



SECRET

PROJECT _____

REZONING PETITION 2018-XX

DESIGNED BY: LD
DRAWN BY: SAH
CHECKED BY: DAW

SCALE NORTH

VERT: N/A
 HORZ: 1"=30'

0 15' 30' 60'

SHEET TITLE

TECHNICAL DATA

SHEET NUMBER

RZ-1



SITE AREA:	+/- 1.84 ACRES
TAX PARCEL:	123-062-17, 123-062-18, 123-062-01, 123-062-04, 123-062-05, 123-062-06, 123-062-07, AND 123-062-19
EXISTING ZONING:	B-1
PROPOSED ZONING:	TOD-MO
EXISTING USE:	RETAIL/OFFICE/VACANT/SINGLE-FAMILY
PROPOSED USES:	OFFICE, COMMERCIAL, MULTI-FAMILY RESIDENTIAL, HOTEL, EDEE, PERSONAL SERVICE, AND ACCESSORY USES THERETO
MAX. DEVELOPMENT:	DEVELOPMENT INTENSITY SHALL NOT EXCEED LIMITS OF TOD-M
MAX. BUILDING HEIGHT:	UP TO 150 FEET, AS FURTHER RESTRICTED IN THE OPTIONAL PROVISION BELOW
URBAN OPEN SPACE:	MINIMUM OF 5,000 SQ. FEET.

DEVELOPMENT DATA TABLE

1. GENERAL PROVISIONS

2. OPTIONAL PROVISIONS

e. TO ALLOW PARKING, DROP-OFF AND MANEUVERING BETWEEN BUILDINGS AND THE STREET.

3. PERMITTED USES

4. MAXIMUM DEVELOPMENT

5. TRANSPORTATION

- ## 6. ARCHITECTURAL STANDARDS

- d. ARCHITECTURAL ELEVATION DESIGN: ELEVATIONS SHALL BE DESIGNED TO CREATE VISUAL INTEREST AS FOLLOWS:

- ii. BUILDINGS SHALL BE DESIGNED WITH A RECOGNIZABLE ARCHITECTURAL BASE ON ALL FACADES FACING NETWORK REQUIRED PUBLIC OR PRIVATE STREETS, WITH A MINIMUM HEIGHT OF SIXTEEN (16) FEET FOR COMMERCIAL USES. SUCH BASE MAY BE EXECUTED THROUGH USE OF PREFERRED EXTERIOR BUILDING MATERIALS OR ARTICULATED ARCHITECTURAL FAÇADE FEATURES AND COLOR CHANGES.

- iii. BUILDING ELEVATIONS FACING NETWORK REQUIRED PUBLIC OR PRIVATE STREETS SHALL NOT HAVE EXPANSES OF BLANK WALLS GREATER THAN 20 FEET IN ALL DIRECTIONS AND ARCHITECTURAL FEATURES SUCH AS (BUT NOT LIMITED TO) BANDING, MEDALLIONS OR DESIGN FEATURES OR MATERIALS WILL BE PROVIDED TO AVOID A STERILE, UNARTICULATED BLANK TREATMENT OF SUCH WALLS.

- e. ACTIVE GROUND FLOOR USES SHALL OCCUPY AT LEAST 80% OF THE SITE'S LINEAR STREET-LEVEL BUILDING FRONTAGE OF WEST BOULEVARD.

- f. AT LEAST 75% OF ALL PARKING STRUCTURES SHALL BE SCREENED FROM PUBLIC STREETS AT THE PEDESTRIAN LEVEL OR STREET LEVEL BY ACTIVE USES FRONTING WEST BOULEVARD.

- g. PROMINENT ENTRANCE SPACING SHALL BE PROVIDED AT MAXIMUM OF SEVENTY-FIVE (75) FEET FOR BUILDINGS ONE HUNDRED (100) FEET OR GREATER IN LENGTH FRONTING SOUTH TRYON STREET AND WEST BOULEVARD. ALL PROMINENT ENTRANCES SHALL BE VISUALLY DISTINCTIVE FROM THE REMAINING PORTIONS OF THE FAÇADE ON WHICH THEY ARE LOCATED. ALL GROUND FLOOR ENTRANCES SHALL INCLUDE DIRECT PEDESTRIAN CONNECTIONS BETWEEN STREET FACING DOORS TO ADJACENT SIDEWALKS.

