

GENERAL PROVISIONS

a. THESE DEVELOPMENT STANDARDS FORM A PART OF THE REZONING PLAN ASSOCIATED WITH THE REZONING PERMIT, AND BY THE PERSON PERFORMING THE REZONING PERMIT, THE PERSON DEVELOPING THE RESIDENTIAL DWELLING UNITS ON AN APPROXIMATELY 0.1666 ACRE SITE LOCATED ON THE NORTHWEST CORNER OF NORTH E 17TH STREET & N MCDOWELL STREET, MORE PARTICULARLY DEPICTED ON THE REZONING PLAN (THE "SITE"). THE SITE IS COMPRISED OF TAX PARCEL NUMBERS 08107204 & 08107205.

b. DEVELOPMENT OF THE SITE WILL BE COVERED BY THE REZONING PLAN THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE").

c. UNLESS THE ZONING PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED BY THE ORDINANCE FOR DEVELOPMENT AND USE OF THE SITE:

d. THE DEVELOPMENT AND USES DEPICTED ON THE REZONING PLAN ARE SCHEMATIC IN NATURE AND ARE SUBJECT TO THE GENERAL ARRANGEMENT OF ACCOMPANYING THE ULTIMATE LAYOUT. LOCATIONS AND SIZES OF THE DEVELOPMENT AND SITE ELEMENT DEPICTED ON THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE PROPOSED DEVELOPMENT AND SITE ELEMENTS, AND THEY MAY BE ALTERED OR MODIFIED IN ACCORDANCE WITH THE SETBACK, YARD, LANDSCAPING AND TREE SAVE REQUIREMENTS SET FORTH ON THIS REZONING PLAN AND THE DEVELOPMENT STANDARDS, PERMITTED USES, ENVIRONMENTAL FEATURES AND MODIFICATIONS SHALL NOT MATERIALLY CHANGE THE OVERALL DESIGN INTENT DEPICTED ON THE REZONING PLAN. THE SETBACKS, AS SHOWN ON THE REZONING PLAN, 14' FRONT SETBACK FROM EAST 17TH STREET; 14' SIDE SETBACK FROM NORTH MCDOWELL STREET; 5' SIDE SETBACK AT THE BACK OF THE THREE UNITS FACING NORTH MCDOWELL ST. AND A 5' SIDE SETBACK : 10' REAR/YARD SETBACK AGAINST THE 50.0' LOT DIMENSION.

e. FUTURE AMENDMENTS TO REZONING PLAN AND/OR THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER(S) OF THE SITE IN ACCORDANCE WITH THE REASONABLE AND APPROPRIATE PROCEDURES AND ALLEGATIONS TO THE REZONING PLAN ARE SUBJECT TO SECTION 6.207 OF THE ORDINANCE.

PERMITTED USES

a. THE SITE MAY BE DEVOTED ONLY TO A RESIDENTIAL COMMUNITY CONTAINING A MAXIMUM OF 5 RESIDENTIAL DWELLING UNITS, AND TO ANY INCIDENTAL AND ACCESSORY USES RELATING THERETO THAT ARE ALLOWED IN THE UR-2 ZONING DISTRICT.

b. INTERNAL SIDEWALKS AND PEDESTRIAN CONNECTIONS SHALL BE PROVIDED ON THE SITE AS GENERALLY DEPICTED ON THE REZONING PLAN.

TRANSPORTATION

a. VEHICULAR ACCESS WILL BE AS GENERALLY DEPICTED ON THE REZONING PLAN. THE PLACEMENT AND CONFIGURATION OF THE VEHICULAR ACCESS POINT SHOWN ON THE REZONING PLAN ARE SUBJECT TO ANY MINOR MODIFICATIONS REQUIRED TO ACCOMMODATE FINAL SITE AND CONSTRUCTION PLANS AND DESIGNS, AND TO ANY ADJUSTMENTS REQUIRED BY COOT FOR APPROVAL.

b. AS DEPICTED ON THE REZONING PLAN, THE SITE WILL BE SERVED BY A PRIVATE DRIVEWAY, AND MINOR ADJUSTMENT TO THE LOCATION OF THE DRIVEWAY SHALL BE ALLOWED DURING THE CONSTRUCTION PERMITTING PROCESS.

