

APPROVED  
By Robert Zink at 12:16 pm, Feb 05, 2016

APPROVED

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CIVIL CONSTRUCTION DOCUMENTS  
FOR  
511 QUEENS APARTMENTS

PREPARED FOR:  
FAISON-511 QUEENS, LLC  
121 W. TRADE STREET  
CHARLOTTE, NORTH CAROLINA 28202

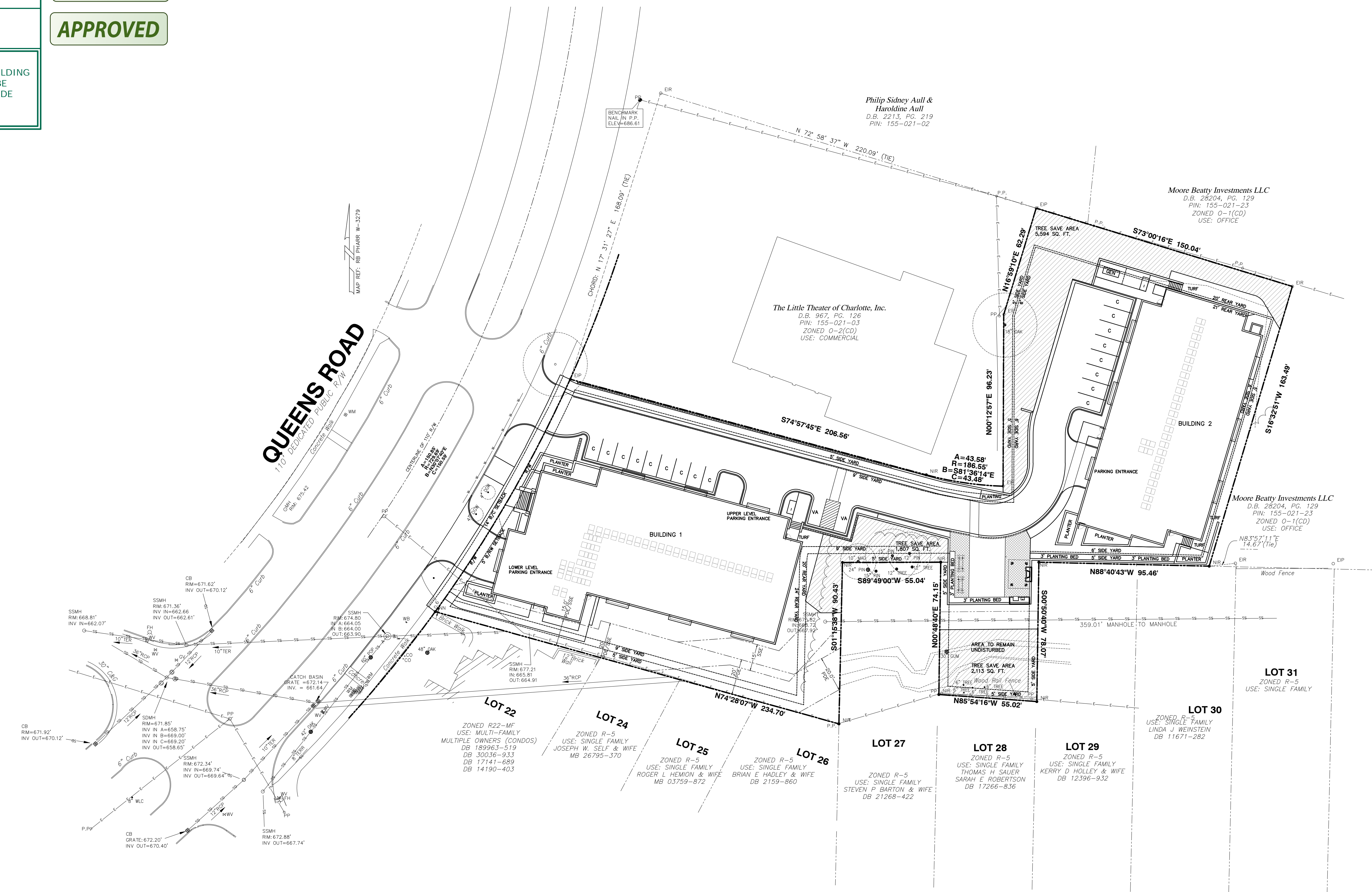
PRELIMINARY PLANNED  
MULTI-FAMILY SUBDIVISION  
APPROVAL  
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT  
[By Brent Wilkinson 2/9/16]



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STAMPED APPROVED REZONING PLANS



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CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ASSURING THAT EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.

