VILLA HEIGHTS

SINGLE FAMILY DEVELOPMENT CHARLOTTE, NORTH CAROLINA

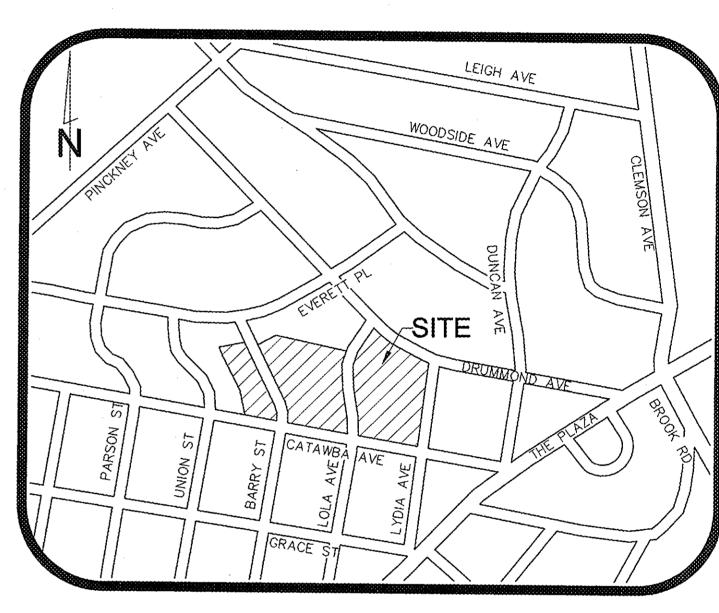
DEVELOPER Villa Heights Properties, LLC PO BOX 32866

Charlotte, NC 28232 Micheal Doney 704.332.3322

CIVIL ENGINEER LandDesign, Inc. 223 North Graham St. Charlotte, NC 28202 704.333.0325

SURVEYOR R.B. Pharr & Associates, P.A. 420 Hawthorne Lane Charlotte, NC 28204 704.376.2186

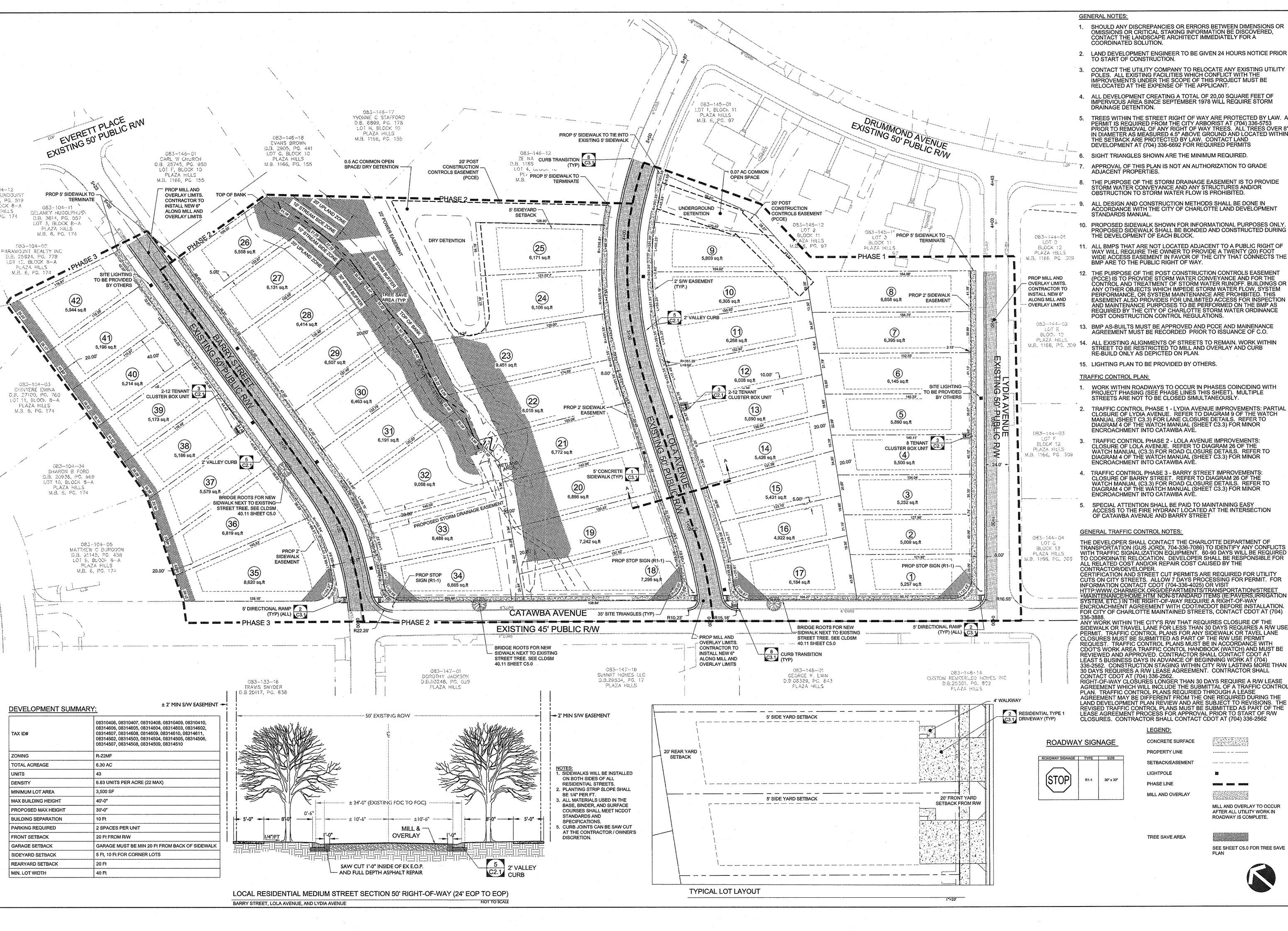
SHEET INDEX			
SHEET NUMBER	SHEET TITLE		
C1.0	COVER SHEET		
C2.0	EXISTING CONDITIONS		
C2.1	PHASE 1 - EROSION CONTROL		
C2.2	PHASE 2 - EROSION CONTROL		
C2.3	PHASE 3 - EROSION CONTROL		
C2.4	EROSION CONTROL DETAILS		
C3.0	SITE PLAN		
C3.1	SITE DETAILS		
C3.2	ROADWAY PROFILES		
C3.3	SITE DETAILS		
C4.0	PRE-DEVELOPMENT STORMWATER MAP		
C4.1	STORMWATER MANAGEMENT PLAN		
C4.2	BMP DETAILS		
C4.3	STORM DRAINAGE DETAILS		
C5.0	LANDSCAPE PLAN		
C6.0	ROADWAY IMPROVEMENT PLAN		



