DEVELOPER	Terwilliger Pappas Multi-Family Partners 4777 Sharon Road, Suite 550 Charlotte, NC 28210 704-716-3906
LANDSCAPE ARCHITECT/ CIVIL ENGINEER	LandDesign, Inc. 223 North Graham St. Charlotte, NC 28202 704.333.0325
ARCHITECT	Cline Design Associates, PA 1815 S. Tryon Street, Suite A Charlotte, NC 28203 770.333.7272
SURVEYOR	LDSI, Inc. 508 W 5th Street, Suite 125 Charlotte, NC 28202 704.376.7777

# Solis Berewick

City of Charlotte, Mecklenburg County, North Carolina

Terwilliger Pappas Multi-Family Partners

## SHEET INDEX:

Chapter I	- Existing Conditions
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C-1.0	Cover Sheet
C-1.1	Overall Existing Conditions Plan
C-1.2 - C-1.3	Detailed Existing Conditions Plan
RZ-1 - RZ-10	Zoning Plans

Chapter 2 - Site Plan

Liapter z - Site Flan		
C-2.0	Overall Layout Plan	
C-2.1 - C-2.2	Detailed Layout Plan	
C-2.3 - C-2.6	Site Details	
C-2.7	Overall Fire Truck Access Plan	
C-2.8 - C-2.9	Detailed Fire Truck Access Plan	
C-2.10	Overall Materials Plan	
C-2.11	Overall Paving Plan	
C-2,12- C-2,13	Detailed Paving Plan	
	Gannon Drive Plan and Profile	
C-2.14	Private Road Profile	
C-2.15	Gannon Drive Intersection Sight Distance	
C-2.16	Private Road Intersection Sight Distance	
C-2.17	Driveway Intersection Sight Distance	
C= <u>2,</u>  8	Gannon Drive Cross Sections	
C-2.20	Gannon Drive Cross Sections	
C-2.21	Gannon Drive Cross Sections	
C-2.22	Site Lighting Plan	
C-2.23	Lighting Details	

#### Chapter 3 - Grading and Storm Drainage

C-3.0	Overall Grading Plan	
C-3.1 - C-3.2	Detailed Grading Plan	
C-3.3	Overall Storm Drainage Plan	
C-3.4 - C-3.5	Detailed Storm Drainage Plan	
C-3.6	Overall Storm Drainage Area Plan	
C-3.7 - C-3.8	Detailed Storm Drainage Area Plan	
C-3.9	Storm Drainage Chart	
C-3.10 - C-3.13	Storm Drainage Details	
C-3.14	Pre-Developed Drainage Area Map	
C-3.15	Post-Developed Drainage Area Map	
C-3.16	BMP Plan	
C-3.17	BMP Planting Plan	

#### Chapter 4 - Erosion Control

<u>C-4.0</u>	Overall Erosion Control Plan Stage 1
C-4.1	Overall Erosion Control Plan Stage 2
C-4.2	Erosion Control Details

#### Chapter 5 - Utility

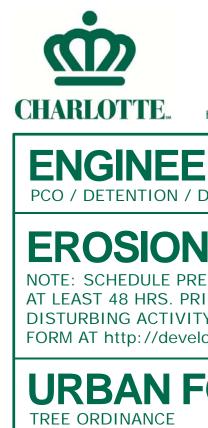
C-5.0	Overall Utility Plan	
C-5.1 - C-5.2	Detailed Utility Plan	
C-5.3 - C-5.4	Sanitary Sewer Profile	
C-5.5 - C-5.6	Utility Details	

#### Chapter 6 - Planting and Amenity

C-6.0	5.0 Overall Required Planting Plan	
C-6.1 - C-6.2	Detailed Required Planting Plan	
C-6.3	Required Planting Notes	
C-6.4	Required Planting Details	
C-6.5	Overall Supplemental Planting Plan	
C-6.6 - C-6.7	Detailed Supplemental Planting Plan	

#### Chapter 7 - Architectural Elevations

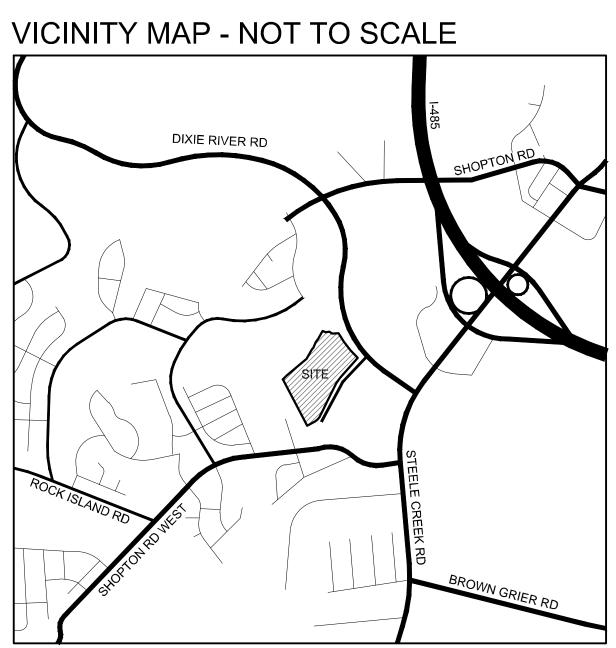
A2.01 - A2.04	Building Elevations	
SD1.00	Architectural Details	