ARCHITECTURAL STANDARDS

a. PERMITTED BUILDING MATERIALS SHALL COMPRISE OF BRICK, CEDAR SHAKE, WOOD SIDING, FIBER CEMENT SIDING, STUCCO, MASONRY AND/OR OTHER MATERIAL APPROVED BY THE CITY PLANNING DIRECTOR.

b. PITCHED ROOFS, IF PROVIDED, SHALL BE SYMMETRICALLY SLOPED NO LESS THAN 5:12, EXCEPT THAT ROOFS FOR PORCHES AND ATTACHED SHEDS MAY BE NO LESS THAN 2:12, UNLESS A FLAT ROOF ARCHITECTURAL STYLE IS EMPLOYED.

c. PERMITTED SLOPED ROOF MATERIALS ARE ASPHALT SHINGLES, COMPOSITION SHINGLES, WOOD SHINGLES, TIN, STANDING SEAM METAL, AND WOOD SHAKES.

d. THE SCHEMATIC DEPICTION OF SIDEWALKS, DRIVEWAY, STREETS AND OTHER DEVELOPMENT MATTERS AND SITE ELEMENTS (COLLECTIVELY "THE DEVELOPMENT/SITE ELEMENTS") SET FORTH ON THE REZONING PLAN SHOULD BE REVIEWED IN CONJUNCTION WITH THE PROVISION OF THESE DEVELOPMENT STANDARDS, THE LAYOUT, LOCATION, AND SIZE ELEMENT DEPICTED BY THE REZONING PLAN ARE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENT PROPOSED. CHANGES TO THE REZONING PLAN NOT ANTICIPATED BY THE REZONING PLAN WILL BE REVIEWED AND APPROVED AS ALLOWED BY SECTION 6.207 OF THE ORDINANCE SINCE THE PROJECT HAS NOT UNDERGONE THE DESIGN DEVELOPMENT AND CONSTRUCTION PHASES. IT IS INTENDED THAT THIS REZONING PLAN PROVIDE FOR FLEXIBILITY IN ALLOWING SOME ALTERATIONS OR MODIFICATIONS FROM THE GRAPHIC REPRESENTATIONS OF THE DEVELOPMENT/SITE ELEMENTS, THEREFORE, THERE MAY BE INSTANCES WHERE THE REZONING PLAN DOES NOT FULLY REFLECT THE REZONING PLAN REQUIREMENTS. THE ADMINISTRATIVE AMENDMENT PROCESS PER SECTION 6.207 OF THE ORDINANCE.

e. BUILDING HEIGHT SHALL NOT EXCEED 40' OPEN SPACE

a. PETITIONER INTENDS TO COMPLY WITH THE 400'-FOOT PRIVATE OPEN SPACE REQUIREMENT IN SECTION 9.406 OF THE ZONING ORDINANCE IF REQUIRED IN THE UR-2 ZONING DISTRICT AT THE TIME OF PERMITTING EXCEPT AS NOTED UNDER STREETScape AND LANDSCAPING.

ENVIRONMENTAL FEATURES

a. DEVELOPMENT OF THE SITE SHALL COMPLY WITH CHARLOTTE TREE ORDINANCE.

b. THE AREA MARKED FOR PARKING THAT IS ALSO IDENTIFIED AS REPLANTING AREA SHALL INCLUDE STRONG ROOTS AND SOIL CELLS OR SIMILAR STRUCTURAL COMPONENTS TO IMPROVE ROOT GROWTH AREA.

