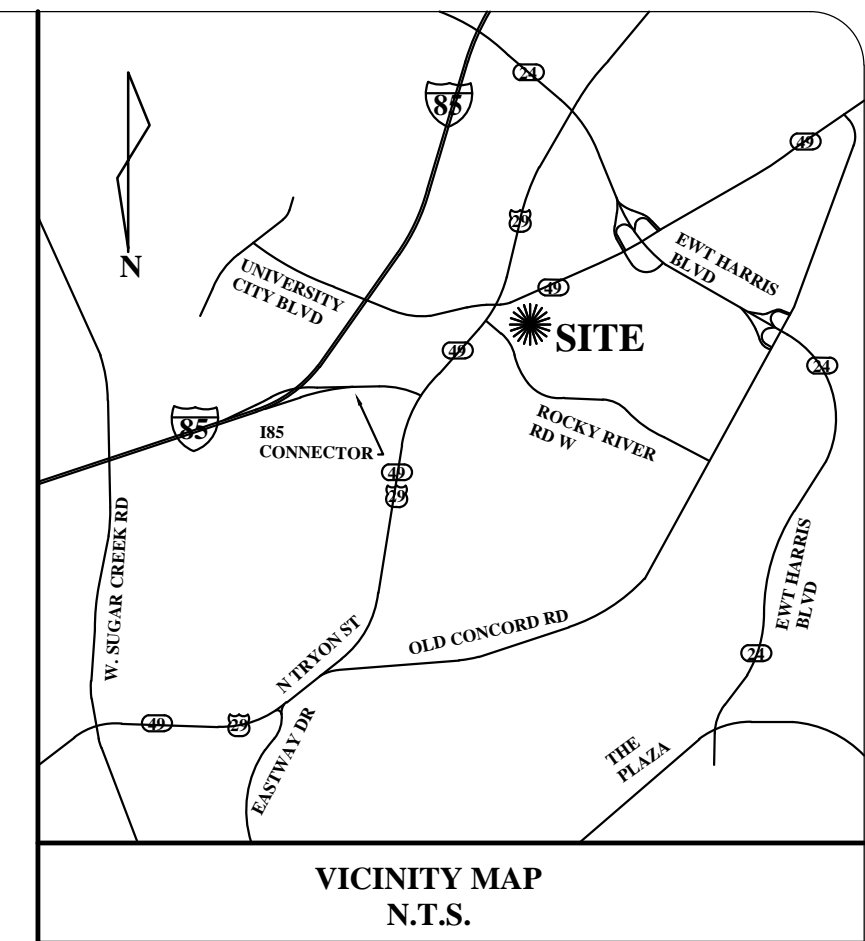


INDEX OF SHEETS

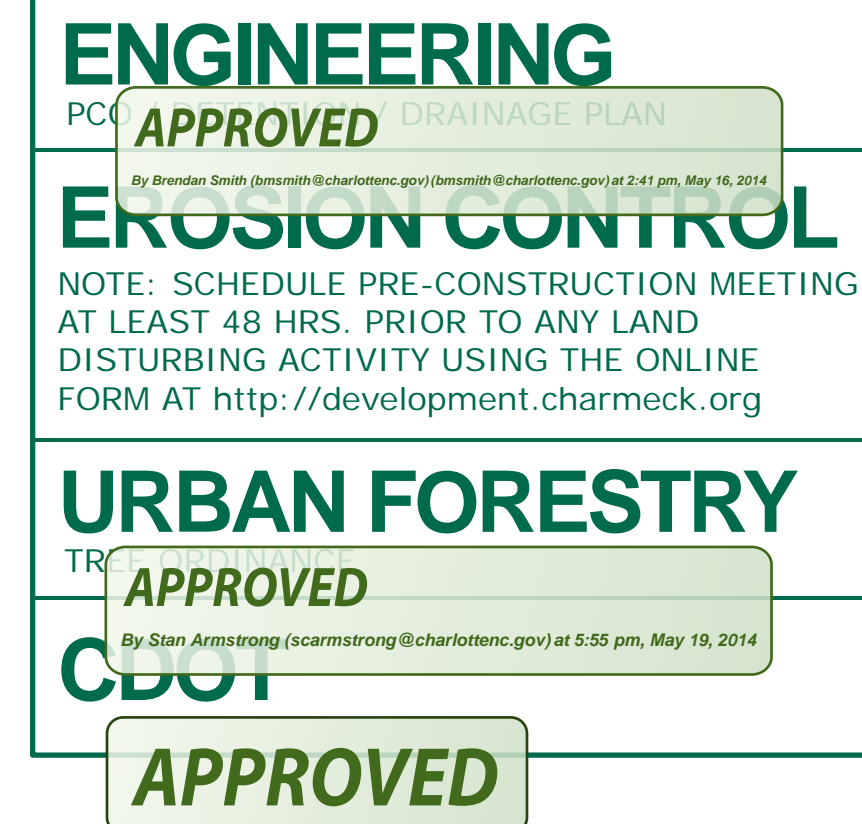
CO	COVER SHEET
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C1.2	OVERALL SITE PLAN
C1.3	SITE PLAN
C1.4	SITE PLAN
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L1.1	OVERALL LANDSCAPE PLAN
	APPROVED REZONING PETITION

# REVISION TO APPROVED PLANS SUBDIVISION PLANS FOR SANCTUARY UNC CHARLOTTE

PREPARED FOR:  
SANCTUARY MANAGEMENT, LLC  
8206 PROVIDENCE ROAD  
CHARLOTTE, NORTH CAROLINA 28277

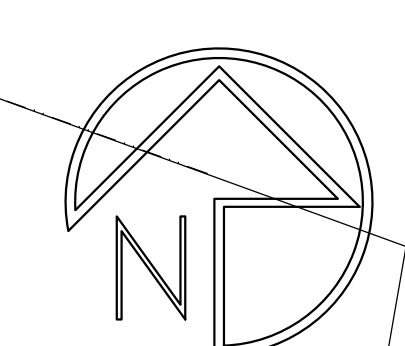


Part 1 / 2  
Pages #1-21



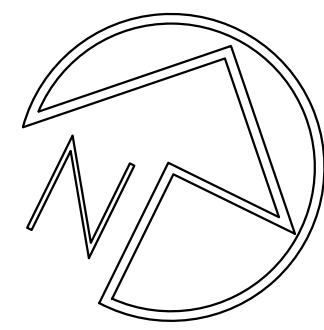
RTAP INCLUDES CHANGES TO INTERNAL LAYOUT ALONG WEST ROCKY RIVER ROAD DUE TO CDOT'S FUTURE PLANS FOR REALIGNMENT. ADDED PIECE OF LAND SOUTHWEST CORNER.

TENTATIVE COMPLETION  
DATE: JULY 2014



GEOSCIENCE GROUP  
Incorporated  
500-K Clanton Road  
Charlotte, NC 28217  
Phone: 704.525.2003  
Fax: 704.525.2051  
www.geosciencegroup.com





**CONDITIONAL REQUIREMENTS (PERFORMANCE STANDARDS) TO BE IMPOSED**

It is proposed that the following conditional requirements be placed on the property indicated on the attached map. These conditions would become enforceable at the time any development was proposed for any portion of the property covered by them.

