND EROSION CONTROL FACILITIES, DISPOSAL OF ALL WASTE MATERIAL, AND PREPARATION OF THE GROUND.
- CONTACT SEDIMENT CONTROL INSPECTOR FOR APPROVAL TO PROCEED.
- INITIATE ROUGH GRADING OF THE SITE.
- TEMPORARILY STABILIZE GRADED AREAS (NON-STEEP SLOPES) AS REQUIRED.
- COMPLETE ROUGH GRADING. COMPLETE THE INSTALLATION OF SITE UTILITIES.
- CONTACT SEDIMENT CONTROL INSPECTOR UPON COMPLETION OF ROUGH GRADING, BUT PRIOR TO PLACING TOPSOIL, PERMANENT DRAINAGE, OR OTHER SITE DEVELOPMENT IMPROVEMENTS AND GROUND COVERS.
- INSTALL CURB ALONG THE PERIMETER OF THE SITE TO AID IN THE PROTECTION OF THE EXISTING ADJACENT PROPERTIES AND THE ADJACENT ROADWAYS.
- BUILDING CONSTRUCTION MAY BEGIN UPON INSTALLATION OF SEDIMENT CONTROLS AND SEDIMENT CONTROL INSPECTOR'S APPROVAL.
- FINE GRADE AND INITIATE FINAL PAVING. PERMANENTLY STABILIZE ANY REMAINING AREAS IN ACCORDANCE WITH THE PERMANENT SOODING SCHEDULE AND NOTES. INSTALL FINAL SITE LANDSCAPING.
- REQUEST FINAL APPROVAL FROM THE SEDIMENT CONTROL INSPECTOR PRIOR TO REMOVING ANY REMAINING SEDIMENT CONTROL MEASURES AND UPON COMPLETION OF FINAL GRADING, PERMANENT DRAINAGE, AND EROSION CONTROL FACILITIES, INCLUDING ESTABLISHED GROUND COVERS AND PLANTING, AND ALL OTHER WORK OF THE BUILDING PERMITS.
- ESTIMATE START DATE IS FALL 2016 AND ESTIMATED END DATE IS FALL 2017

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BOHLER ENGINEERING
 1927 S TRYON ST, SUITE 310
 CHARLOTTE, NC 28203
 Phone: (980) 272-3400
 Fax: (980) 272-3401
NC@BohlerEng.com

REGISTERED PROFESSIONAL ENGINEER
 No. 36308
 10/28/16

REVISIONS			
REV	DATE	COMMENT	BY
1	7/1/16	PER CHA COMMENTS	SRF
4	8/4/16	INTERACTIVE REVIEW COMMENTS	SRF
5	9/13/16	LAND DEVELOPMENT 2ND SUBMITTAL	SRF
6	10/4/16	INTERACTIVE REVIEW COMMENTS	SRF
7	10/18/16	CYCLE 3 CODE COMMENTS	SRF
8	10/28/16	LAND DEVELOPMENT 3RD SUBMITTAL	SRF

CALL BEFORE YOU DIG
 1-800-632-4949
 NORTH CAROLINA
ITS THE LAW

PROJECT No.:	NCC150297
DRAWN BY:	SRF
CHECKED BY:	BWR
DATE:	6/17/16
SCALE:	N/A
CAD ID:	S00

**TALL OAKS
REDEVELOPMENT
SITE D**
 FOR
**NEIGHBORING
CONCEPTS**

LOCATION OF SITE
 1708 LUTHER ST
 CITY OF CHARLOTTE,
 MECKLENBURG COUNTY,
 NORTH CAROLINA 28205

BOHLER ENGINEERING
 NC, PLLC NCBELS P-1132
 1927 S TRYON ST, SUITE 310
 CHARLOTTE, NC 28203
 Phone: (980) 272-3400
 Fax: (980) 272-3401
NC@BohlerEng.com

REGISTERED PROFESSIONAL ENGINEER
 No. 36308
 10/28/16

SHEET TITLE:
COVER SHEET

SHEET NUMBER:
C-1

LEGEND

TITLE	SYMBOL
TREE PROTECTION	TP

NOTES

SEE L-2 FOR TREE PROTECTION DETAIL

TREE SAVE NOTE:

- PROPOSED IMPROVEMENTS AND GRADING WITHIN TREE SAVE PROTECTION AREAS TO COMMENCE UPON AUTHORIZATION BY URBAN FORESTRY.
- LIMITS OF DISTURBANCE TO BE LOCATED OUTSIDE OF TREE PROTECTION ZONE AND TO BE DISTURBED UPON AUTHORIZATION BY URBAN FORESTRY.