LIGHTING

a. ALL FREESTANDING LIGHTING FIXTURES INSTALLED ON THE SITE (EXCLUDING LOWER, DECORATIVE LIGHTING THAT MAY BE INSTALLED ALONG THE DRIVEWAYS AND SIDEWALKS AS LANDSCAPING LIGHTING) SHALL BE FULLY CAPPED AND SHIELDED AND THE ILLUMINATION DOWNWARDLY DIRECTED SO THAT DIRECTED ILLUMINATION DOES NOT EXTEND PAST ANY PROPERTY LINE OF THE SITE.

b. THE MAXIMUM HEIGHT OF ANY PEDESTRIAN SCALE, FREESTANDING LIGHTING FIXTURE INSTALLED ON THE SITE, INCLUDING ITS BASE, SHALL NOT EXCEED FIFTEEN (15) FEET.

c. ANY LIGHTING FIXTURES ATTACHED TO THE BUILDING TO BE CONSTRUCTED ON THE SITE SHALL BE DECORATIVE, CAPPED AND DOWNWARDLY DIRECTED.

STREETScape AND LANDSCAPING

a. PETITIONER SHALL PROVIDE A MINIMUM 7' FEET WIDE SIDEWALK AND A MINIMUM 8' FEET WIDE PLANTING STRIP IN THE SETBACK AS GENERALLY SHOWN ON THE SITE PLAN ON BOTH 17TH STREET AND N. MCDOWELL ST. IN ORDER TO ACCOMMODATE THE TREE SAVE, CONNECTIONS TO EXISTING SIDEWALK AND THE GRADE OF THE PROPERTY, THE SIDEWALK AND PLANTING STRIP MAY BE LOCATED IN AN INVERTED MANNER WITH THE SIDEWALK TO BE CURB SIDE AND PLANTING STRIP TO BE LOCATED INSIDE OF THE SIDEWALK AS GENERALLY SHOWN ON THE SITE PLAN, SO LONG AS THE SETBACK IS NOT CHANGED.

b. IN ORDER TO ACCOMMODATE THE EXISTING GRADE, SIDEWALK AND PLANTING STRIP.

c. PETITIONER SHALL PROVIDE A FOUR FOOT MINIMUM WALKING SPACE BETWEEN ANY SIDEWALK OBSTRUCTIONS AND THE EDGE OF THE CURB OR ANY ADJACENT RETAINING WALL.

d. ONE OF THE FIVE UNITS WILL BE FOR-SALE AFFORDABLE AT 80% AREA MEDIAN INCOME WITH A 10 YEAR RESTRICTION ON THE RESALE OF THE PROPERTY, OR SHALL BE ELIGIBLE FOR THE CITY OF CHARLOTTE'S HOUSE CHARLOTTE PROGRAM.

e. IF THIS REZONING PETITION IS APPROVED, ALL CONDITIONS APPLICABLE TO THE DEVELOPMENT OF THE SITE IMPOSED UNDER THE REZONING PLAN WILL, UNLESS AMENDED IN THE MANNER PROVIDED HEREIN AND UNDER THE ORDINANCE, BE BINDING UPON REPRESENTATIVE, SUCCESSORS IN INTEREST OR ASSIGNS.