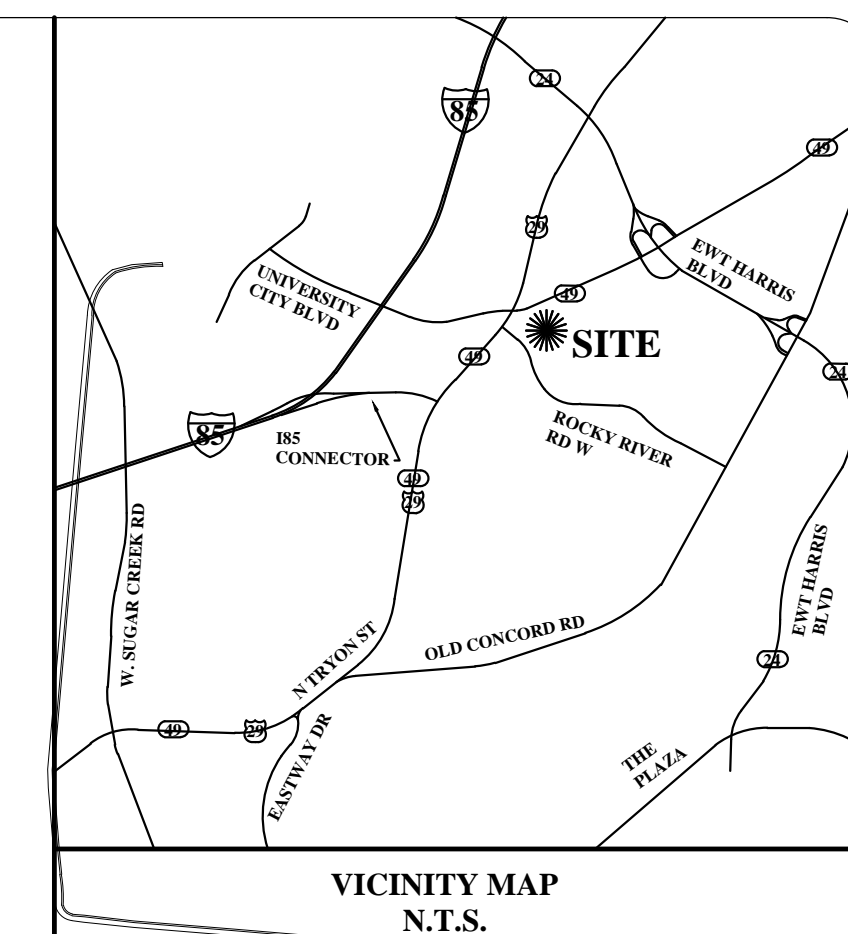
- I. The following uses now allowed under the B-2 Zoning District Classification would be prohibited within the area covered by the attached plan.
  - A. Auction sale of real and personal property
  - B. Room renting
  - C. Trailer/Overnight camping
  - D. Amusement commercial outdoors

- E. Amories for meetings and training of military organizations
- F. Auction sales
- G. Exterminators
- H. Fabric sample assembly
- I. Fences and fence materials retail sales
- J. Fertilizer packaged retail sales
- K. Frozen food lockers
- L. Marinas
- M. Mobile home sales
- N. Motorcycles retail sales and repair
- O. Parking lots and parking structures (commercial)
- P. Pawn shops and secondhand goods retail sales

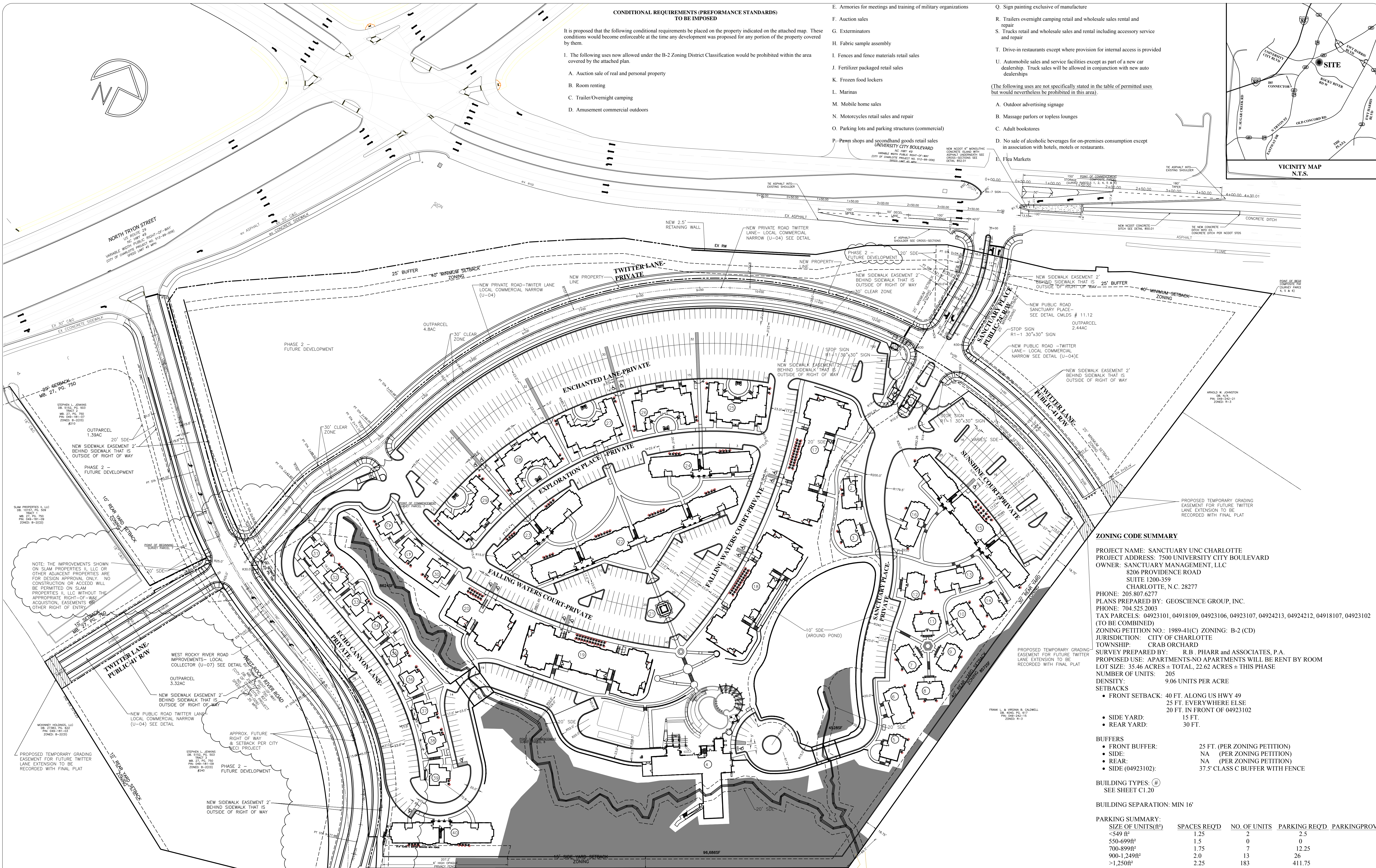
- Q. Sign painting exclusive of manufacture
- R. Trailers overnight camping retail and wholesale sales rental and repair
- S. Trucks retail and wholesale sales and rental including accessory service and repair
- T. Drive-in restaurants except where provision for internal access is provided
- U. Automobile sales and service facilities except as part of a new car dealership. Truck sales will be allowed in conjunction with new auto dealerships

(The following uses are not specifically stated in the table of permitted uses but would nevertheless be prohibited in this area.)