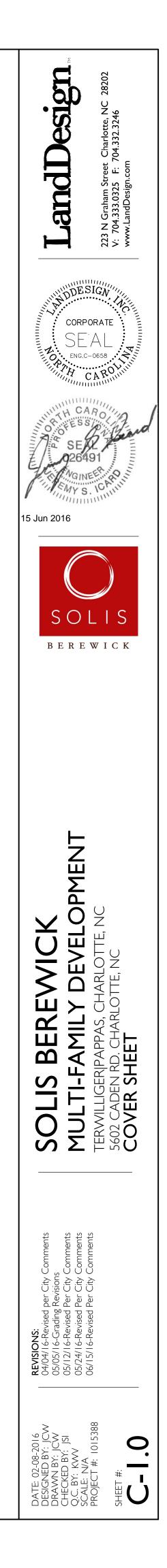
NOTE: THIS PLAN AF INCLUDE COMMERCI PERMITS AND ZONIN OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.

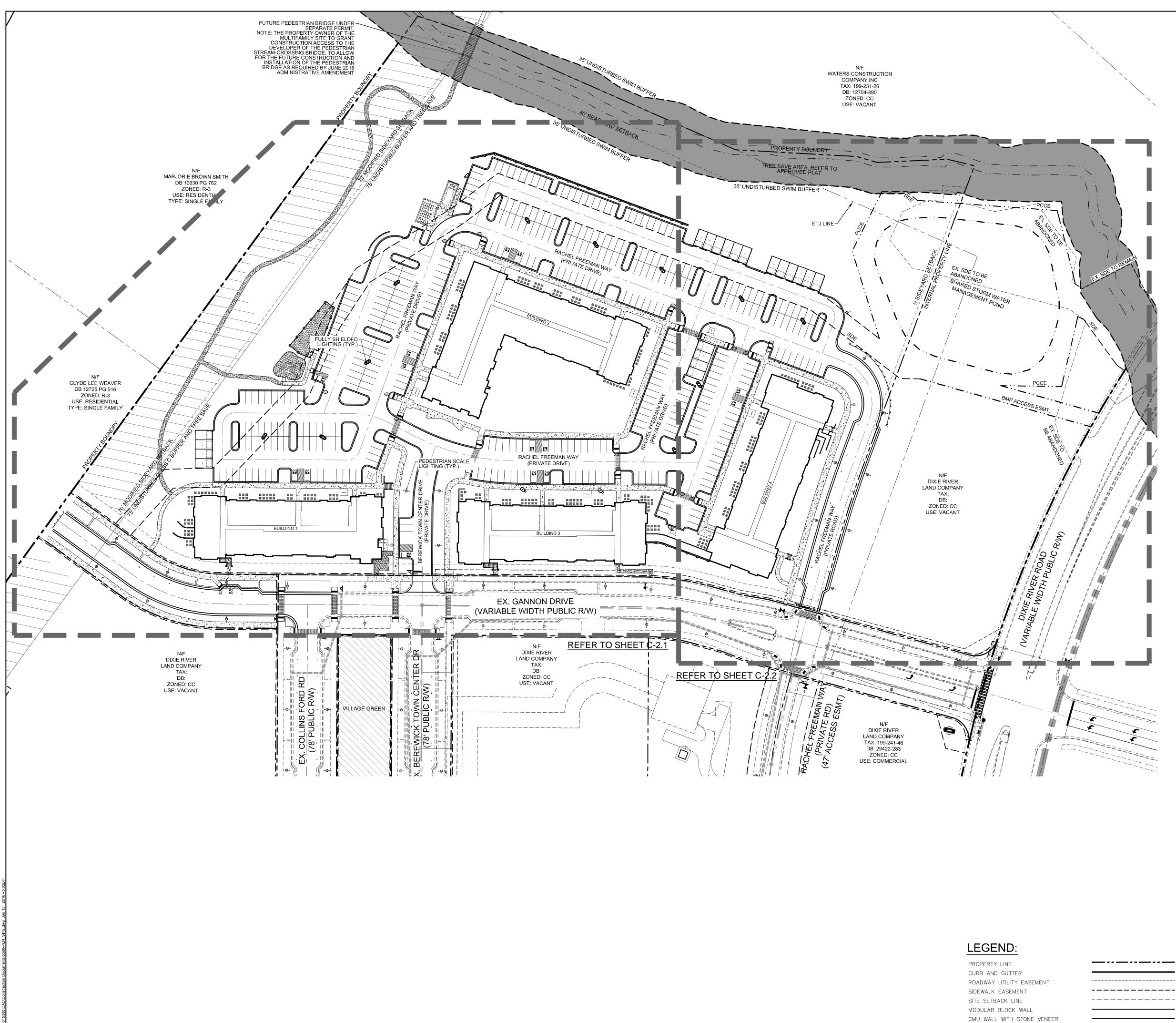
### PRELIMINARY PLANNED MULTI-FAMILY SUBDIVISION APPROVAL CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT By Brent Wilkinson 6/17/16