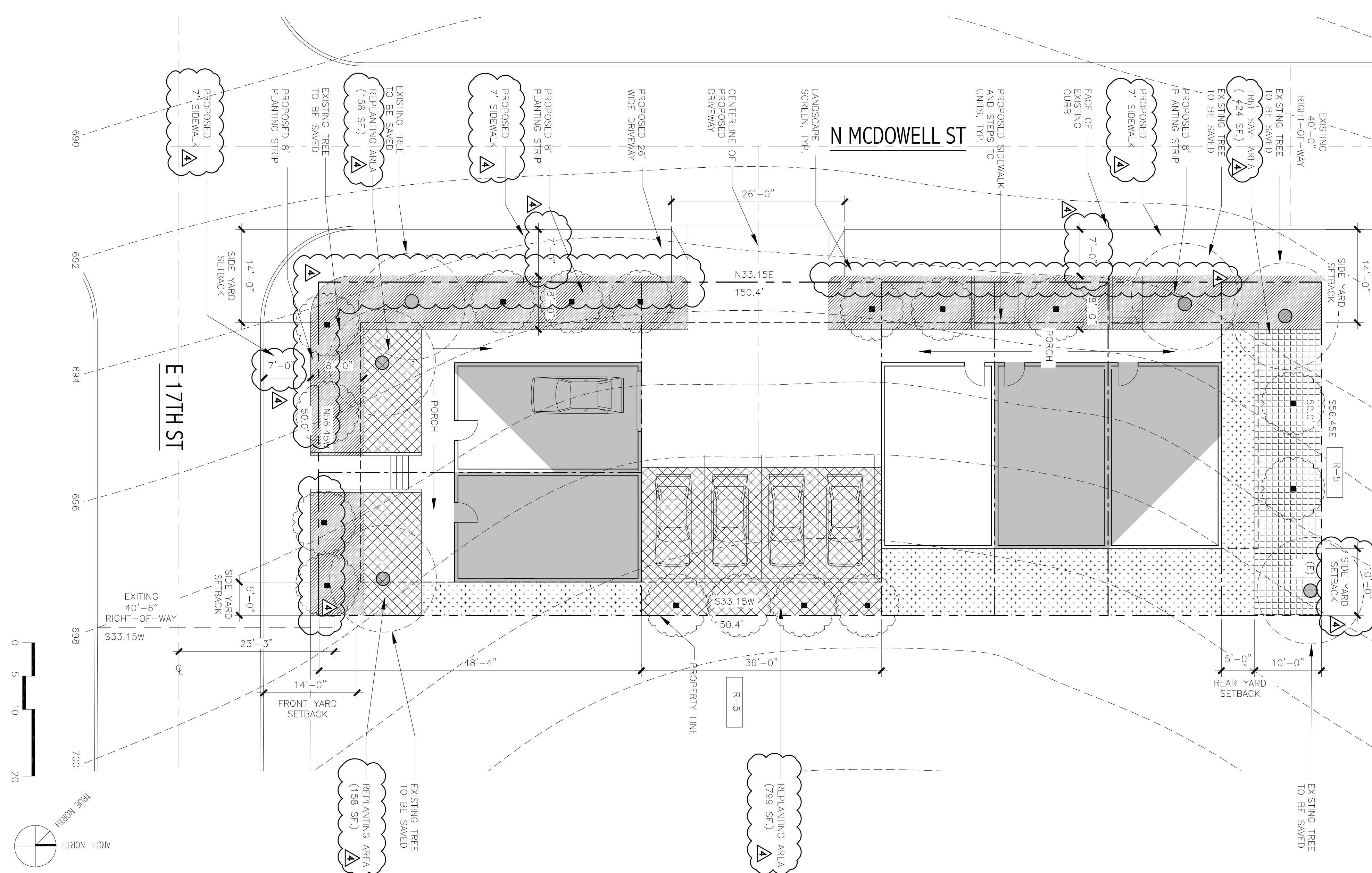
SITE NOTES

SCALE: N.T.S

11 SITE PLAN-OPT B

SCALE: 1" = 10'-0"