- A. Outdoor advertising signage
- B. Massage parlors or topless lounges
- C. Adult bookstores
- D. No sale of alcoholic beverages for on-premises consumption except in association with hotels, motels or restaurants.
- E. Flea Markets



NO.	REVISION	DATE
1	REV. PER CITY COMMENTS	8-13-14
2	REV. PER CITY COMMENTS	8-20-14
3	REV. PER CITY COMMENTS	9-1-14
4	REV. PER CITY COMMENTS	9-15-14
5	REV. PER CITY COMMENTS	9-22-14
6	REV. PER CITY COMMENTS	10-1-14
7	REV. PER CITY COMMENTS	10-15-14
8	REV. PER CITY COMMENTS	10-22-14
9	REV. PER CITY COMMENTS	11-5-14
10	REV. PER CITY COMMENTS	11-12-14



**ZONING CODE SUMMARY**

PROJECT NAME: SANCTUARY UNC CHARLOTTE  
 PROJECT ADDRESS: 7500 UNIVERSITY CITY BOULEVARD  
 OWNER: SANCTUARY MANAGEMENT, LLC  
 8206 PROVIDENCE ROAD  
 SUITE 1200-359  
 CHARLOTTE, N.C. 28277  
 PHONE: 205.807.6277  
 PLANS PREPARED BY: GEOSCIENCE GROUP, INC.  
 PHONE: 704.525.2003  
 TAX PARCELS: 04923101, 04918109, 04923106, 04923107, 04924213, 04924212, 04918107, 04923102  
 (TO BE COMBINED)  
 ZONING PETITION NO.: 1989-41(C) ZONING: B-2 (CD)  
 JURISDICTION: CITY OF CHARLOTTE  
 TOWNSHIP: CRAB ORCHARD  
 SURVEY PREPARED BY: R.B. PHARR and ASSOCIATES, P.A.  
 PROPOSED USE: APARTMENTS-NO APARTMENTS WILL BE RENT BY ROOM  
 LOT SIZE: 35.46 ACRES ± TOTAL, 22.62 ACRES ± THIS PHASE  
 NUMBER OF UNITS: 205  
 DENSITY: 9.06 UNITS PER ACRE

- FRONT SETBACK: 40 FT. ALONG US HWY 49  
25 FT. EVERYWHERE ELSE  
20 FT. IN FRONT OF 04923102
- SIDE YARD: 15 FT.
- REAR YARD: 30 FT.

- BUFFERS:
  - FRONT BUFFER: 25 FT. (PER ZONING PETITION)
  - SIDE: NA (PER ZONING PETITION)
  - REAR: NA (PER ZONING PETITION)
  - SIDE (04923102): 37.5' CLASS C BUFFER WITH FENCE

BUILDING TYPES: (P)  
 SEE SHEET C1.20  
 BUILDING SEPARATION: MIN 16'

SIZE OF UNITS(SQ FT)	SPACES REQ'D	NO. OF UNITS	PARKING REQ'D	PARKING PROVIDED
<549 SF	1.25	2	2.5	
550-699 SF	1.5	0	0	
700-899 SF	1.75	7	12.25	
900-1,249 SF	2.0	13	26	
>1,250 SF	2.25	183	411.75	
TOTAL		205	452.5	765

ADA SPACES REQUIRED: 16 (2% OF TOTAL PARKING) PROVIDED 16  
 (ONLY 6 TYPE A BLDG UNITS, SEE ARCH. PLANS)  
 VAN SPACES REQUIRED: 2.5 PROVIDED: 4  
 OPEN SPACE & RECREATION SPACE :  
 SEE SHEET C1.15

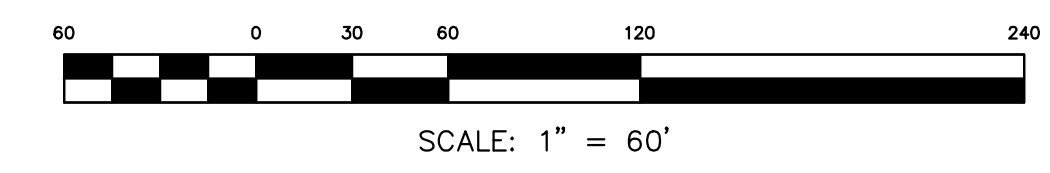
BICYCLE PARKING  
 LONG TERM REQUIRED: 0  
 SHORT TERM REQUIRED: 1 SPACE PER 20 UNITS = 11  
 SHORT TERM PROVIDED: 30 SPACES

ANTICIPATED START DATE: AUGUST 1, 2013  
 ANTICIPATED COMPLETION DATE: AUGUST 1, 2014

**GENERAL SITE NOTES**

- A. TOPOGRAPHIC SURVEY DATA PROVIDED BY: RB PHARR
- B. OWNER/DEVELOPER: SANCTUARY MANAGEMENT, LLC 8206 PROVIDENCE RD, SUITE 1200-359 CHARLOTTE, NC 28277 205-807-6277
- C. ARCHITECT: MILLER ARCHITECTURE 715 NORTH CHURCH STREET CHARLOTTE, NC 28202 704-377-8500
- D. ALL CONCRETE SIDEWALKS SHALL BE FULL 4" THICK 3600 PSI CONCRETE WITH 1" DEEP GROOVE CONTROL JOINTS AT INTERVALS INDICATED ON ARCHITECTURAL PLAN. PROVIDE EXPANSION JOINTS ADJACENT TO ALL RIGID STRUCTURES. EXPANSION JOINT SPACING SHALL NOT EXCEED 30'.
- E. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- F. CONTRACTOR SHALL COORDINATE WITH THE PROPER UTILITY COMPANIES AND GOVERNMENT AGENCIES PRIOR TO COMMENCEMENT OF WORK.
- G. ALL DISTANCES AND DATA SHALL BE CHECKED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. IN CASE OF CONFLICT, THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY SO THAT CLARIFICATIONS MAY BE MADE PRIOR TO THE START OF CONSTRUCTION.
- H. THE PROPOSED GRADES AS SHOWN ARE THE FINISH GRADES UNLESS OTHERWISE SHOWN.
- I. THE CONTRACTOR SHALL SUPPLY AND ESTABLISH SURVEY CONTROL, INCLUDING THE HORIZONTAL AND VERTICAL CONTROL POINTS. THE CONTRACTOR SHALL MAINTAIN THIS CONTROL AND PROVIDE ALL BENCHMARKS, STAKES, GRADES, LEVELS, AND LINES NECESSARY FOR CONSTRUCTION.
- J. ALL EXISTING PAVEMENT AND CONCRETE TO BE JOINED SHALL BE SAWCUT.
- K. HANDICAP REGULATIONS:
  - a. A HANDICAP PARKING SPACE SHALL HAVE NO GREATER SLOPE THAN 1/4" PER FOOT ACROSS THE SPACE.
  - b. HANDRAILS ARE TO BE PROVIDED ON HANDICAP RAMP WITH A DROP OF TWO INCHES OR MORE. MAXIMUM RAMP SLOPE = 8.33%
  - c. ALL HANDICAP RAMP SPACES WILL COMPLY WITH THE LATEST ADA STANDARDS. MAXIMUM ACCESSIBLE ROUTE SLOPE = 5%
  - d. ALL CROSS SLOPES ALONG AN ACCESSIBLE ROUTE SHALL NOT EXCEED 1/4" PER FOOT SLOPE.
- L. SEE PLUMBING PLANS FOR EXACT LOCATION AND SIZE OF WATER, SEWER, AND ROOF DOWNSPOUTS.
- M. SEE ARCHITECTURAL PLAN FOR BUILDING DIMENSIONS, FEATURES, STAIRS AND HANDRAILS, ETC.
- N. CONTRACTOR TO CONTACT THE UTILITY COMPANY TO RELOCATE ANY EXISTING UTILITY POLES. ALL EXISTING FACILITIES WHICH CONFLICT WITH THE IMPROVEMENTS UNDER THE SCOPE OF THIS PROJECT MUST BE RELOCATED AT THE EXPENSE OF THE APPLICANT.
- O. SITE SIGNAGE, IF ANY, WILL BE PERMITTED SEPARATELY.
- P. ALL DEVELOPMENT CREATING A TOTAL OF 20,000 SQUARE FEET OF IMPERVIOUS AREA AFTER SEPTEMBER 1978 WILL REQUIRE STORM DRAINAGE DETENTION.
- Q. TREES WITH THE STREET RIGHT-OF-WAY ARE PROTECTED BY LAW. A PERMIT IS REQUIRED FROM THE CITY ARBORIST AT (704) 336-5733 PRIOR TO REMOVAL OF ANY RIGHT OF WAY TREES. ALL TREES OVER 8" IN DIAMETER AS MEASURED 4.5' ABOVE GROUND AND LOCATED WITHIN THE SETBACK ARE PROTECTED BY LAW. CONTACT LAND DEVELOPMENT AT (704) 336-6692 FOR REQUIRED PERMITS.
- R. BEFORE YOU DIG STOP. CALL NC ONE-CALL CENTER AT 1-800-632-4949. IT'S THE LAW.
- S. ALL DRIVING SURFACES SHALL BE CAPABLE OF SUPPORTING 80,000 LB FIRE APPARATUS.
- T. FINAL PLAT SHOWING TREE SAVE AREA WITH METES & BOUNDS SHALL BE SUBMITTED PRIOR TO ISSUANCE OF FINAL CO.
- U. TREE REQUIREMENTS FOR COMMERCIAL SITE SHALL BE SHOWN ON A SEPARATE SUBMITTAL (COMMERCIAL SITE REVIEW).
- V. ALL UTILITIES TO BE INSTALLED UNDERGROUND.
- W. ALL ROADIMPROVEMENTS AT W. ROCKY RIVER ROAD AND HWY 49 WILL BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- Y. DEVELOPER WILL PROVIDE STREET SIGNS PER CLOSM #50.05 (9" SIGNS ONLY).
- Z. THE PURPOSE OF THE STORM DRAINAGE EASEMENT (SDE) IS TO PROVIDE STORMWATER CONVEYANCE. BUILDINGS ARE NOT PERMITTED IN THE EASEMENT AREA. ANY OTHER OBJECTS WHICH IMPEDE STORMWATER FLOW OR SYSTEM MAINTENANCE ARE ALSO PROHIBITED.
- AA. ANY BUILDING IN THE 100-1 STORMWATER ELEVATION LINE IS SUBJECT TO THE RESTRICTIONS OF THE (CITY OF CHARLOTTE) SUBDIVISION ORDINANCE.
- BB. ALL OPENINGS (E.G. DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT NEAR THE 100-1 SWEL SHOULD BE LOCATED A MINIMUM OF ONE FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE. (APPLIES TO LOTS WHICH MAY EXPERIENCE SIGNIFICANT FLOW NOT CONSIDERED IN THE 100-1 FLOOD ANALYSIS).
- CC. PE SEALED SHOP DRAWINGS FOR RETAINING WALLS MUST BE SUBMITTED TO THE CITY ENGINEER PRIOR TO CONSTRUCTION.
- DD. "ASBUILT" DRAWINGS AND PLANS OF THE STORM DRAINAGE SYSTEM, INCLUDING DESIGNED DITCHES, MUST BE SUBMITTED PRIOR TO SUBDIVISION FINAL INSPECTION TO THE CITY ENGINEERING DEPARTMENT IN ACCORDANCE WITH THE CITY SUBDIVISION ORDINANCE.