DEVELOPMENT DATA SITE D		NOTES:		
ZONING	R-22MF (CD)	- ALL UNITS WILL BE FOR LEASE.		
ZONING PETITION #	2015-030	- ROLL OUT CONTAINERS WILL BE UTILIZED FOR SOLID WASTE DISPOSAL		
EXISTING LOT AREA	0.562 ACRES	- ALL BACKFLOW PREVENTION ASSEMBLIES TO BE SCREENED AND LOCATED OUTSIDE OF SETBACKS PER CITY OF CHARLOTTE ZONING ORDINANCE		
TOTAL LOT AREA	0.562 ACRES			
PROPOSED USE	MULTI-FAMILY			
UNIT TYPE	APARTMENTS			
		REZONING	REQUIRED BY ZONING ORDINANCE	PROPOSED
MAXIMUM NUMBER OF UNITS	14.24 UNITS/ACRE = (0.562 * 14.24) = 8.00	N/A	N/A	8
MAXIMUM BUILDING HEIGHT	35' UP TO TWO STORIES	N/A	N/A	35'
MINIMUM OPEN SPACE	40%	40%	40%	40%
BUILDING SEPARATION	16'	16'	16'	>65'
SETBACK/YARDS AND BUFFERS				
LUTHER STREET	15' FROM RIGHT OF WAY	15' FROM RIGHT OF WAY	15' FROM RIGHT OF WAY	15' FROM RIGHT OF WAY
MORGAN PARK DRIVE	15' FROM RIGHT OF WAY	15' FROM RIGHT OF WAY	15' FROM RIGHT OF WAY	15' FROM RIGHT OF WAY
SIDE YARD	10'	10'	10'	10'
REAR YARD	40'	40'	40'	40'
SIDE BUFFERYARD	12' CLASS C BUFFER (W/ FENCE)	12' CLASS C BUFFER (W/ FENCE)	12' CLASS C BUFFER (W/ FENCE)	12' CLASS C BUFFER (W/ FENCE)**
REAR BUFFERYARD	12' CLASS C BUFFER (W/ FENCE)	12' CLASS C BUFFER (W/ FENCE)	12' CLASS C BUFFER (W/ FENCE)	12' CLASS C BUFFER (W/ FENCE)**
PARKING				
REQUIRED OFF STREET	8	8 (1 SPACE/UNIT)	8	9
BIKE PARKING	0	0	0	0
SOLID WASTE				
DUMPSTER	0	0	0	ROLL OUT CONTAINER
RECYCLING	0	0	0	ROLL OUT CONTAINER
TREE SAVE	15%	15%	15%	3,672 SF (15%)

*PORTION OF REQUIRED REAR BUFFERYARD REDUCED 25% BY USE OF SCREEN FENCE PER SECTION 12.303 (2)(A) OF CITY OF CHARLOTTE ZO
 **9 FT BUFFER CAN ONLY BE USED IN AREAS WHERE THE APPROVED REZONING ALLOWS A REDUCED BUFFER WIDTH