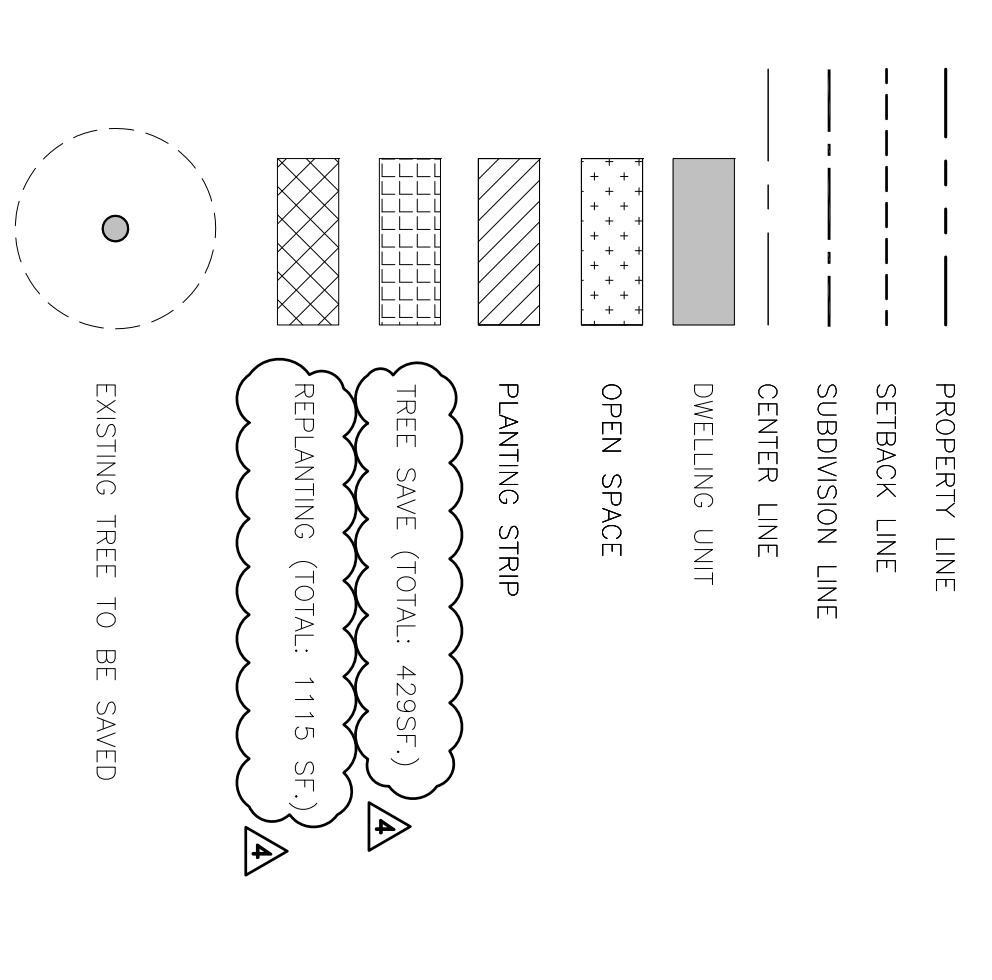
8



SITE DEVELOPMENT DATA

| | |
|-------------------------|-----------------------------------|
| SITE ACREAGE: | 0.17 ACRES |
| TAX PARCEL #: | 08110601 |
| EXISTING ZONING: | R-5 |
| PROPOSED ZONING: | UR-2 (CD) |
| EXISTING USE: | SINGLE FAMILY DWELLING |
| PROPOSED USE: | 5 RESIDENTIAL UNITS |
| LOT AREA: | 7,520 SF |
| BUILDING HEIGHT: | 40'-0" MAXIMUM |
| PARKING PROVIDED: | SHALL MEET ORDINANCE REQUIREMENTS |
| MAX PARKING AREA RATIO: | 1.0 |
| PARKING RATIO: | 1/UNIT |

