

FIRE DEPT. ACCESS ROADS:

ALL PAVED STREETS AND PARKING AREAS (E. FIRE DEPARTMENT ACCESS ROADS) SHALL BE CONSTRUCTED TO WITHSTAND 80,000 LBS.

SOLID WASTE & RECYCLING REQUIREMENTS:

SOLID WASTE: (ENCLOSURE DETAIL SHEET A1-B)
REQUIRED ONE (1) CY COMPACTOR PER 10 UNITS (14 CY COMPACTOR MIN)
PROVIDED: ONE (1) CY COMPACTOR
RECYCLING: (ENCLOSURE DETAIL SHEET D-2)
REQUIRED: TWO (2) 144 SF RECYCLING STATIONS
PROVIDED: TWO (2) RECYCLING STATIONS (144 SF MIN EACH)

REFUSE/RECYCLING/BULKY COLLECTION SERVICES SHALL BE CONTRACTED WITH A PRIVATE HAULER. CONTACT SOLID WASTE SERVICES ADMINISTRATION AT (704) 432-3537 FOR MORE INFORMATION.

LIGHTING LEGEND

* 100 W HPS ACORN 12' MOUNTING HEIGHT

PARKING AND PAVING REQUIREMENTS:

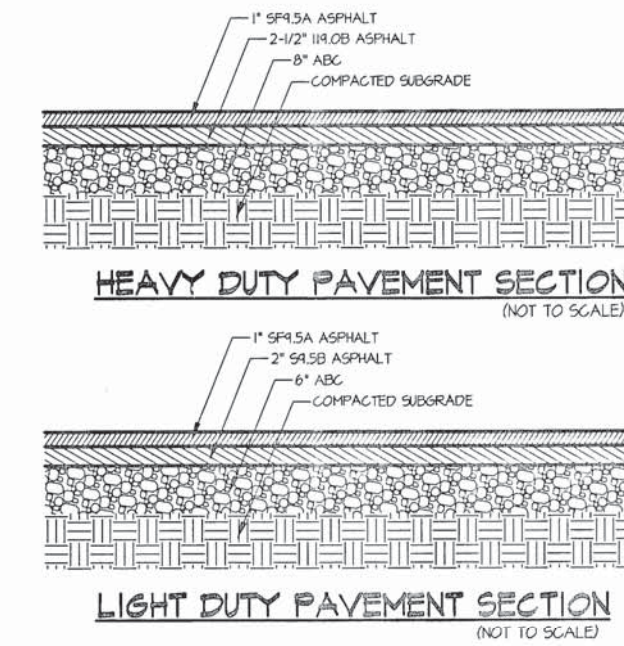
- REQUIRED PARKING: PARKING CALCULATION: 1.5 SPACES/UNIT X 151 UNITS = 227
PARKING PROVIDED: 281 SPACES (INCLUDES 11 HG SPACES & 17 GARAGE SPACES)
- CONTRACTOR SHALL PROVIDE SMOOTH TRANSITIONS TO EXISTING PAVEMENT WHERE APPLICABLE.
- CUTS MADE TO EXISTING PAVEMENT SHALL BE SAW CUT AND REPAVED WITH A SMOOTH TRANSITION. POSITIVE DRAINAGE SHALL BE MAINTAINED AT ALL REPAIR AREAS.
- JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINTING TOOL.
- CONCRETE FORMS SHALL BE INSPECTED AND APPROVED BY THE SITE CONSTRUCTION MANAGER PRIOR TO POUR.

BIKE PARKING CALCULATION:

REQUIRED:
1 BIKE SPACE PER 20 UNITS
151 / 20 = 7.55 (ROUND UP TO 8)
PROVIDED:
63 BIKE SPACES PROVIDED (C/D/S/M #60/21)