SITE KEYNOTES

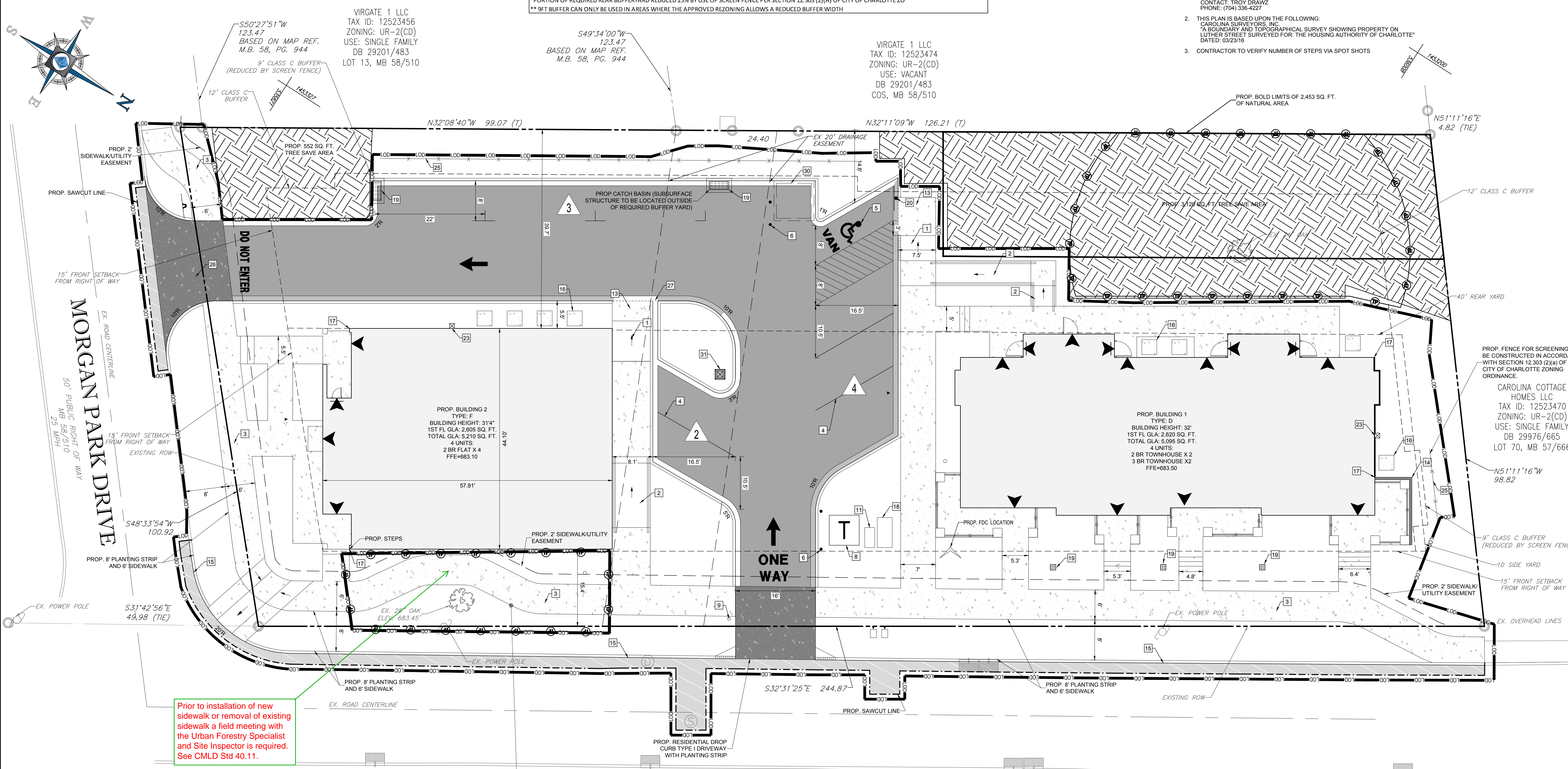
- PROPOSED ADA COMPLIANT CURB RAMP
- PROPOSED ADA COMPLIANT SIDEWALK RAMP WITH HANDRAILS
- PROPOSED CONC. SIDEWALK (WIDTH VARIES)
- PROPOSED STRIPING (TYP.)
- PROPOSED ADA SYMBOL (TYP.)
- PROPOSED CONCRETE BOLLARD
- PROPOSED ADA ACCESS WITH CROSS-SLOPE < 2%
- PROPOSED TRANSFORMER PAD
- PROPOSED SANITARY CLEAN OUT
- PROPOSED WATER METER VAULT
- PROPOSED ABOVEGROUND 1" BACKFLOW PREVENTER (SHEET C-12)
- PROPOSED ADA COMPLIANT HANDRAIL
- PROPOSED RAMP LANDING (CONTRACTOR TO MAINTAIN < 1/48 CROSS AND RUNNING SLOPE)
- PROPOSED RETAINING WALL
- PROPOSED 2-6" NODOT CURB AND GUTTER
- PROPOSED 3'X3' CONDENSER PAD (TYP)
- PROPOSED LIMITS OF BURIED FOUNDATION