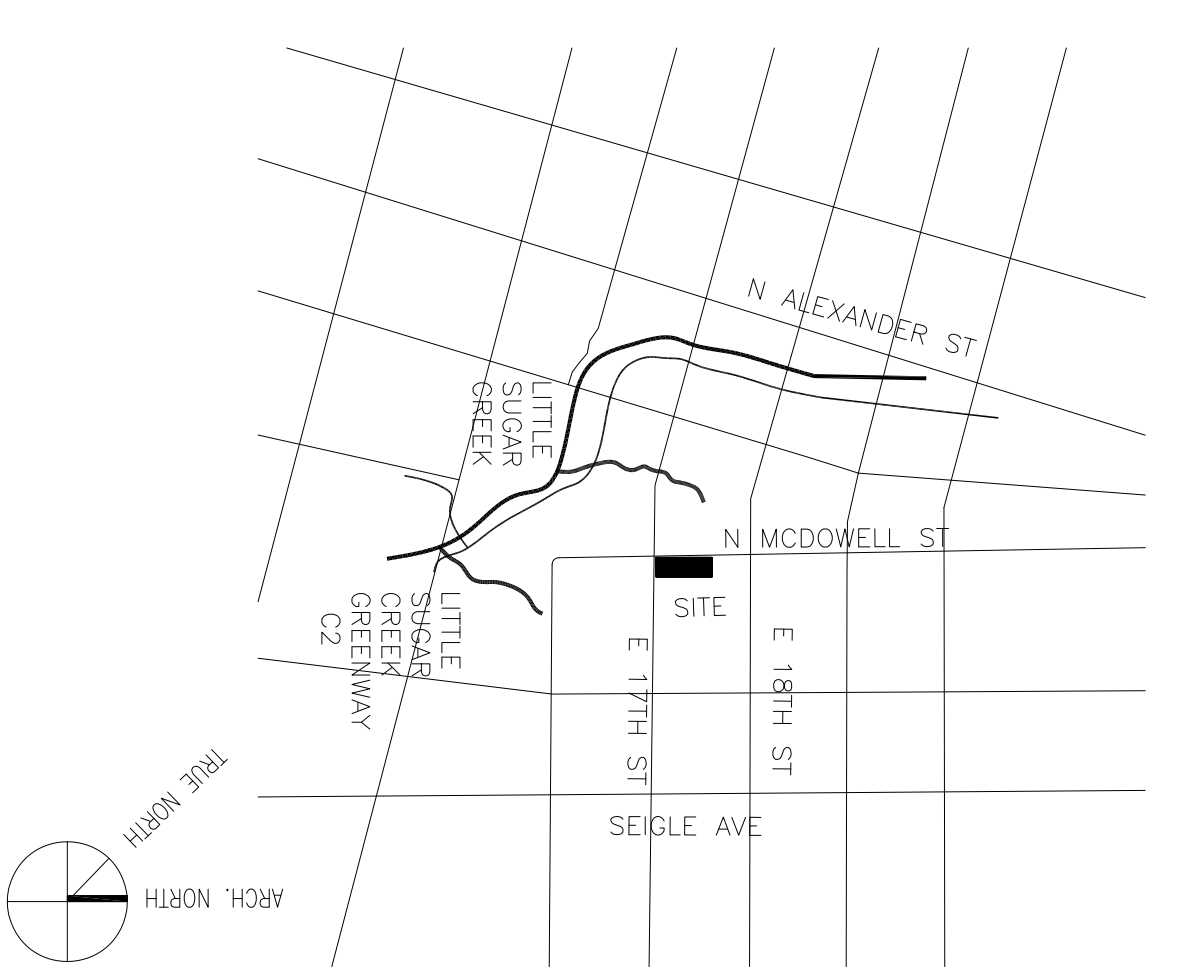
LEGEND:



SITE DATA

SCALE: N.T.S

1



VICINITY MAP

SCALE: N.T.S

2

PROJECT NAME: 801 E 17TH ST, Charlotte, NC 28205

CONSULTANT: SWIFTL EE OFFICE

ARCHITECT: SWIFTL EE OFFICE, 543A S. Raymond Ave., P. 323.257.8200 F. 323.257.8276 www.swifteeoffice.com

REVISIONS:

- 05.14.18 07.03.18 REZONING SUBMITTAL
- 08.13.18 09.10.18
- 10.22.18 11.29.18

APPROVAL: [Signature]

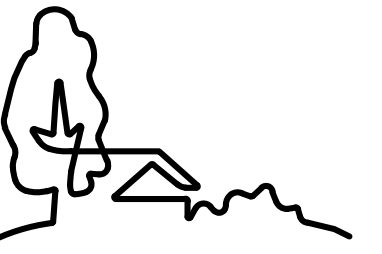
STAMP/SEAL: [Stamp]

SHEET TITLE: REZONING PLAN

PROJ. NO.: 2017-20

SHEET NO.: A1.1

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**URBAN
DESIGN
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Harrison Tucker

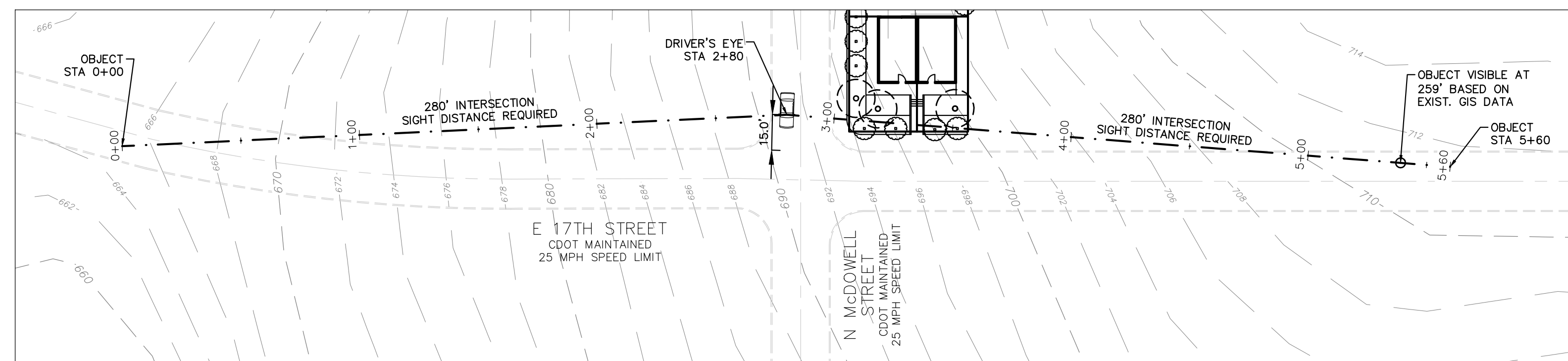
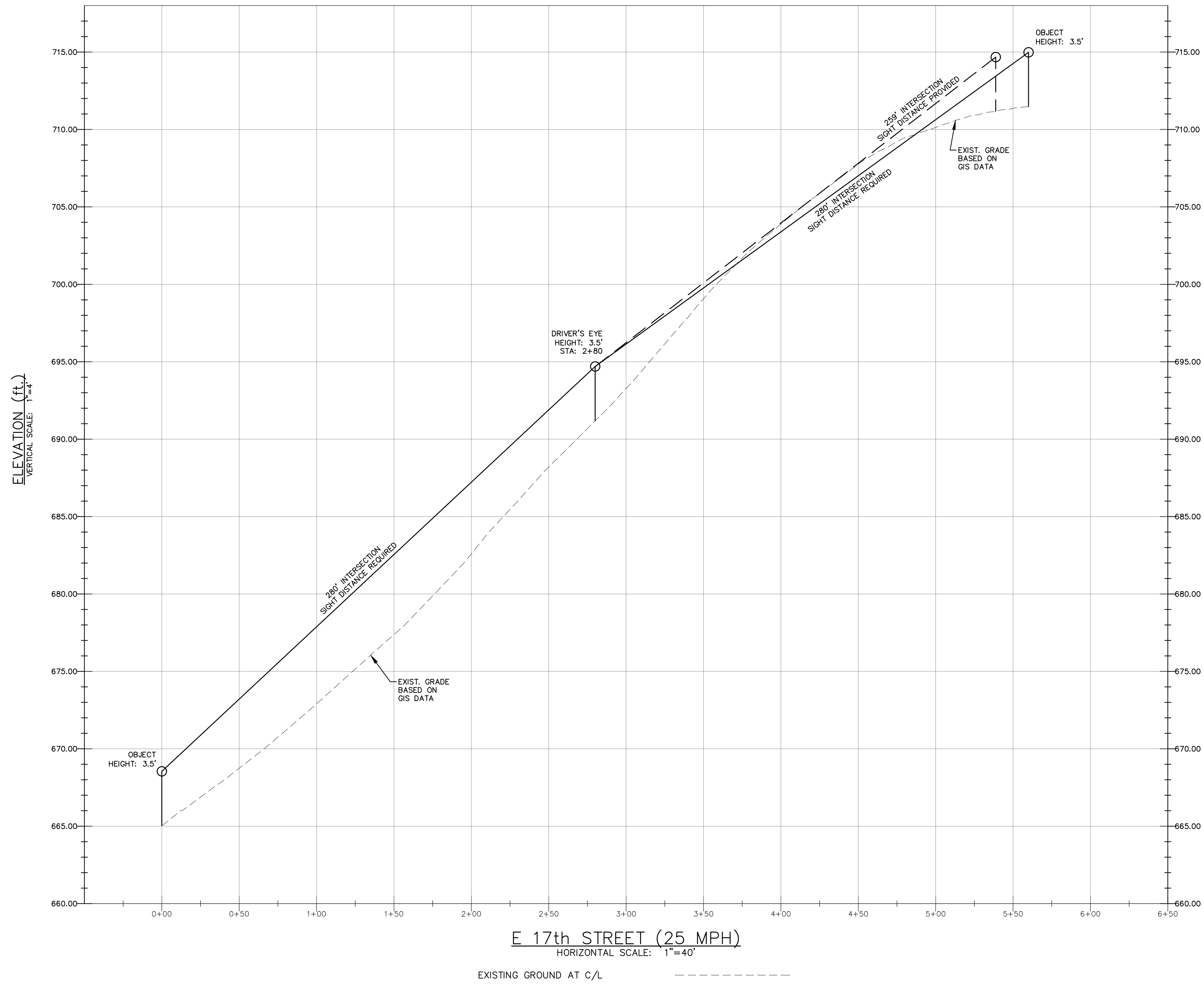