EXISTING TREES WITHIN PHASE #2

236 17" PINE	512 8" HICKORY
243 18" PINE	577 12" PINE
244 9" WALNUT	578 14" PINE
245 11" MAPLE	579 9" PINE
246 18" REDOAK	603 8" PINE
248 12" REDOAK	604 8" SOURWOOD
249 14" REDOAK	605 8" SWGTUM
251 8" PINE	606 9" PINE
252 9" BEECH	607 9" PINE
253 14" W/OAK	608 8" PINE
254 12" REDOAK	609 19" PINE
260 8" REDOAK	610 24" PINE
261 14" W/OAK	611 9" PINE
262 9" W/OAK	612 15" PINE
263 14" OAK	613 15" POPLAR
264 8" REDOAK	614 16" SWGTUM
265 8" REDOAK	615 9" PINE
266 11" REDOAK	616 8" SWGTUM
267 10" REDOAK	617 9" SWGTUM
499 10" REDOAK	618 16" SWGTUM
500 16" W/OAK	
501 11" W/OAK	
502 10" REDOAK	
503 11" REDOAK	
511 11" W/OAK	



PROJECT CONTACT INFORMATION

OWNER/DEVELOPER:
NORTHLAKE INVESTORS 288, LLC
820 SHADES CREEK PARKWAY
SUITE 2300
BIRMINGHAM, AL 35209
CONTACT: SCOTT KAVANAUGH
CELL: (800) 253-4171
FAX: (205) 877-1198
EMAIL: kavanaugh7@aol.com

ENGINEER:
CPT ENGINEERING & SURVEYING, INC.
4400 TYNING STREET
HIGH POINT, NC 27265
CONTACT: STEVEN T. WEBB, P.E.
PHONE: (336) 812-8800 EXT. 310
FAX: (336) 812-8780
EMAIL: steve@cptengineering.com

REVISIONS

NO.	DATE	DESCRIPTION

CITY OF CHARLOTTE ENGINEERING LAND DEVELOPMENT GENERAL NOTES:

- COORDINATE ALL CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR.
- ALL ROAD IMPROVEMENTS AT MT HOLLY-HUNTERSVILLE ROAD ARE TO BE COORDINATED WITH THE CITY OF CHARLOTTE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- DEVELOPER WILL PROVIDE STREET SIGNS PER CLDSM# 50.05 (9\"/>

SITE DEVELOPMENT NOTES:

- PROPERTY ADDRESS: 10430 MOUNT HOLLY-HUNTERSVILLE RD MECKLENBURG COUNTY, NORTH CAROLINA "CITY OF CHARLOTTE ETJ AREA"
- ZONING DISTRICT: R-12MF (CD) (2004-7)
- SITE AREA: LOT 3A: 5.048 Ac. (TAX PARCEL ID: 02528107) LOT 3B: 9.072 Ac. (TAX PARCEL ID: 02528122)
- DENSITY: TOTAL UNITS ALLOWED PER ZONING = 473 UNITS (11.99 DUA BASED ON 26,432 AC.) PHASE 1 (EXISTING) - 322 APARTMENT UNITS PHASE 2 - (MAX) 151 APARTMENT UNITS
- REQUIRED BUILDING SETBACKS: - MIN SETBACK = 50' ALONG MT HOLLY-HUNTERSVILLE RD 15' ALONG INTERNAL PUBLIC ROADS, PER SECTION 9.300(19) - MIN SIDE YARD = 10' - MIN REAR YARD = 40' - MAXIMUM BUILDING HEIGHT = 40' - MAXIMUM BUILDING COVERAGE = 50% OF LOT
- PROPOSED BUILDING HEIGHTS: TYPE A = 42'-0" TYPE B = 42'-0" TYPE C = 42'-0" TYPE D = 42'-0" TYPE E = 52'-10" TYPE F = 52'-10" (INCREASED YARDS DUE TO BUILDINGS EXCEEDING MAX. HEIGHT.)
- PROPOSED USE: APARTMENTS FOR RENT
- ALL BUILDINGS ARE TO BE SPRINKLERED.
- MINIMUM BUILDING SEPARATION: 16 FEET
- ESTIMATED PHASE 2 COMPLETION: MARCH 2016
- ALL UTILITIES SHALL BE UNDERGROUND.
- PRIVATE STREETS AND SURFACE PARKING AREAS SHALL BE NO CLOSER THAN 15 FEET TO ANY SIDE OF A RESIDENTIAL BUILDING USED FOR ENTRY INTO THE BUILDING AND SHALL BE NO CLOSER THAN 5 FEET TO ANY OTHER FACE OF A BUILDING.
- PROPERTY IS NOT LOCATED WITHIN A 100 YEAR FLOOD PLAN BOUNDARY ACCORDING TO FEMA COMMUNITY PANEL NO. 3710454900L, EFFECTIVE DATE MARCH 2, 2009
- INTERNAL DRIVES ARE PRIVATE WITH 2'-0" STANDARD CURBS AND GUTTER.
- TOTAL LENGTH OF PRIVATE STREET: 0 LF
- OPEN SPACE: REQUIRED: 50% R-12MF (11.26 Ac. x 50% = 5.63 Ac.) * TOTAL AREA WITHIN PHASE 2 PROVIDED: 6.89 Ac.