GENERAL SITE NOTES

A. BOUNDARY AND TOPOGRAPHIC SURVEY DATA PROVIDED BY:  
RB PHARR & ASSOCIATES, PA  
420 HAWTHORNE LANE  
CHARLOTTE, NC 28204  
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NC FIRM LICENSE: C-2791(LA)



511 QUEENS ROAD  
APARTMENTS  
CHARLOTTE, NC 28207

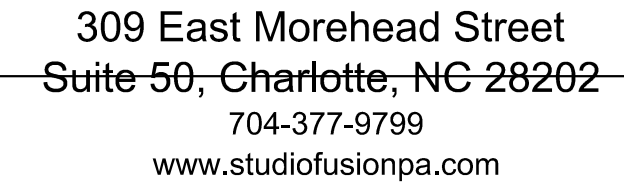
PROJECT NUMBER: 15-012

ISSUED: NOVEMBER 2, 2015

REVISIONS:

COVER SHEET





Engineers:

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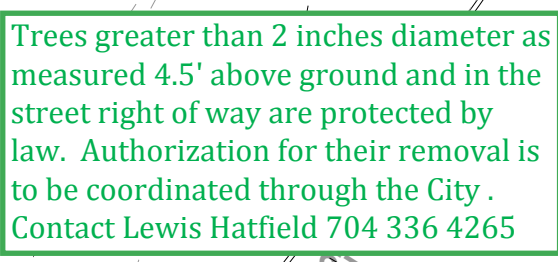


REVISIONS:

1 SUBDIVISION REVIEW COMMENTS-1.

2 SUBDIVISION REVIEW COMMENTS-1.

# C0



1. ALL TREES ON PUBLIC PROPERTY AND IN THE STREET R/W ARE PROTECTED BY ORDINANCE AND REMOVAL MUST BE APPROVED IN ADVANCE VIA PERMIT FROM THE CITY ARBORIST. (704) 336-4262.
2. REMOVAL OF TREES REQUIRES REMOVAL OF OBSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE SAVE AREAS.
3. DEMOLITION OF EXISTING STRUCTURES AND UTILITIES, DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION BY URBAN FORESTRY STAFF.
4. TREE PROTECTION BARRICADES MUST MEET OR EXCEED TREE PROTECTION STANDARDS IN DEVELOPMENT STANDARDS MANUAL 40.02.
5. BEFORE GRADING/CLEARING/CONSTRUCTION BEGINS, CALL 704 336-4262 FOR INFORMATION OF TREE PROTECTION BARRICADES BY URBAN FORESTRY STAFF.
6. NO GRUBBING WITHIN TREE SAVE AREAS. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH.
7. BRUSH, VINES, AND SMALL TREES (< 8 IN. DIAMETER, OR AS SMALL AS 2 IN. CALIPER) MAY BE HAND-CLEARED ONLY, CUT FLUSH WITH GROUND SURFACE. EXISTING TREES MAY BE LIMBED UP 6 FEET MAXIMUM. LEAVE LIMBS IN PLACE TO IMPROVE VISIBILITY.
8. EXPOSED TREE ROOTS MUST BE CLEANLY CUT WITH A SHARP PRUNING TOOL; BACKFILL ASPHALT TO MINIMIZE EXPOSURE TO THE AIR.
9. TREE TRUNKS ARE TO BE LOCATED 5 FEET BEYOND DRIP LINE OF TREE SAVE AREA.
10. ANY REQUIRED TREES SHOWN THAT ARE MISSING AT THE TIME OF CO REQUEST MUST BE REPLACED TO THE SATISFACTION OF THE URBAN FORESTRY INSPECTOR AND THE CHAIRLITE TREE CARE ORDINANCE.