**NOTES:**  
1. ALL BUILDINGS ARE WITHIN 400' OF A PUBLIC OR PRIVATE STREET.



SANCTUARY UNC CHARLOTTE  
CHARLOTTE, NORTH CAROLINA



OVERALL SITE PLAN

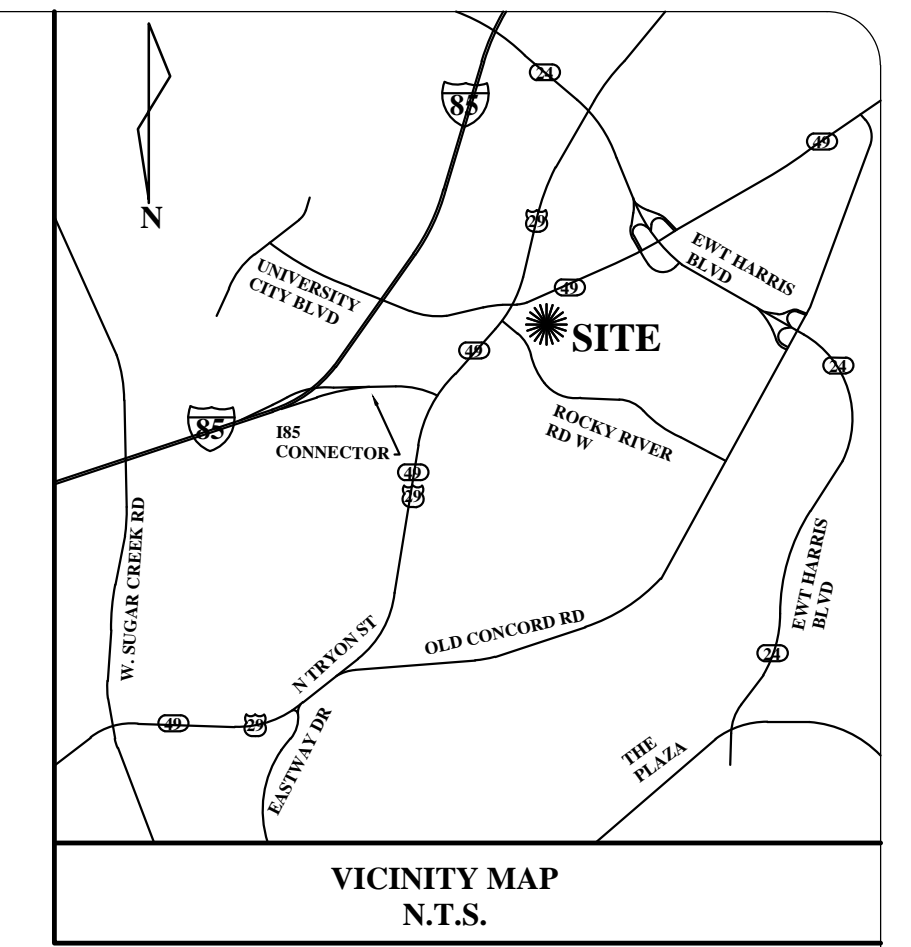
C1.1



\* SEE ALL GRADING PLANS FOR STAIR LOCATIONS

**SITE PLAN KEYED NOTES**

- 1 NEW 1-6" CONC. CURB AND GUTTER(TYP) CMLDS # 10.17A
- 2 NEW ADA COMPLIANT DEPRESSED CURB/ACCESSIBLE RAMP SEE DETAIL
- 3 NEW ADA COMPLIANT ACCESSIBLE RAMP SEE DETAIL
- 4 HEAVY DUTY ASPHALT PAVEMENT SEE DETAIL (SHADED AREA)
- 5 LIGHT DUTY ASPHALT PAVEMENT SEE DETAIL
- 6 NEW 5' CONC. SIDEWALK. CLDS 50.09-B
- 7 NEW 7' CONC. SIDEWALK. CLDS 50.09-B
- 8 TYPE III DRIVEWAY ENTRANCE, SEE DETAIL
- 9 ACCESSIBLE PARKING SIGN/STRIPING IN ACCORDANCE WITH APPLICABLE CODES CMLDS. 50.01A, SEE DETAIL
- 10 U BIKE PARKING FOR A TOTAL OF 2 SPACES SEE DETAIL
- 11 35'x35' SITE TRIANGLE & 10' X 70' SITE TRIANGLE
- 12 60'x12'x6" HIGH OPAQUE TRASH ENCLOSURE WITH 12' WIDE GATE, SEE DETAIL
- 13 SEE ARCHITECTURAL PLANS FOR CLUBHOUSE/POOL DETAIL
- 14 TIE NEW CURB & GUTTER INTO EXISTING ROADWAY WITH 7.5' OFFSET
- 15 BUS SHELTER, PER CDOT STANDARDS
- 16 4' HIGH BLACK CHAINLINK FENCE, SEE DETAIL
- 17 PRIVACY GATES, SEE ARCHITECTUAL PLANS FOR SPECS
- 18 SECURITY GATE/HOUSE, SEE ARCHITECTUAL PLANS FOR SPECS
- 19 RETAINING WALL, CONTRACTOR TO SUBMIT TO THE CITY OF CHARLOTTE AN SIGNED AND SEALED (BY REGISTERED NC PE) ENGINEERED SET OF PLANS PRIOR TO INSTALLATION
- 20 RECREATIONAL AREA
- 21 BOTTOMLESS CULVERT DESIGN BY OTHERS
- 22 DECORATIVE PRIVACY FENCE, SEE DETAIL