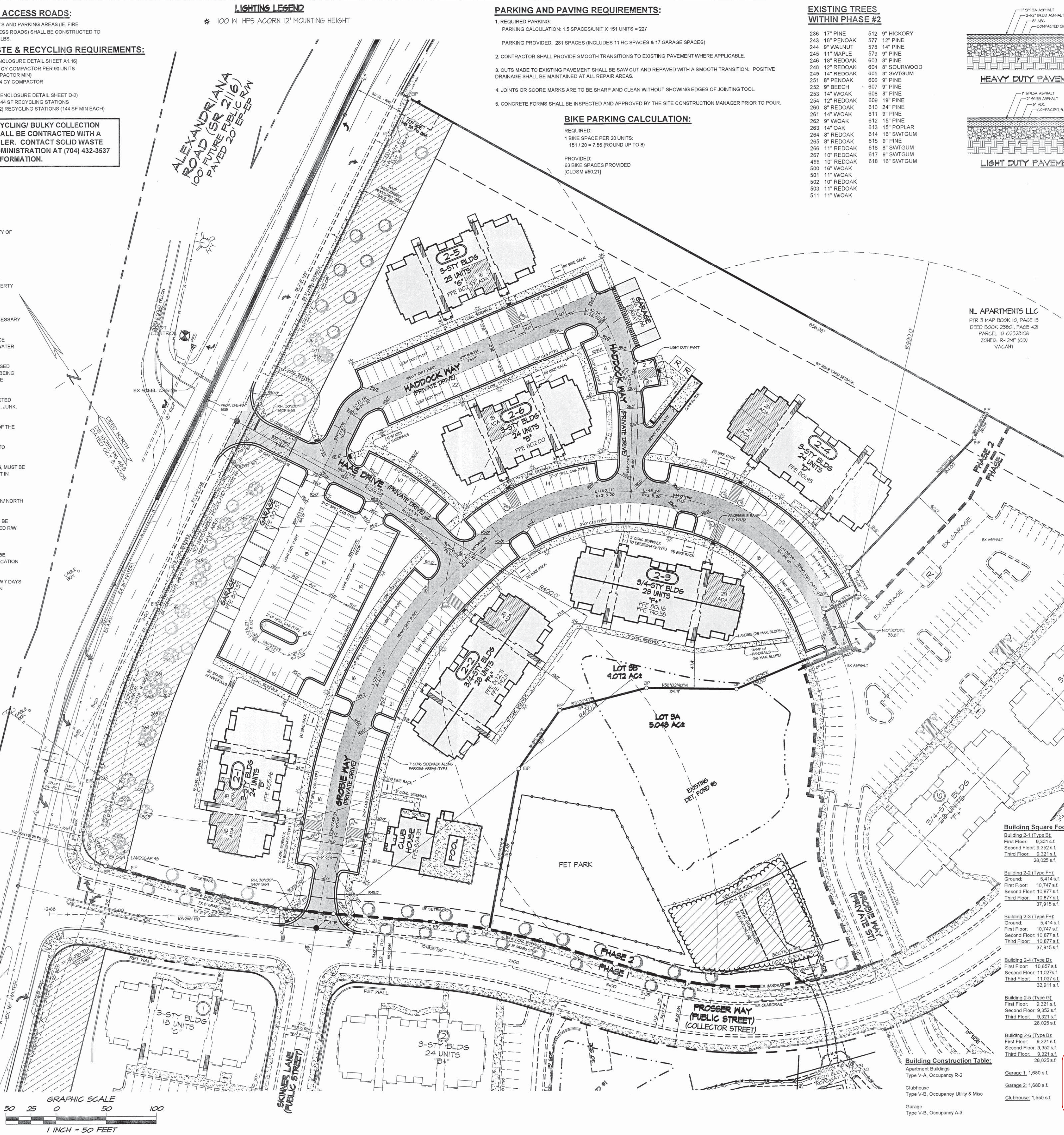
BUA CALCULATIONS:

PAVEMENT: 2.634 Ac.
SIDEWALK: 0.544 Ac.
BLDG'S: 1.404 Ac.
GARAGES: 0.114 Ac.
CLUBHOUSE/POOL: 0.114 Ac.
TOTAL BUA: 4.59 Ac.