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED FOR THE DEMOLITION AND REMOVAL OF THE EXISTING IMPROVEMENTS INDICATED TO BE REMOVED.
2. CONTRACTOR IS RESPONSIBLE FOR COORDINATING WITH THE LOCAL UTILITY COMPANIES FOR THE REMOVAL OR RELOCATION OF LIGHT POLES, POWER POLES/LINES, GAS LINES, ETC.
3. CONTRACTOR TO SAW-CUT EXISTING PAVEMENT AND CURB/GUTTER FOR REMOVAL AS REQUIRED.
4. INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND FIELD LOCATIONS WHEN POSSIBLE, BUT THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY DIGGING TEST PITS BY HAND AT ALL CROSSINGS WELL IN ADVANCE OF TRENCHING. IF CLEARANCES ARE LESS THAN SPECIFIED ON THE PLAN OR 12 INCHES, WHICHEVER IS LESS, CONTACT THE DESIGN ENGINEER AND THE OWNER PRIOR TO PROCEEDING.
6. DEMOLITION SHALL BE PERFORMED IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS.
7. ALL DEMOLITION DEBRIS SHALL BE REMOVED AND TRANSPORTED TO A LICENSED LANDFILL OR OTHER FACILITY.
8. THE TRENCHES WHERE EXISTING UTILITIES HAVE BEEN REMOVED OR RELOCATED SHALL BE COMPACTED TO 9" STANDARD PROCTOR.
9. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES 48 HOURS IN ADVANCE OF ANY DEMOLITION WORK.

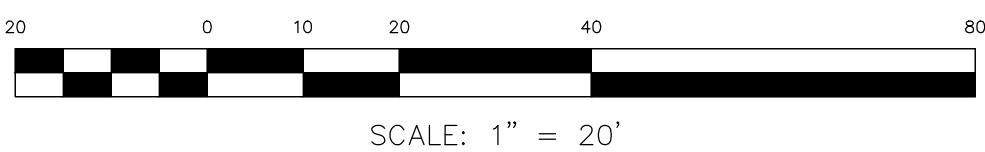
- ① REMOVE EXISTING CONCRETE DRIVEWAY APRON.  
PROVIDE TRAFFIC CONTROL AS REQUIRED BY CDOT AND NCDOT. SEE WORK AREA NOTES  
AND WATCH DIAGRAM. 5 TRAFFIC CONTROL ON SHEET C4.2. LANE CLOSURES ARE NOT  
ALLOWED 7AM-9AM OR 4:30-6:30PM.
- ② REMOVE EXISTING STREET TREE. CONTRACTOR MUST MAKE APPLICATION FOR AND RECEIVE THE  
NECESSARY SEPARATE R/W THROUGH REMOVAL PERMIT FROM THE CITY ARBORIST'S OFFICE PRIOR  
TO ANY TREE REMOVAL IN THE R/W. COORDINATE WITH THE CITY ARBORIST'S OFFICE.
- ③ REMOVE EXISTING STONE AND GRAVEL PAVEMENT.
- ④ REMOVE ALL EXISTING CONCRETE BUILDING FOUNDATIONS IN THEIR ENTIRETY.
- ⑤ REMOVE EXISTING 5' SIDEWALK ALONG ENTIRE PROPERTY FRONTAGE FOR REPLACEMENT WITH  
NEW SIDEWALK. SEE SITE PLAN. PROVIDE SIGNAGE AT STREET CROSSWALK AREAS AND WHERE  
NEEDED TO INDICATE SIDEWALK CLOSURE TO PEDESTRIANS AND ROUTE OF THE SIDEWALK DETOUR  
DIVERSION. SEE DIAGRAM, SHEET C4.2.
- ⑥ EXISTING WATER METERS AND ASSOCIATED WATER SERVICE TO BE DISMANTLED AND  
REMOVED BY CHARLOTTE WATER.
- ⑦ SECTION OF EXISTING 36" STORM PIPE AND HEADWALL TO BE REMOVED DUE TO REQUIRED NEW  
72" STORM PIPE SYSTEM. SEE GRADING AND DRAINAGE PLAN, SHEET C2.2. PERMANENTLY  
CLOSE END OF 36" PIPE AT THE PROPERTY LINE WITH A WATERTIGHT CONCRETE CAP.  
REMOVING EXISTING 36" PIPE BY APPROVED METHODS TO ALLOW DURING CONSTRUCTION OF 72" STORM DRAIN SYSTEM  
UNTIL NEW STORM DRAIN SYSTEM IS OPERATIONAL AND 36" PIPE CAN BE REMOVED AND PLUGGED.
- ⑧ SECTION OF EXISTING 10" SANITARY SEWER AND MANHOLES TO BE REMOVED DUE TO REQUIRED RE-ROUTING  
OF THE SANITARY SEWER RESULTING FROM INSTALLATION OF NEW 72" STORM DRAIN PIPE SYSTEM.  
SEE CHARLOTTE WATER PLANS FOR EXISTING SEWER RELOCATION
- ⑨ COORDINATE RELOCATION OF EXISTING ELECTRICAL POLES AND OVERHEAD ELECTRICAL LINES WITH DUKE ENERGY.