- 23 PATIO ARE WITH FIREPLACE, SEE ARCHITECTURAL PLANS FOR SPECS
- 24 TIE NEW PAVEMENT INTO EXISTING PAVEMENT
- 25 NEW STAIRS WITH RAILING SEE ARCHITECTURAL PLANS FOR SPECS.
- 26 18" MOUNTABLE CURB, SEE DETAIL
- 27 5' WIDE CONCRETE SIDEWALK ABLE TO SUPPORT 80,000 LB LOAD
- 28 BOTTOMLESS CULVERT, CONTRACTOR TO SUBMIT TO THE CITY OF CHARLOTTE AN SIGNED AND SEALED (BY REGISTERED NC PE) ENGINEERED SET OF PLANS PRIOR TO INSTALLATION
- 29 ADA ACCESSIBLE RAMPS (1:12) WITH HANDRAILS
- 30 TRAFFIC CONTROL PLAN FOR PRIVATE ROAD TIE IN SEE DETAIL THIS SHEET
- 31 6' OFFSET WITH 2:1 TAPER TO TIE INTO EXISTING ROAD
- 32 REINFORCED CONCRETE PAD SEE DETAIL
- 33 END OF ROAD BARRICADES SEE DETAILS CMLDS 50.07 A&B & 50.08 A, B & C
- 34 PEDESTRIAN REFUGE CROSSING, SEE DETAIL
- 35 NEW RETAINING WALL 5' OR LESS HIGH, SEE GRADING PLANS (C2.2 THRU C2.5) FOR ELEVATIONS.
- 36 2' CONCRETE BAND TO DESIGNATE CITY LIMITS OF MAINTENANCE
- 37 TIE NEW CURB AND GUTTER INTO EX. CURB AND GUTTER



PROJECT NUMBER	12-31-12
DATE	12-31-12
DESIGNER	12-31-12
CHECKER	12-31-12
APPROVER	12-31-12
SCALE	12-31-12
PROJECT NAME	12-31-12
PROJECT LOCATION	12-31-12
PROJECT NUMBER	12-31-12
DATE	12-31-12
DESIGNER	12-31-12
CHECKER	12-31-12
APPROVER	12-31-12
SCALE	12-31-12
PROJECT NAME	12-31-12
PROJECT LOCATION	12-31-12

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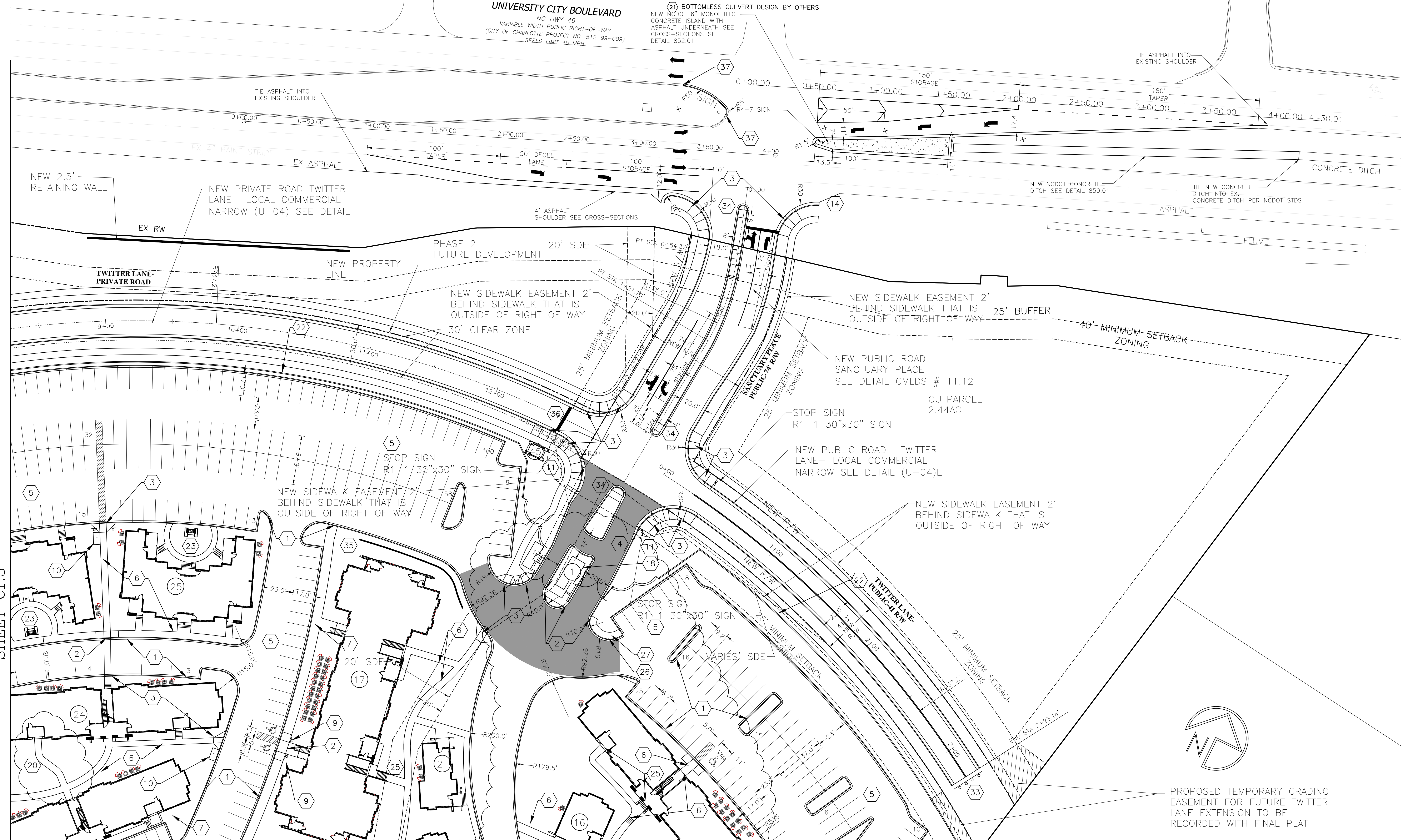


SITE PLAN

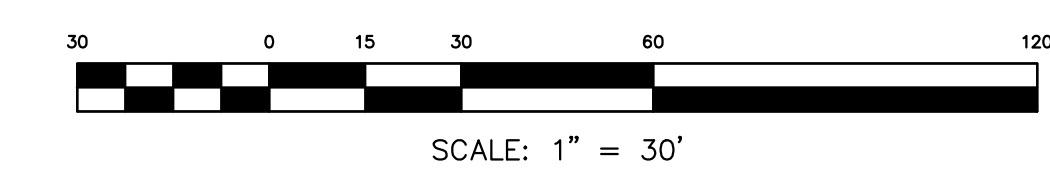
C1.2

**UNIVERSITY CITY BOULEVARD**  
 NC HWY 49  
 VARIABLE WIDTH PUBLIC RIGHT-OF-WAY  
 (CITY OF CHARLOTTE PROJECT NO. 512-99-009)  
 SPEED LIMIT 45 MPH