MT. HOLLY-HUNTERSVILLE ROAD (SR 2004) (MAJOR THOROUGHFARE)
EX PAVED WIDTH VARIES



DATE: 04/08/2018 FILE: P:\PROJECTS\2018\04\ASHTON RESERVE PHASE 2\DRAWINGS\03-CIVIL\PHASE 2.dwg TAB NAME: 35-50 (P2)



CDOT GENERAL NOTES:

- ALL DRAINAGE FACILITIES, CURB CUTS AND CURB RAMPS MUST BE CONSTRUCTED IN COMPLIANCE WITH THE CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL AND COORDINATED WITH ENGINEERING AND PROPERTY MANAGEMENT.
- ANY FENCE OR WALL CONSTRUCTED ALONG OR ADJACENT TO ANY SIDEWALK OR STREET RIGHT-OF-WAY REQUIRES A CERTIFICATE ISSUED BY CDOT.
- A RIGHT OF WAY ENDOACHMENT AGREEMENT IS REQUIRED FOR THE INSTALLATION OF ALL NON-STANDARD ITEMS (IRRIGATION SYSTEMS, DECORATIVE CONCRETE PAVEMENT, BRICK PAVERS, ETC.) WITHIN A PROPOSED/EXISTING CITY MAINTAINED STREET RIGHT OF WAY BY A PRIVATE INDIVIDUAL, GROUP, BUSINESS, OR HOMEOWNER'S BUSINESS ASSOCIATION. AN ENDOACHMENT AGREEMENT MUST BE APPROVED BY CDOT PRIOR TO THE CONSTRUCTION/INSTALLATION OF THE NON-STANDARD ITEMS. CONTACT CDOT FOR ADDITIONAL INFORMATION CONCERNING COST, SUBMITTAL AND LIABILITY INSURANCE COVERAGE REQUIREMENTS. IF IT IS POSSIBLE THAT CDOT MAY NOT APPROVE ALL ITEMS SOUGHT UNDER AN ENDOACHMENT AGREEMENT.

SURVEY GENERAL NOTES:

- ALL BEARINGS ARE DEED BEARINGS UNLESS OTHERWISE NOTED. (DB 1623, PG 48)
- ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- IRON PIPES AT ALL CORNERS UNLESS OTHERWISE NOTED.
- BOUNDARY INFORMATION SHOWN FROM FIELD SURVEY BY CPT ENGINEERING & SURVEYING, INC. DATED 9/24/2004.
- EXISTING & PROPOSED CONTOUR INTERVAL: 2 FEET.
- WETLANDS DELINEATED ON THE GROUND BY S&ME, INC.

GENERAL NOTES:

- ALL DEVELOPMENT SHALL CONFORM WITH THE CHARLOTTE-MECKLENBURG DEVELOPMENT ORDINANCE.
- WATER AND SEWER SHALL BE INSTALLED IN ACCORDANCE WITH THE CHARLOTTE-MECKLENBURG DESIGN STANDARDS.
- GARBAGE COLLECTION WILL BE BY A TRASH COMPACTOR AND SHALL BE THE RESPONSIBILITY OF THE DEVELOPER'S MANAGEMENT COMPANY AND/OR THE DEVELOPER.
- MAIL SERVICE TO BE PROVIDED TO MAIL KIOSK AT CLUB HOUSE.
- ALL CONDITIONS OF THE APPROVED REZONING SHALL APPLY TO THIS DEVELOPMENT.
- ANY DISCREPANCIES FOUND IN THE FIELD SHALL BE CALLED TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO PROCEEDING WITH WORK.
- PRIOR TO BEGINNING CONSTRUCTION, THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM ALL REGULATORY AUTHORITIES.
- CONTRACTOR SHALL MAINTAIN THE SITE IN A MANNER SO THAT WORKMEN AND PUBLIC SHALL BE PROTECTED FROM INJURY.
- THE GENERAL CONTRACTOR SHALL CONTACT ALL OWNERS OF EASEMENTS, UTILITIES AND RIGHT-OF-WAYS, PUBLIC OR PRIVATE, PRIOR TO WORKING IN THESE AREAS.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE ANY TRENCHING OR EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. FOR ASSISTANCE WITH FIELD LOCATION OF EXISTING UTILITIES THE CONTRACTOR CAN CONTACT NC ONE-CALL CENTER AT 1-800-632-4949.
- THE CONTRACTOR IS RESPONSIBLE FOR DAMAGE TO ANY EXISTING ITEM AND/OR MATERIAL INSIDE OR OUTSIDE CONSTRUCTION LIMITS.
- ALL CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE SITE AND LEGALLY DISPOSED IN A LANDFILL.
- ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL PLANS FOR ACTUAL BUILDING DIMENSIONS FOR STAKEOUT AND CONSTRUCTION.
- ALL SIGNS, PAVEMENT MARKINGS AND TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 1988 EDITION AS AMENDED.
- ALL PAVEMENT MARKINGS SHALL BE FOUR (4) INCHES UNLESS OTHERWISE NOTED.
- DO NOT SCALE DRAWING FOR ACTUAL DIMENSIONS, AS IT IS A REPRODUCTION SUBJECT TO DISTORTION.

LANDSCAPING NOTES:

- MINIMUM TREE SIZE AT PLANTING IS 2-INCH CALIPER (FOR SINGLE STEM TREES). ALL MULTI-STEM PLANTS MUST BE TREES, MAXIMUM 3 TO 5 TRUNKS, AND MINIMUM 8 FEET TALL.
- ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF THE BURLAP FROM ROOT BALL.
- FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS. REMOVE COMPACTED SOIL AND ADD 24\"/>

Building Square Footages:

Building 2-1 (Type B)	Ground: 5,414 s.f.	
First Floor:	9,321 s.f.	
Second Floor:	9,321 s.f.	
Third Floor:	9,321 s.f.	
Total:	28,025 s.f.	
Building 2-2 (Type F)	Ground: 5,414 s.f.	
First Floor:	10,747 s.f.	
Second Floor:	10,877 s.f.	
Third Floor:	10,877 s.f.	
Total:	37,915 s.f.	
Building 2-3 (Type F)	Ground: 5,414 s.f.	
First Floor:	10,747 s.f.	
Second Floor:	10,877 s.f.	
Third Floor:	10,877 s.f.	
Total:	37,915 s.f.	
Building 2-4 (Type D)	First Floor:	10,857 s.f.
Second Floor:	9,352 s.f.	
Third Floor:	9,321 s.f.	
Total:	39,530 s.f.	
Building 2-5 (Type G)	First Floor:	9,321 s.f.
Second Floor:	9,321 s.f.	
Third Floor:	9,321 s.f.	
Total:	28,025 s.f.	
Building 2-6 (Type B)	First Floor:	9,321 s.f.
Second Floor:	9,321 s.f.	
Third Floor:	9,321 s.f.	
Total:	28,025 s.f.	

Building Construction Table:

Apartment Buildings	Type V-A, Occupancy R-2
Clubhouse	Type V-B, Occupancy Utility & Misc
Garage	Type V-B, Occupancy A-3

PRELIMINARY PLANNED MULTI-FAMILY SUBDIVISION APPROVAL
CHARLOTTE-MECKLENBURG PLANNING DEPARTMENT
By Brent Wilkinson, 10/17/2013



SITE PLAN
ASHTON RESERVE AT NORTHLAKE - PHASE 2
CITY OF CHARLOTTE ETJ AREA
MECKLENBURG COUNTY ~ NORTH CAROLINA

SITE LOCATION: 10430 MT. HOLLY-HUNTERSVILLE ROAD
SCALE: 1"=50'
DATE: 4/4/2013
PROJECT: 408-04
DRAWN BY: TGL
SHEET: C-3