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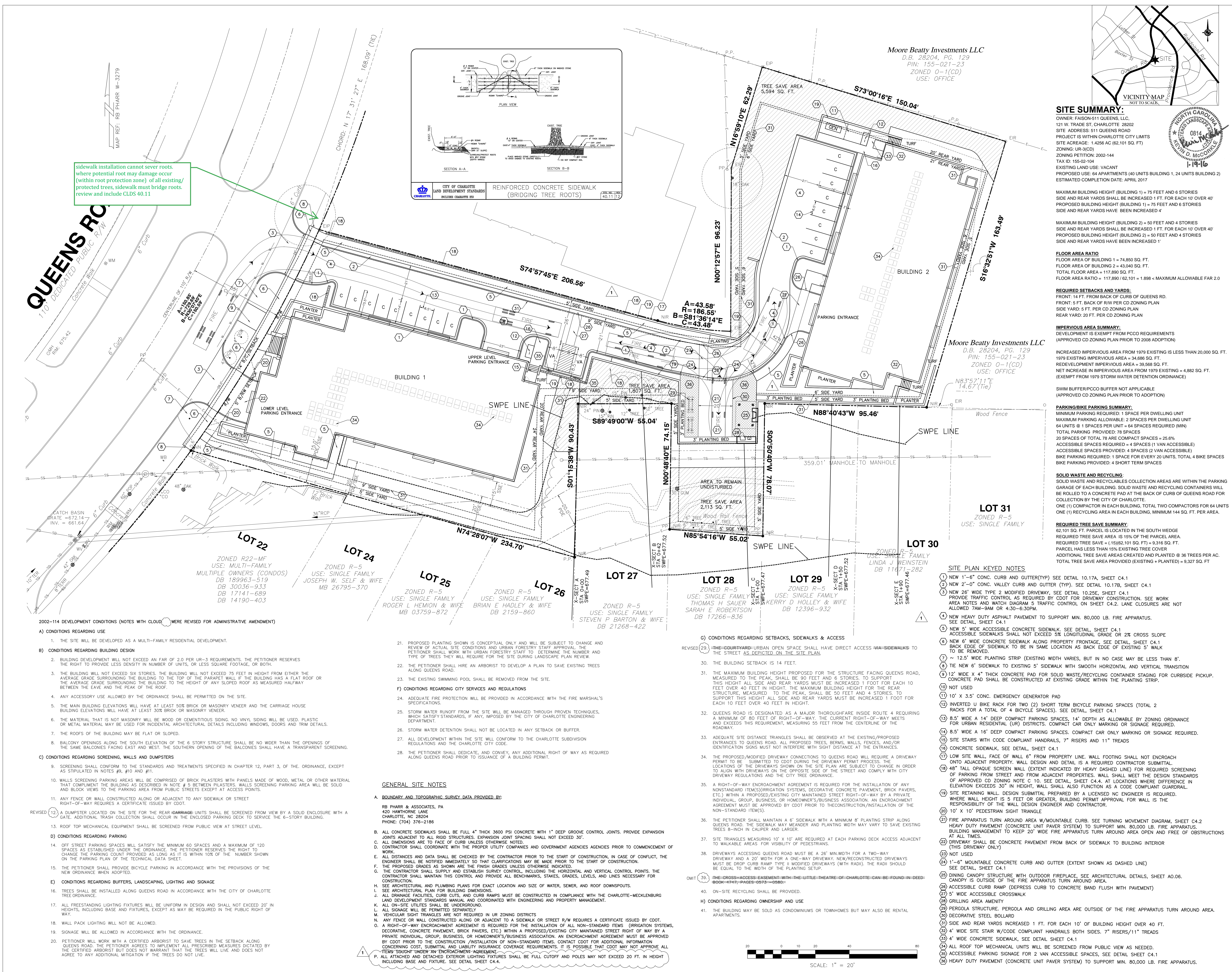


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1 PERMIT REVIEW COMMENTS-12/09/15  
2 SUBDIVISION REVIEW COMMENTS-1/19/16

SITE PLAN

C1.1