NEW NCDOT 6" MONOLITHIC  
 CONCRETE ISLAND WITH  
 ASPHALT UNDERNEATH SEE  
 CROSS-SECTIONS SEE  
 DETAIL B52.01



SHEET C1.5

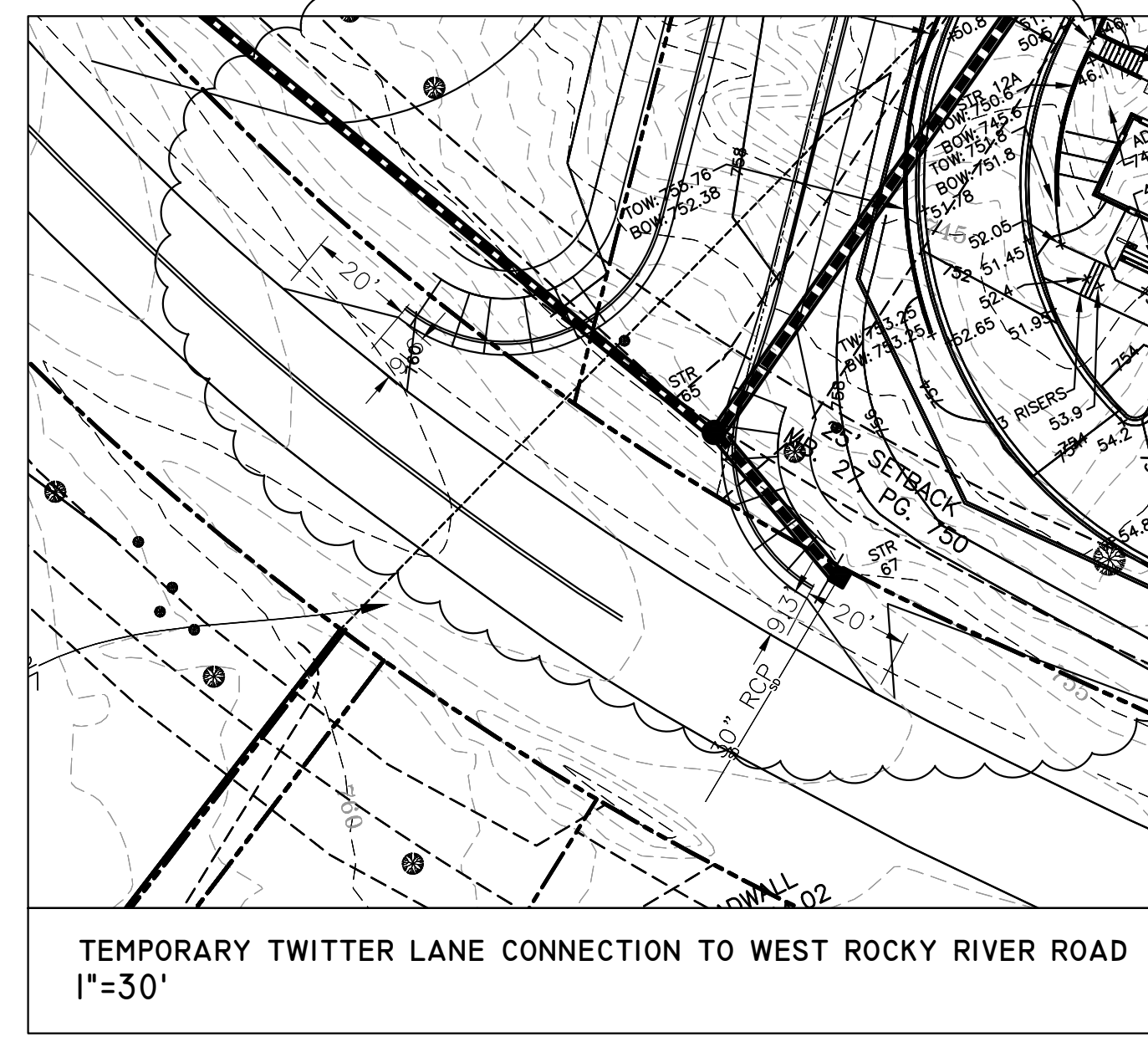


SHEET C1.3

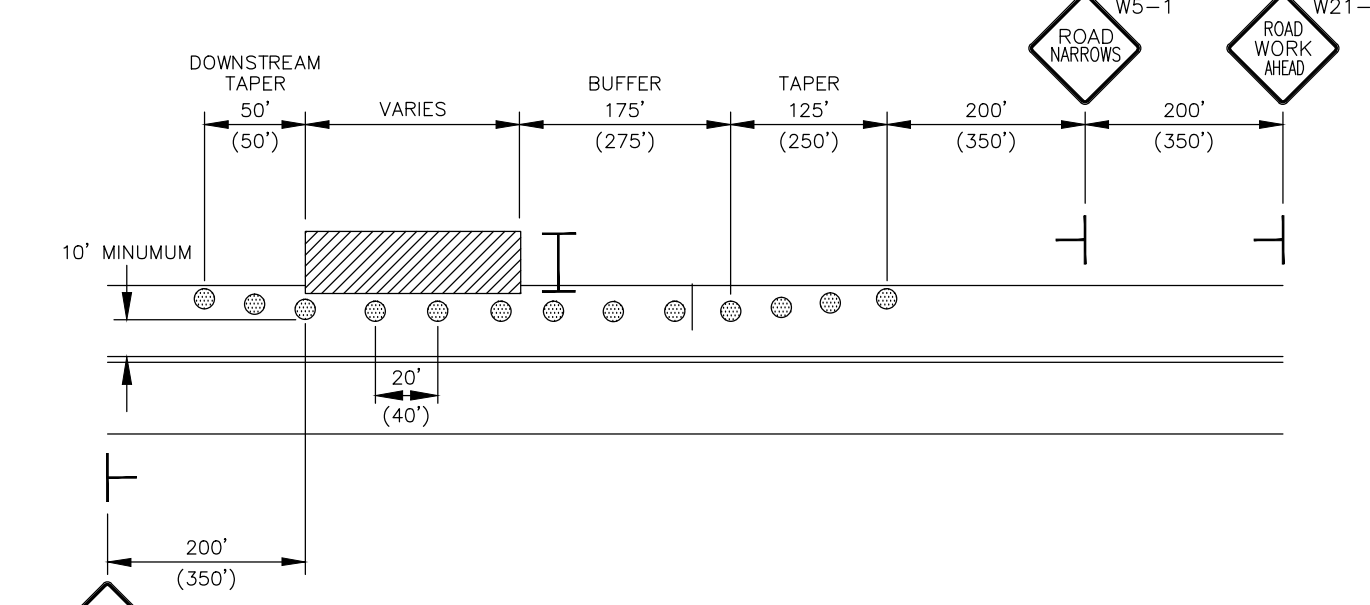


**SITE PLAN KEYED NOTES**

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- 14 TIE NEW CURB & GUTTER INTO EXISTING ROADWAY WITH 6' OFFSET
- 15 BUS SHELTER, PER CDOT STANDARDS
- 16 4' HIGH BLACK CHAINLINK FENCE, SEE DETAIL
- 17 PRIVACY GATES, SEE ARCHITECTUAL PLANS FOR SPECS
- 18 SECURITY GATE/HOUSE, SEE ARCHITECTUAL PLANS FOR SPECS
- 19 RETAINING WALL, CONTRACTOR TO SUBMIT TO THE CITY OF CHARLOTTE AN SIGNED AND SEALED (BY REGISTERED NC PE) ENGINEERED SET OF PLANS PRIOR TO INSTALLATION RECREATIONAL AREA
- 20 RECREATIONAL AREA
- 21 BOTTOMLESS CULVERT-DESIGN BY OTHERS
- 22 DECORATIVE PRIVACY FENCE, SEE DETAIL
- 23 PATIO ARE WITH FIREPLACE, SEE ARCHITECTURAL PLANS FOR SPECS
- 24 TIE NEW PAVEMENT INTO EXISTING PAVEMENT
- 25 NEW STAIRS WITH RAILING SEE ARCHITECTURAL PLANS FOR SPECS.
- 26 MAIL KIOSK SEE ARCHITECTURAL PLANS FOR SPECS
- 27 CONCRETE "TURFSTONE" (OR EQUAL) RATED FOR 80,000LB. CONTRACTOR TO PROVIDE SHOP DRAWINGS, VERIFICATION OF LOAD CAPACITY BY LICENSED GEOTECHNICAL ENGINEER, SEE DETAIL
- 28 BRIDGE, CONTRACTOR TO SUBMIT TO THE CITY OF CHARLOTTE AN SIGNED AND SEALED (BY REGISTERED NC PE) ENGINEERED SET OF PLANS PRIOR TO INSTALLATION
- 29 ADA ACCESSIBLE RAMPS (1:12) WITH HANDRAILS
- 30 TRAFFIC CONTROL PLAN FOR PRIVATE ROAD TIE IN SEE DETAIL THIS SHEET
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- 32 REINFORCED CONCRETE PAD SEE DETAIL
- 33 TIE NEW CURB AND GUTTER INTO EX. CURB AND GUTTER
- 34 TIE NEW SIDEWALK INTO EXISTING SIDEWALK
- 35 NEW RETAINING WALL 5' OR LESS HIGH, SEE GRADING PLANS (C2.2 THRU C2.5) FOR ELEVATIONS.



**DIAGRAM 4  
WORK AREA ON SHOULDER  
(MINOR ENCROACHMENT ON PAVEMENT)**



**VICINITY MAP  
N.T.S.**

- NOTES:**
1. SPACING - 35 M.P.H. OR LESS (SPACING) - ABOVE 35 M.P.H.
  2. TYPE III BARRICADE REQUIRED ONLY IF WORK ZONE IS LEFT UNATTENDED OVERNIGHT.
  3. IF WORK AREA AND EQUIPMENT ARE CLOSER THAN 2' TO THE EDGE OF THE PAVEMENT, THEN USE OTHER APPLICABLE DIAGRAMS.
  4. WHEN EXCAVATING WITHIN 4' OF THE EDGE OF PAVEMENT, THE ADJACENT LANE SHOULD BE CLOSED TO TRAFFIC USING OTHER APPLICABLE DIAGRAMS UNLESS BRACING OR SHORING IS USED.

- LEGEND**
- CONES / DRUMS
  - ▬ TYPE III BARRICADE
  - ▬ SIGN
  - ▨ WORK AREA

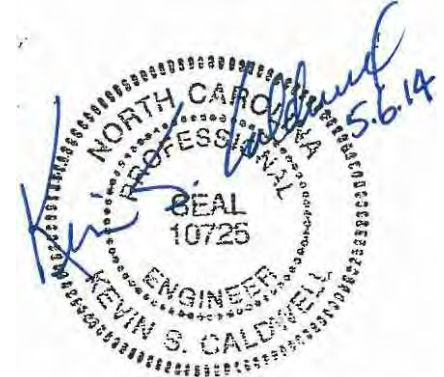
\* SEE ALL GRADING PLANS FOR STAIR LOCATIONS