7. OPEN SPACE

- a. IN ORDER TO STIMULATE PEDESTRIAN ACTIVITY, THE SITE SHALL BE DESIGNED TO INCORPORATE AN URBAN OPEN SPACE AREA AS AN ENTRY POINT INTO THE SITE VIA WEST BOULEVARD, PROVIDING PEDESTRIAN ACCESS TO WILMORE CENTENNIAL PARK AT SOUTH END.

- b. THE SITE SHALL CONTAIN A MINIMUM OF 5,000 SQUARE FEET OF URBAN OPEN SPACE THROUGHOUT THE SITE, IN THE AREAS AS GENERALLY DEPICTED ON THE REZONING PLAN.

8. ENVIRONMENTAL FEATURES

- a. THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE CITY COUNCIL APPROVED AND ADOPTED POST CONSTRUCTION CONTROLS ORDINANCE. THE LOCATION, SIZE, AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.

- b. THE PETITIONER SHALL COMPLY WITH THE CHARLOTTE TREE ORDINANCE.

9. LIGHTING

ALL FREE-STANDING LIGHTING FIXTURES WILL BE SHIELDED WITH FULL CUT-OFF FIXTURES

10. AMENDMENTS TO REZONING PLAN

FUTURE AMENDMENTS TO THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF A PARTICULAR TRACT WITHIN THE SITE INVOLVED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 6 OF THE ORDINANCE.

11. BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN AND THESE DEVELOPMENT STANDARDS WILL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONER AND SUBSEQUENT OWNERS OF THE SITE AND THEIR RESPECTIVE SUCCESSORS IN INTEREST AND ASSIGNS.

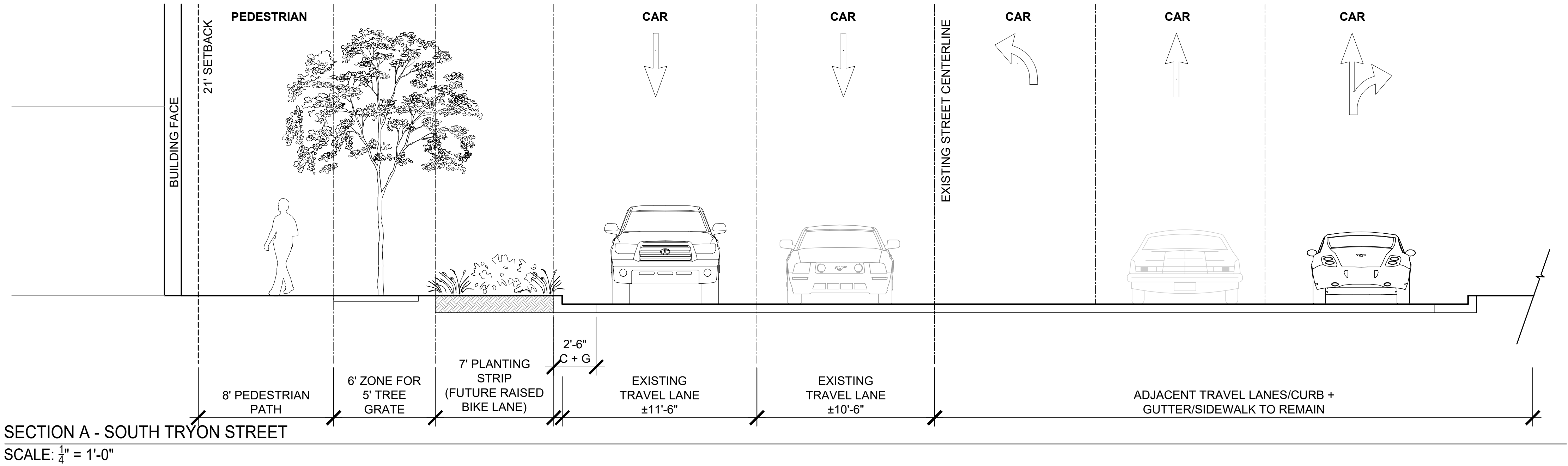
THROUGHOUT THESE DEVELOPMENT STANDARDS, THE TERMS, "PETITIONER" AND "OWNER" OR "OWNERS" SHALL BE DEEMED TO INCLUDE THE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS OF THE PETITIONER OR THE OWNER OR OWNERS OF ANY PART OF THE SITE FROM TIME TO TIME WHO MAY BE INVOLVED IN ANY FUTURE DEVELOPMENT THEREOF.