VICINITY MAP - NOT TO SCALE



http://development.charmeck.org	_	
ENGINEERING PCO / DETENTION / DRAINAGE PLAN	APPROVED By Emily Chien at 4:03 pm, Jun 10, 201	15
EROSION CONTROL NOTE: SCHEDULE PRE-CONSTRUCTION MEETING AT LEAST 48 HRS. PRIOR TO ANY LAND DISTURBING ACTIVITY USING THE ONLINE FORM AT http://development.charmeck.org	APPROVED	
URBAN FORESTRY TREE ORDINANCE	APPROVED Laurie Dukes	
CDOT	APPROVED Keith Bryant	
NOTE: THIS PLAN APPROVAL DOES NOT INCLUDE COMMERCIAL ZONING. ALL BUILDING PERMITS AND ZONING APPROVALS CAN BE OBTAINED AT MECKLENBURG COUNTY CODE ENFORCEMENT. PLEASE CALL CTAC AT 704-336-3829 FOR MORE INFORMATION.		



SHOULD ANY DISCREPANCIES OR ERRORS BETWEEN DIMENSIONS OR OMISSIONS OR CRITICAL STAKING INFORMATION BE DISCOVERED, CONTACT THE LANDSCAPE ARCHITECT IMMEDIATELY FOR A

4. ALL DEVELOPMENT CREATING A TOTAL OF 20,00 SQUARE FEET OF IMPERVIOUS AREA SINCE SEPTEMBER 1978 WILL REQUIRE STORM

TREES WITHIN THE STREET RIGHT OF WAY ARE PROTECTED BY LAW. PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5753 PRIOR TO REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8 IN DIAMETER AS MEASURED 4.5" ABOVE GROUND AND LOCATED WITHIT

DESIGN

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APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE

OBSTRUCTION TO STORM WATER FLOW IS PROHIBITED.

ALL DESIGN AND CONSTRUCTION METHODS SHALL BE DONE IN ACCORDANCE WITH THE CITY OF CHARLOTTE LAND DEVELOPMENT

10. PROPOSED SIDEWALK SHOWN FOR INFORMATIONAL PURPOSES ONLY. PROPOSED SIDEWALK SHALL BE BONDED AND CONSTRUCTED DURING THE DEVELOPMENT OF EACH BLOCK.

11. ALL BMPS THAT ARE NOT LOCATED ADJACENT TO A PUBLIC RIGHT OF WAY WILL REQUIRE THE OWNER TO PROVIDE A TWENTY (20) FOOT WIDE ACCESS EASEMENT IN FAVOR OF THE CITY THAT CONNECTS THE

12. THE PURPOSE OF THE POST CONSTRUCTION CONTROLS EASEMENT (PCCE) IS TO PROVIDE STORM WATER CONVEYANCE AND FOR THE CONTROL AND TREATMENT OF STORM WATER RUNOFF. BUILDINGS OF ANY OTHER OBJECTS WHICH IMPEDE STORM WATER FLOW, SYSTEM PERFORMANCE, OR SYSTEM MAINTENANCE ARE PROHIBITED. THIS EASEMENT ALSO PROVIDES FOR UNLIMITED ACCESS FOR INSPECTION AND MAINTENANCE PURPOSES TO BE PERFORMED ON THE BMP AS REQUIRED BY THE CITY OF CHARLOTTE STORM WATER ORDINANCE

ALL EXISTING ALIGNMENTS OF STREETS TO REMAIN. WORK WITHIN STREET TO BE RESTRICTED TO MILL AND OVERLAY AND CURB

WORK WITHIN ROADWAYS TO OCCUR IN PHASES COINCIDING WITH PROJECT PHASING (SEE PHASE LINES THIS SHEET). MULTIPLE STREETS ARE NOT TO BE CLOSED SIMULTANEOUSLY.