**SHEET C1.4**

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**SANCTUARY UNC CHARLOTTE**  
 CHARLOTTE, NORTH CAROLINA



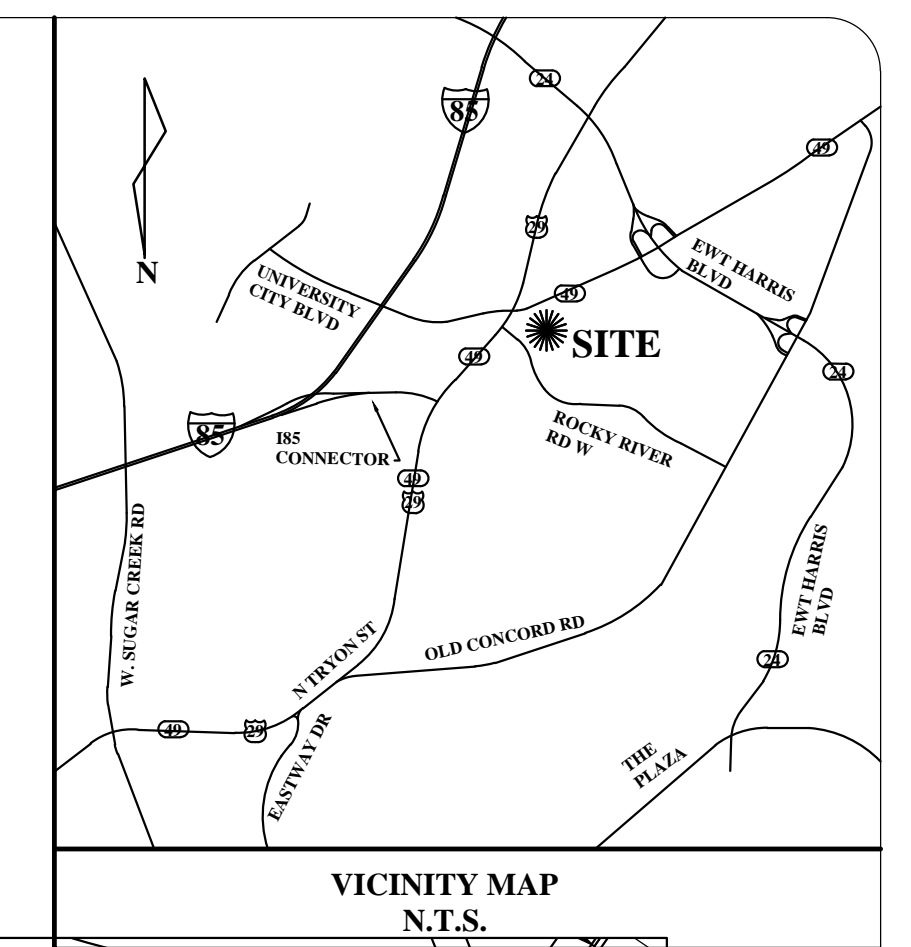
**SITE PLAN**

**C1.3**

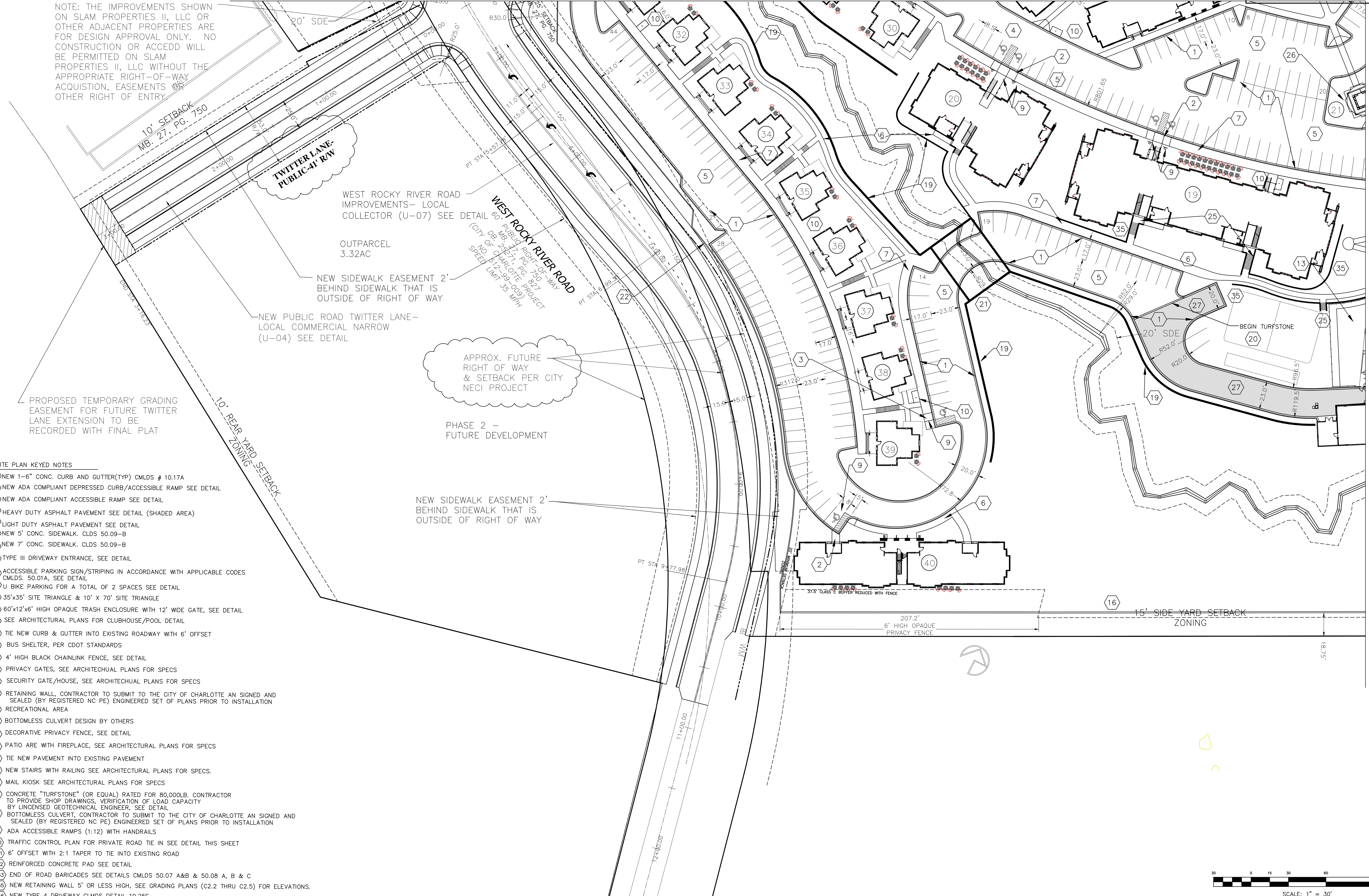


\* SEE ALL GRADING PLANS FOR STAIR LOCATIONS

SHEET C1.3



NOTE: THE IMPROVEMENTS SHOWN ON SLAM PROPERTIES II, LLC OR OTHER ADJACENT PROPERTIES ARE FOR DESIGN APPROVAL ONLY. NO CONSTRUCTION OR ACCEDD WILL BE PERMITTED ON SLAM PROPERTIES II, LLC WITHOUT THE APPROPRIATE RIGHT-OF-WAY ACQUISITION, EASEMENTS OR OTHER RIGHT OF ENTRY.



- SITE PLAN KEYED NOTES**
- 1 NEW 1-6" CONC. CURB AND GUTTER(TYP) CMLDS # 10.17A
  - 2 NEW ADA COMPLIANT DEPRESSED CURB/ACCESSIBLE RAMP SEE DETAIL
  - 3 NEW ADA COMPLIANT ACCESSIBLE RAMP SEE DETAIL
  - 4 HEAVY DUTY ASPHALT PAVEMENT SEE DETAIL (SHADED AREA)
  - 5 LIGHT DUTY ASPHALT PAVEMENT SEE DETAIL
  - 6 NEW 5' CONC. SIDEWALK. CLDS 50.09-B
  - 7 NEW 7' CONC. SIDEWALK. CLDS 50.09-B
  - 8 TYPE III DRIVEWAY ENTRANCE. SEE DETAIL
  - 9 ACCESSIBLE PARKING SIGN/STRIPING IN ACCORDANCE WITH APPLICABLE CODES CMLDS. 50.01A, SEE DETAIL
  - 10 U BIKE PARKING FOR A TOTAL OF 2 SPACES SEE DETAIL
  - 11 35'x35' SITE TRIANGLE & 10' X 70' SITE TRIANGLE
  - 12 60"x12"x6' HIGH OPAQUE TRASH ENCLOSURE WITH 12' WIDE GATE, SEE DETAIL
  - 13 SEE ARCHITECTURAL PLANS FOR CLUBHOUSE/POOL DETAIL
  - 14 TIE NEW CURB & GUTTER INTO EXISTING ROADWAY WITH 6' OFFSET
  - 15 BUS SHELTER, PER CDOT STANDARDS
  - 16 4' HIGH BLACK CHAINLINK FENCE, SEE DETAIL
  - 17 PRIVACY GATES, SEE ARCHITECTUAL PLANS FOR SPECS
  - 18 SECURITY GATE/HOUSE, SEE ARCHITECTUAL PLANS FOR SPECS