# **FINAL** APPROVAL

http://development.charmeck.org	
<b>RING</b> DRAINAGE PLAN	APPROVED
<b>CONTROL</b>	
RE-CONSTRUCTION MEETING RIOR TO ANY LAND TY USING THE ONLINE	APPROVED
elopment.charmeck.org	
ORESTRY	APPROVED
	APPROVED
PPROVAL DOES NOT IAL ZONING. ALL BUILDING NG APPROVALS CAN BE	





#### LAYOUT NOTES:

- 1. AT TIME OF STAKING, CONTRACTOR TO CONTACT LANDSCAPE ARCHITECT FOR DIGITAL SITE PLAN FILE FOR COORDINATION OF STAKING. 2. SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN COORDINATE POINTS AND DIMENSIONS OR OMISSIONS OF CRITICAL STAKING INFORMATION BE
- DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A COORDINATED SOLUTION. 3. ALL DIMENSIONS AND RADII ARE TO THE **BACK OF CURB** UNLESS OTHERWISE
- NOTED. 4. ALL SIDEWALKS SHALL BE FIELD STAKED FOR APPROVAL BY THE LANDSCAPE
- ARCHITECT. 5. LAND DEVELOPMENT ENGINEER TO BE GIVEN 24 HOURS NOTICE PRIOR TO
- START OF CONSTRUCTION. 6. ALL CONSTRUCTION SHALL COMPLY WITH CHARLOTTE/MECKLENBURG LAND
- DEVELOPMENT STANDARDS AND SPECIFICATIONS.
- REQUIRED LIGHTING ALONG PUBLIC AND PRIVATE STREETS TO BE 7. COORDINATED WITH ELECTRICAL ENGINEER.
- ALL PUBLIC AND PRIVATE STREET SECTIONS PER CLDSM STANDARDS. 8. PROVIDE TWO BIKE SPACES, OR ONE BIKE SPACE PER 20 UNITS (274 UNITS=14 9. BIKE SPACES)
- 10. REFER TO CDOT WORK AREA TRAFFIC CONTROL HANDBOOK AND NCDOT ROADWAY STANDARD DRAWINGS (DIVISION 11) FOR ADDITIONAL INFORMATION. 11. ALL TRAFFIC CONTROL DEVICES AND PROCEDURES SHALL CONFORM TO THE
- REQUIREMENTS OF THE CDOT WORK AREA TRAFFIC CONTROL HANDBOOK, THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND NCDOT. 12. ALL CURB AND GUTTER SHALL HAVE A RADIUS OF (5) FIVE FEET AT THE FACE OF CURB UNLESS OTHERWISE SPECIFIED.
- 13. PROVIDE 60"x60" CONCRETE LANDING AT EACH DISCHARGE DOOR WITH 2% MAX SLOPE IN ANY DIRECTION. LANDING TO BE PLACED TO PROVIDE MINIMUM OF 18" MANEUVERING CLEARANCE ON LATCH/PULL SIDE OF THE DOOR. TYPICAL FOR ALL DISCHARGE DOORS.
- 14. ANY DETACHED LIGHTING ON THE SITE WILL BE LIMITED TO 30 FEET IN HEIGHT AND BE FULLY SHIELDED. NO WALL PACKS WILL BE INSTALLED ON BUILDINGS WITHIN THE SITE ON ANY WALLS THAT ARE ADJACENT TO RESIDENTIALLY ZONED LAND OR PUBLIC STREET RIGHT-OF-WAY BUT ARCHITECTURAL LIGHTING ON THE BUILDING WILL BE PERMITTED. WHERE WALL PACK TYPE LIGHTING IS USED, IT MUST UTILIZE LIGHT FIXTURES THAT DIRECT THE LIGHT DOWNWARD INTO THE SITE. PEDESTRIAN LIGHTING, AS ESTABLISHED THROUGHOUT THE BEREWICK COMMUNITY, WILL BE INSTALLED AS PART OF THE DEVELOPMENT OF AREAS INCLUDED WITHIN THIS PETITION EXCEPT FOR THE BUSINESS PARK AREAS.

