



PROJECT NAME:	2019 MOODY LAKE REZONING UPDATE
OWNER:	WHITEHALL CORPORATE CENTER, LLC
PETITIONER NAME:	AMERICAN ASSET CORPORATION
PLANS PREPARED BY:	PHONE: (704) 295-4005 KIMLEY-HORN AND ASSOCIATES, INC. PHONE: (704) 333-5131
TAX PARCEL ID:	PORTION OF 201451-05
EXISTING ZONING:	MUDD-O
PROPOSED ZONING:	MUDD-O S.P.A.
PROPOSED BUILDING HEIGHT:	SEE THE DEVELOPMENT STANDARDS
PROPOSED USE:	SEE DEVELOPMENT STANDARDS
SITE AREA:	APPROXIMATELY 23.89 ACRES

**Kimley»»Horn**

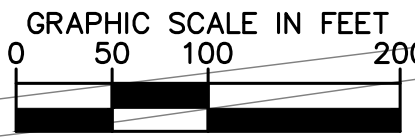
# REZONING BOUNDARY

# MOODY LAKE REZONING

PREPARED FOR  
AAC

SHEET NUMBER  
**RZ-1**





## 1. GENERAL PROVISIONS

- ## 2. OPTIONAL PROVISIONS
- The optional provisions set out below shall apply to the Site.

- #### 4. TRANSPORTATION

- ## 5. ARCHITECTURAL STANDARDS

- ## 6 STREETScape LANDSCAPING AND BUFFERS

- A. A minimum 8 foot wide planting strip and a minimum 8 foot wide sidewalk shall be installed along the Site's public street frontages.

7. ENVIRONMENTAL FEATURES
- A. Development of the Site shall comply with the requirements of the City of Charlotte Tree Ordinance.
- B. Petitioner shall comply with the Charlotte City Council approved and adopted Post-Construction Stormwater Ordinance.

- ## 8. AMENITIES

- A. An amenity area shall be provided on the Site to serve the residential community, and the amenity area shall contain, at a minimum, a clubhouse and swimming pool. The actual location of the amenity area may vary from the location depicted on the Rezoning Plan.
- B. A walking trail shall be provided on the Site adjacent to the lake and through the Open Space Area to the public sidewalk along West Arrowood Road. The actual alignment of the walking trail shall be determined during the permitting process.

- ## 9. LIGHTING

- A. All freestanding lighting fixtures installed on the Site (excluding street lights, landscape lighting and lower, decorative lighting that may be installed along the driveways, sidewalks and parking areas) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site. The maximum height of any freestanding lighting fixtures installed on the Site shall be 21 feet.
- B. Any lighting fixtures attached to the buildings to be located on the Site shall be decorative, capped and downwardly directed.

- ## 10. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

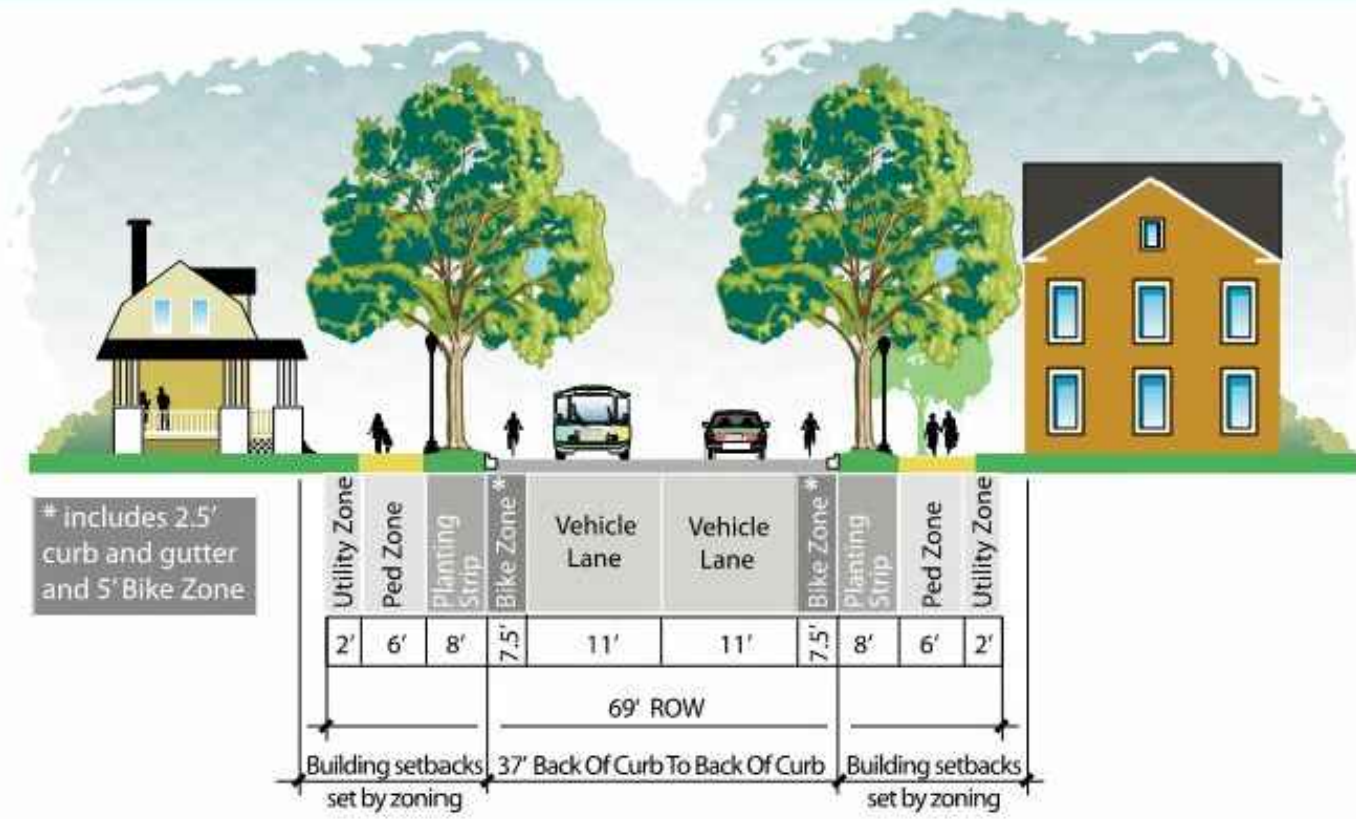
- A. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- B. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in the future development of the Site.
- C. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



### Avenue ~ Two Lane Undivided

**Width:** 37' from back of curb to back of curb. ROW is 69'.

**Cross Section:** One travel lane in each direction with bike zone, planting strip, sidewalk and utility zone. If a turn lane is added, an additional 11' is required. Building setbacks will vary by zoning districts.



SCSAP Avenue Section

# MOODY LAKE REZONING PREPARED FOR AAC

CITY OF CHARLOTTE NORTH CAROLINA

## TECHNICAL DATA

DATE	09/16/19
SCALE	AS SHOWN
DESIGNED BY	---
DRAWN BY	---
CHECKED BY	---

**Kimley»»Horn**

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CITY COMMENTS  
REVISIONS

REVISIONS

2

1

DATE	BY
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SHEET NUMBER  
**RZ-3**