

SECOND COMMUNITY MEETING REPORT
Petitioner: Sweetgrass Residential Partners, LLC
Rezoning Petition No. 2017-112

This Second Community Meeting Report is being filed with the Office of the City Clerk and the Charlotte-Mecklenburg Planning Commission pursuant to the provisions of the City of Charlotte Zoning Ordinance.

PERSONS AND ORGANIZATIONS CONTACTED WITH DATE AND EXPLANATION OF HOW CONTACTED:

A representative of the Petitioner mailed a written notice of the date, time and location of the Second Community Meeting to the individuals and organizations set out on Exhibit A attached hereto by depositing such notice in the U.S. mail on May 16, 2018. A copy of the written notice is attached hereto as Exhibit B.

DATE, TIME AND LOCATION OF MEETING:

The Second Community Meeting was held on Wednesday, May 30, 2018 at 6:00 p.m. at the Pleasant Hill Presbyterian Church, 15000 South Tryon Street, Charlotte, North Carolina 28278.

PERSONS IN ATTENDANCE AT MEETING (see attached copy of sign-in sheet):

The Second Community Meeting was attended by those individuals identified on the sign-in sheet attached hereto as Exhibit C. The Petitioner was represented at the Second Community Meeting by Dan Gualtieri, as well as by Petitioner's civil engineer Brent Stough with Design Resource Group, and Petitioner's agent Collin Brown with K&L Gates.

SUMMARY OF PRESENTATION/DISCUSSION:

The Petitioner's agent, Collin Brown, welcomed the attendees and introduced the Petitioner's team. Mr. Brown used a PowerPoint presentation, attached hereto as Exhibit D. Mr. Brown explained that this petition involves approximately 30 acres of land located off South Tryon Street, east of Youngblood Road and west of Birnamwood Lane.

From the outset, Mr. Brown acknowledged that this site is likely to be developed due to the property's location and the owners' eagerness to sell. Property owners who were present at the meeting also introduced themselves.

Mr. Brown explained that there are many competing priorities to consider when developing a piece of property, including property owner requirements, existing zoning, natural and environmental constraints, access and transportation requirements, adjacent property owner concerns, Ordinance and policy requirements, City Staff priorities, City Council priorities, broader community concerns, and market realities. The property's existing zoning is R-3, which typically allows for single-family residential developments with a density up to three units per acre. The Steele Creek Area Plan, which was adopted by the Charlotte City Council in 2012, acknowledges this property as a future neighborhood center with support for higher density and commercial development. The Area Plan specifically proposes a mix of

single-family residential, multi-family residential, office and retail uses at this property. The Plan further states that development should be limited to a convenience size center (70,000 square feet maximum) and residential densities should not exceed eight dwelling units per acre and should serve as a transition to the adjacent single-family residential development.

Mr. Brown explained the City's connectivity policy is aimed at creating a robust network of streets and is contained in the Subdivision Ordinance, which means that interconnected streets will be required for all new development regardless of whether the development goes through the rezoning process. Mr. Brown also explained that a traffic impact study was completed for this proposed development and traffic mitigation measures were suggested.

Mr. Brown then walked through the conditional rezoning plan and showed the proposed access points, buffers, and development areas. Mr. Brown explained that the development must conform to the site-specific development plan. First, Mr. Brown showed the initial site plan concept that was presented at the first Official Community Meeting last winter; this plan included a commercial component on the corner of the intersection of South Tryon Street and Youngblood Road, including office and retail with a drive-through use at the corner. Additionally, an apartment complex and for-rent townhomes were proposed for a total of 280 residential units and 30,000 square feet of commercial development at the site and an approximate density of 10 dwelling units per acre.