GENERAL NOTES

- DEVELOPER/APPLICANT CHARLOTTE HOUSING AUTHORITY 400 EAST BOULEVARD CHARLOTTE NC 28203 CONTACT: TROY DRAWWZ PHONE: (704) 336-4227
- THIS PLAN IS BASED UPON THE FOLLOWING: CAROLINA SURVEYORS, INC. A BOUNDARY AND TOPOGRAPHICAL SURVEY SHOWING PROPERTY ON LUTHER STREET SURVEYED FOR THE HOUSING AUTHORITY OF CHARLOTTE DATED: 03/23/16
- CONTRACTOR TO VERIFY NUMBER OF STEPS VIA SPOT SHOTS

HATCH LEGEND

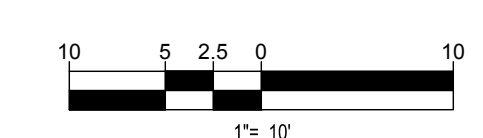
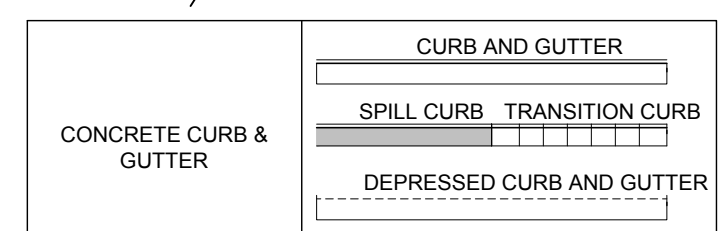
[Hatch Pattern]	CONCRETE SIDEWALK
[Hatch Pattern]	PROPOSED TREE SAVE AREA
[Hatch Pattern]	HEAVY DUTY CONCRETE
[Hatch Pattern]	STANDARD DUTY ASPHALT PAVEMENT
[Hatch Pattern]	NCDOT PAVEMENT



Prior to installation of new sidewalk or removal of existing sidewalk a field meeting with the Urban Forestry Specialist and Site Inspector is required. See CMLD Std 40.11.

HOUSING AUTHORITY CITY OF CHARLOTTE
 TAX ID: 12523416
 ZONED: R-22MF
 LAND USE: MULTI FAMILY
 0.562 ACRE

LUTHER STREET
 CDOT MAINTAINED PUBLIC
 RIGHT OF WAY: 25 MPH



BOHLER ENGINEERING
 REGISTERED PROFESSIONAL ENGINEER
 No. 36308
 10/28/16

REVISIONS

REV	DATE	COMMENT	BY
1	7/1/16	PER CHA COMMENTS	SRF
3	7/21/16	CYCLE 1 CODE COMMENTS	SRF
4	8/4/16	INTERACTIVE REVIEW COMMENTS	SRF
5	9/13/16	LAND DEVELOPMENT 2ND SUBMITTAL	SRF
6	10/4/16	INTERACTIVE REVIEW	SRF
7	10/18/16	CYCLE 3 CODE COMMENTS	SRF
8	10/28/16	LAND DEVELOPMENT 3RD SUBMITTAL	SRF

CALL BEFORE YOU DIG
 1-800-632-4949
 NORTH CAROLINA
 IT'S THE LAW

PROJECT No. NCC152097
 DRAWN BY: SRF
 CHECKED BY: BWR
 DATE: 6/17/16
 SCALE: 1"=10'
 CAD ID: SSO

TALL OAKS REDEVELOPMENT SITE D FOR NEIGHBORING CONCEPTS

LOCATION OF SITE
 1708 LUTHER ST
 CITY OF CHARLOTTE,
 MECKLENBURG COUNTY,
 NORTH CAROLINA 28205

BOHLER ENGINEERING
 NC, PLLC, NOBELS P-1132
 1927 S TRYON ST, SUITE 310
 CHARLOTTE, NC 28203
 Phone: (980) 272-3400
 Fax: (980) 272-3401
 NC@BohlerEng.com

REGISTERED PROFESSIONAL ENGINEER
 No. 36308
 10/28/16

SHEET TITLE: **SITE PLAN**

SHEET NUMBER: **C-6**