18th and Parkwood
Charlotte, NC 28206

801 E 17th Street

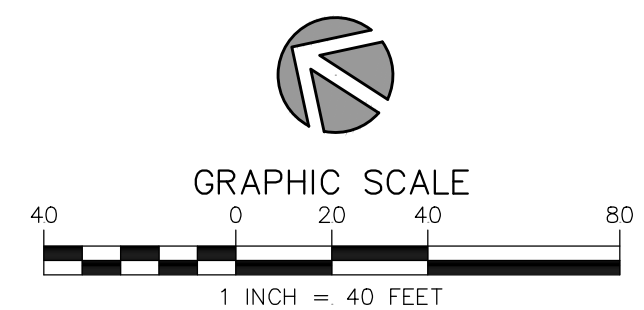
Rezoning Petition 2018-011

INTERSECTION SIGHT DISTANCE

801 E 17th Street, Charlotte, NC 28205



BEFORE YOU DIG!
CALL 811 OR 1-800-632-4949
N.C. ONE-CALL CENTER
IT'S THE LAW!



NO. DATE: BY: REVISIONS:
01 11.29.18 UDP PER STAFF COMMENTS

Project No: 18-165
Date: 11.29.2018
Designed by: UDP
Drawn By: UDP
Sheet No:

RZ-2