  - 19 RETAINING WALL, CONTRACTOR TO SUBMIT TO THE CITY OF CHARLOTTE AN SIGNED AND SEALED (BY REGISTERED NC PE) ENGINEERED SET OF PLANS PRIOR TO INSTALLATION
  - 20 RECREATIONAL AREA
  - 21 BOTTOMLESS CULVERT DESIGN BY OTHERS
  - 22 DECORATIVE PRIVACY FENCE, SEE DETAIL
  - 23 PATIO ARE WITH FIREPLACE, SEE ARCHITECTURAL PLANS FOR SPECS
  - 24 TIE NEW PAVEMENT INTO EXISTING PAVEMENT
  - 25 NEW STAIRS WITH RAILING SEE ARCHITECTURAL PLANS FOR SPECS.
  - 26 MAIL KIOSK SEE ARCHITECTURAL PLANS FOR SPECS
  - 27 CONCRETE "TURFSTONE" (OR EQUAL) RATED FOR 80,000LB. CONTRACTOR TO PROVIDE SHOP DRAWINGS, VERIFICATION OF LOAD CAPACITY BY LICENSED GEOTECHNICAL ENGINEER, SEE DETAIL
  - 28 BOTTOMLESS CULVERT, CONTRACTOR TO SUBMIT TO THE CITY OF CHARLOTTE AN SIGNED AND SEALED (BY REGISTERED NC PE) ENGINEERED SET OF PLANS PRIOR TO INSTALLATION
  - 29 ADA ACCESSIBLE RAMPS (1:12) WITH HANDRAILS
  - 30 TRAFFIC CONTROL PLAN FOR PRIVATE ROAD TIE IN SEE DETAIL THIS SHEET
  - 31 6' OFFSET WITH 2:1 TAPER TO TIE INTO EXISTING ROAD
  - 32 REINFORCED CONCRETE PAD SEE DETAIL
  - 33 END OF ROAD BARRICADES SEE DETAILS CMLDS 50.07 A&B & 50.08 A, B & C
  - 35 NEW RETAINING WALL 5' OR LESS HIGH, SEE GRADING PLANS (C2.2 THRU C2.5) FOR ELEVATIONS.
  - 36 NEW TYPE 4 DRIVEWAY CLMDS DETAIL 10.25F

SHEET C1.4

NO.	DATE	DESCRIPTION
1	12-12-12	PROJECT INITIATION
2	12-12-12	REVISED CITY COMMENTS
3	12-12-12	REVISED CITY COMMENTS
4	12-12-12	REVISED CITY COMMENTS
5	12-12-12	REVISED CITY COMMENTS
6	12-12-12	REVISED CITY COMMENTS
7	12-12-12	REVISED CITY COMMENTS
8	12-12-12	REVISED CITY COMMENTS

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SANCTUARY UNC CHARLOTTE  
 CHARLOTTE, NORTH CAROLINA



SITE PLAN

C1.4