19923106 (LOCATED IN CHARLOTTE CITY LIMITS)

(JUNE, 2014 ADMINISTRATIVE AMENDMENT 12)

910 UNITS FOR PARCEL A, REZONING 2006-078

516 UNITS FOR PARCEL A. REZONING 2006-078

119 UNITS FOR PARCEL A, REZONING 2006-078\*\*

(75 SINGLE FAMILY, 441 MULTI-FAMILY)

1.5 SPACE PER UNIT (413 TOTAL SPACES)

NO LONG TERM SPACES REQUIRED

9.303(19)(F) OF ZONING ORDINANCE.

5' - ADJACENT TO CC ZONING

40' PER ZONING ORDINANCE

(1) 40 CY TRASH COMPACTORS +576 SF RECYCLING AREA

PROPOSED JUNE, 2016 - JULY OF 2017

70' - ADJACENT TO R-3 ZONING

464 SPACES - 409 SURFACE, 20 GARAGE, 20

ON-STREET (PRIVATE), & 15 ON-STREET (PUBLIC).

10% (1.32 ACRES) OF OVERALL BEREWICK MASTER

15' - FROM BACK OF RIGHT-OF-WAY, PER SECTION

ADJACENT TO EXISTING R-3ZONING INCREASED

(1) 8 CY COMPACTOR PER 90 UNITS = +25.5 CY

MINIMUM 4 X 144 SF RECYCLING STATIONS (576 SF)

40% (5.30 AC) OF OVERALL BEREWICK MASTER

19923126, 19924137 (LOCATED IN ETJ)

SITE DATA: TAX MAP NO:

**REZONING PETITION:** 

ZONING:

SITE AREA:

CC - LLWPA +/- 13.26 ACRES

HIGH

70%

59.3

275

22 DUA

DEVELOPMENT

DEVELOPMENT

± 5.4 ACRES

16' MINIMUM

9.305(1)(j)(B).

40'

342,592

2006-078

DENSITY: MAX. IMPERVIOUS: SITE IMPERVIOUS: SITE % IMPERVIOUS:

WATERSHED NOTES:

PROPOSED USE:

PROPOSED UNITS: DENSITY: TOTAL UNITS ALLOWED: TOTAL UNITS DEVELOPED:

TOTAL UNITS REMAINING:

PARKING REQUIRED: PARKING PROVIDED:

BICYCLE PARKING REQUIRED: 1 SHORT TERM SPACE/20 UNITS = 14

BICYCLE PARKING PROVIDED: 15 SPACES

TREE SAVE REQUIRED:

OPEN SPACE REQUIRED:

OPEN SPACE PROVIDED:

FRONT SETBACK:

INTERNAL SIDE YARD: EXTERNAL SIDE YARD: REAR YARD: BUILDING SEPARATION: MAXIMUM BUILDING HEIGHT:

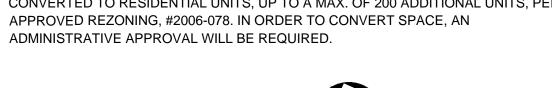
PROPOSED BUILDING HEIGHT: ± 70'-0" (4 LEVEL, 1 BASEMENT). SIDEYARD SETBACK

TRASH & RECYCLING PICK UP REQUIRED

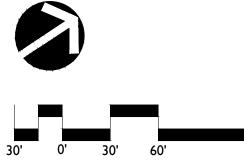
**TRASH & RECYCLING:** PICK UP PROVIDED

DEVELOPMENT SCHEDULE:

GENERAL NOTES: ALL UTILITIES WILL BE UNDERGROUND AS REQUIRED BY CURRENT DEVELOPMENT STANDARDS. \*\* DENOTES THAT RETAIL AND OFFICE SPACE WITH IN THE PARCEL 'A' CAN BE CONVERTED TO RESIDENTIAL UNITS, UP TO A MAX. OF 200 ADDITIONAL UNITS, PER







.9 D 133 33 5 ΖŻ ÷ ۲ DESIGN CORPORATE ENG.C-0658 CAR CAR ESSI 15 Jun 2016 SOLIS BEREWICK APARTMENTS FOR RENT (MULTI-FAMILY RESIDENTIAL PMEN. 0 U U . 7 ш ב  $\square$ Ш K ō ШΣ Ω 4 ERALL >SO S FROM REQ 10' TO 70' PER ZONING ORDINANCE, TABLE City City City Per Per r r sed sed Ϋ́e Ϋ́e Ϋ́e

04/02/12/02/ 

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