TRAFFIC CONTROL PHASE 1 - LYDIA AVENUE IMPROVEMENTS: PARTIAL CLOSURE OF LYDIA AVENUE. REFER TO DIAGRAM 9 OF THE WATCH MANUAL (SHEET C3.3) FOR LANE CLOSURE DETAILS. REFER TO DIAGRAM 4 OF THE WATCH MANUAL (SHEET C3.3) FOR MINOR ENCROACHMENT INTO CATAWBA AVE.

TRAFFIC CONTROL PHASE 2 - LOLA AVENUE IMPROVEMENTS: CLOSURE OF LOLA AVENUE. REFER TO DIAGRAM 26 OF THE WATCH MANUAL (C3.3) FOR ROAD CLOSURE DETAILS. REFER TO DIAGRAM 4 OF THE WATCH MANUAL (SHEET C3.3) FOR MINOR

TRAFFIC CONTROL PHASE 3 - BARRY STREET IMPROVEMENTS CLOSURE OF BARRY STREET. REFER TO DIAGRAM 26 OF THE WATCH MANUAL (C3.3) FOR ROAD CLOSURE DETAILS. REFER TO DIAGRAM 4 OF THE WATCH MANUAL (SHEET C3.3) FOR MINOR

SPECIAL ATTENTION SHALL BE PAID TO MAINTAINING EASY ACCESS TO THE FIRE HYDRANT LOCATED AT THE INTERSECTION

THE DEVELOPER SHALL CONTACT THE CHARLOTTE DEPARTMENT OF TRANSPORTATION (GUS JORDI, 704-336-7086) TO IDENTIFY ANY CONFLICTS WITH TRAFFIC SIGNALIZATION EQUIPMENT. 60-90 DAYS WILL BE REQUIRE TO COORDINATE RELOCATION. DEVELOPER SHALL BE RESPONSIBLE FOR LL RELATED COST AND/OR REPAIR COST CAUSED BY THE

CERTIFICATION AND STREET CUT PERMITS ARE REQUIRED FOR UTILITY CUTS ON CITY STREETS. ALLOW 7 DAYS PROCESSING FOR PERMIT. FOR HTTP:WWW.CHARMECK.ORG/DEPARTMENTS/TRANSPORTATION/STREET +MAINTENANCE/HOME.HTM NON-STANDARD ITEMS (IE:PAVERS,IRRIGATION SYSTEM, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH CDOT/NCDOT BEFORE INSTALLATION. FOR CITY OF CHARLOTTE MAINTAINED STREETS, CONTACT COOT AT (704)

ANY WORK WITHIN THE CITY'S R/W THAT REQUIRES CLOSURE OF TH SIDEWALK OR TRAVEL LANE FOR LESS THAN 30 DAYS REQUIRES A R/W USE PERMIT, TRAFFIC CONTROL PLANS FOR ANY SIDEWALK OR TAVEL LANE CLOSURES MUST BE SUBMITTED AS PART OF THE R/W USE PERMIT REQUEST. TRAFFIC CONTROL PLANS MUST BE IN ACCORDANCE WITH CDOT'S WORK AREA TRAFFIC CONTOL HANDBOOK (WATCH) AND MUST BE REVIEWED AND APPROVED. CONTRACTOR SHALL CONTACT CDOT AT EAST 5 BUSINESS DAYS IN ADVANCE OF BEGINNING WORK AT (704) 336-2562. CONSTRUCTION STAGING WITHIN CITY R/W LASTING MORE THAN 30 DAYS REQUIRES A R/W LEASE AGREEMENT. CONTRACTOR SHALL

RIGHT-OF-WAY CLOSURES LONGER THAN 30 DAYS REQUIRE A R/W LEASE AGREEMENT WHICH WILL INCLUDE THE SUBMITTAL OF A TRAFFIC CONTROL PLAN. TRAFFIC CONTROL PLANS REQURIED THROUGH A LEASE AGREEMENT MAY BE DIFFERENT FROM THE ONE REQUIRED DURING THE AND DEVELOPMENT PLAN REVIEW AND ARE SUBJECT TO REVISIONS. THE REVISED TRAFFIC CONTROL PLANS MUST BE SUBMITTED AS PART OF THE EASE AGREEMENT PROCESS FOR APPROVAL PRIOR TO START OF RW CLOSURES. CONTRACTOR SHALL CONTACT CDOT AT (704) 336-2562

MILL AND OVERLAY TO OCCUR AFTER ALL UTILITY WORK IN