[illegible]

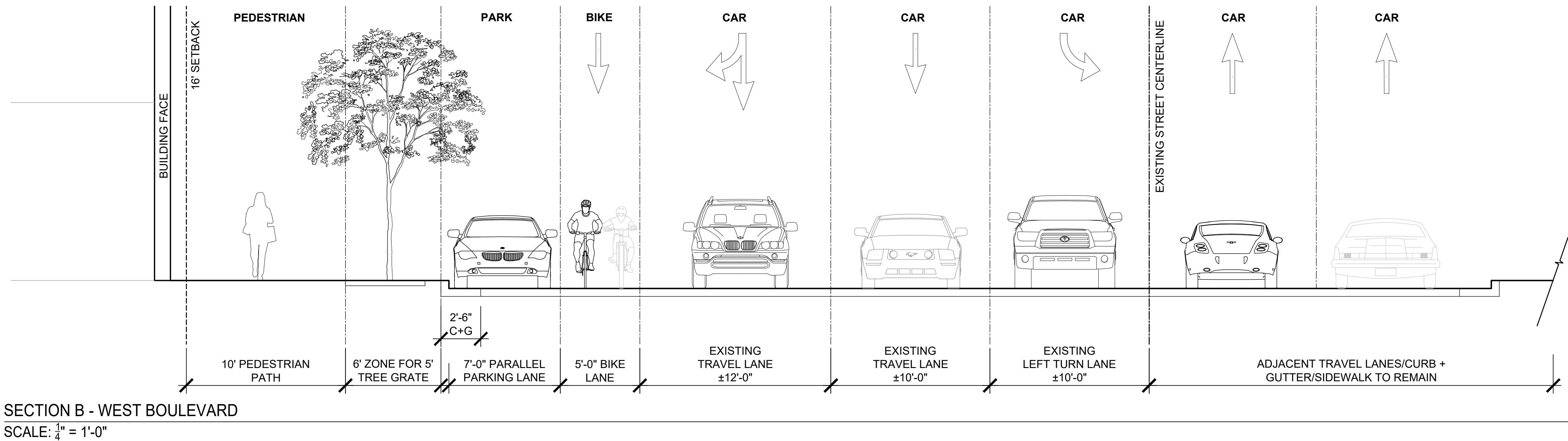
DESIGNED BY: LD
DRAWN BY: SAH
CHECKED BY: DAW

SCALE NORTH

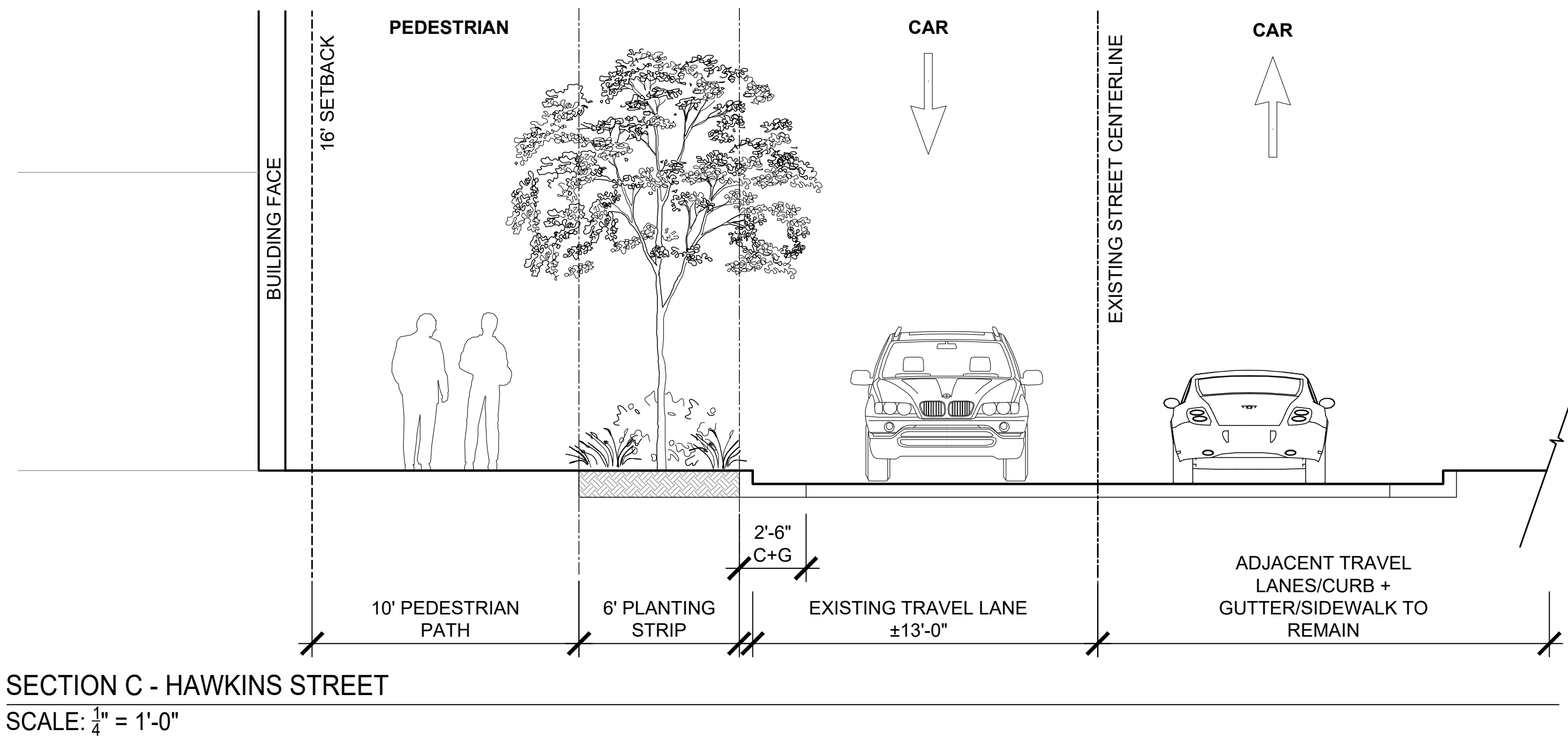
VERT: N/A
HORZ:



SECTION A - SOUTH TRYON STREET
SCALE: $\frac{1}{4}$ " = 1'-0"



SECTION B - WEST BOULEVARD
SCALE: $\frac{1}{4}$ " = 1'-0"



SECTION C - HAWKINS STREET
SCALE: $\frac{1}{4}$ " = 1'-0"

KEY MAP

SEAL

REZONING
PETITION
NUMBER 2018-__

PROJECT

COMMON SQUARE

BEACON PARTNERS
CHARLOTTE, NC
REZONING PETITION 2018-XXX

LANDDESIGN PROJ.# 1018243

REVISION / ISSUANCE

NO.	DESCRIPTION	DATE
1	INITIAL REZONING SUBMITTAL	11.21.18

DESIGNED BY: LD
DRAWN BY: SAH
CHECKED BY: DAW

SCALE NORTH

VERT: N/A
HORZ:

SHEET TITLE

STREET CROSS-SECTIONS

SHEET NUMBER

RZ-3



SEAL

PROJECT _____

BEACON PARTNERS
CHARLOTTE, NC

REZONING PETITION 2018-XXX

DESIGNED BY: LD
DRAWN BY: SAH
CHECKED BY: DAW

SCALE _____ NORTH

VERT: N/A
HORZ: NTS





(NOT TO SCALE)

SHEET TITLE _____

EXISTING CONDITIONS

SHEET NUMBER

RZ-4