Mr. Brown stated that community feedback included concerns over density, traffic, connectivity, buffers, and for-rent residential product. In response to traffic concerns, the Petitioner conducted a traffic study which demonstrated that one of the main traffic issues in the area is the stacking along Youngblood Road turning left toward South Carolina. The traffic study recommended the expansion of Youngblood Road to create an additional turn lane to mitigate the traffic issue. The Petitioner intends to make this commitment. Additionally, the Petitioner initially proposed a left-over through the median on South Tryon to accommodate the proposed commercial component on the site. However, the plans have now evolved based on community involvement and the left-over on South Tryon is no longer essential for this development.

Mr. Brown walked through a few changes to the site plan since the initial community meeting. First, the Petitioner decreased the residential density from 280 units to 254 units while also adding two additional acres into the development area. The density was then calculated at approximately 8 dwelling units per acre. The Petitioner also increased the buffers and created a smoother transition of townhomes next to the existing single-family homes. Since then, the Petitioner has heard additional feedback and has revised the site plan yet again. Mr. Brown showed the current site plan, which now requests a rezoning to the R12-MF and MUDD (mixed use development) districts rather than the NS (neighborhood services) district. Mr. Brown explained, as a reference, that the recently approved rezoning by the Woda Group on the other side of Birnamwood Drive was a request for R12-MF zoning and contains an affordable housing component.

Mr. Brown explained that the new site plan is reflective of feedback from surrounding neighbors, including: increase buffers along Birnamwood Lane; decrease the amount of rental units along Youngblood Road; preserve trees where possible; minimize traffic impact; and limit grading near rear

property line. The new plan completely takes the area adjacent to Birnamwood Lane out of the development proposal and instead proposes a commitment to preserve this 2-acre zone as a permanent tree save area. Mr. Brown stated that this commitment was well received by Birnamwood Lane neighbors. Mr. Brown further explained that in brainstorming ways to address the traffic impacts, the Petitioner came up with a plan to incorporate a self-storage component into the development. Self-storage uses have very low daily trip counts and no school impact while still creating an economically viable development.

As a comparison, the earlier plan (with 254 dwelling units and 30,000 square feet of commercial space) generated approximately 4,700 trips per day, whereas the new plan (with the self-storage component and approximately 240 dwelling units) would generate less than 1,750 trips, resulting in a 200% reduction in the number of daily trips.

Mr. Brown showed the site plan for the two self-storage buildings, which would be fully enclosed and climate-controlled, with commitments to architectural standards. Mr. Brown explained that the self-storage use is particularly desirable in this location in part due to its proximity to Lake Wylie where there is demand for storage options to accommodate equipment for outdoor activities and water sports.

Importantly, Mr. Brown explained the Petitioner's willingness to delay the connection from the site to Birnamwood Lane. Many neighbors expressed aversion to the connection of the Petitioner's development to the small unpaved road. Whereas a by-right development would be required to make this connection under the Subdivision Ordinance, the Petitioner may have the ability to request flexible timing for building the connection. The Petitioner could propose to dedicate funds to the City of Charlotte for the future construction of the road, which would not be constructed until such time as the single-family residences on the other side of Birnamwood Lane get redeveloped, thus making the connection more practicable. However, any type of phased connection would be at the City's discretion.

A resident on Birnamwood Lane stated that her biggest concern is traffic. She also stated that she strongly prefers that a connection not be made to Birnamwood Lane at this time.

One attendee voiced her opinion that more apartments are not needed along Tryon Street. Another attendee, also opposed to apartments, stated that school overcrowding is a major concern in the Steele Creek area. Mr. Brown explained that fewer students are typically projected in apartments than in townhome or single-family developments. Mr. Brown further stated that the busy corner of Tryon Street and Youngblood Road is not likely to be a desirable location for single-family residents.

An attendee stated that the Steele Creek area needs more restaurants, movie theaters and amenities rather than additional apartments. On the other hand, another attendee stated that she would be strongly opposed to a movie theater in her front yard.

The formal meeting concluded at approximately 7:30 p.m. and the Petitioner's agents continued to answer individual questions until approximately 8:00 p.m.

Respectfully submitted, this 11th day of June, 2018.

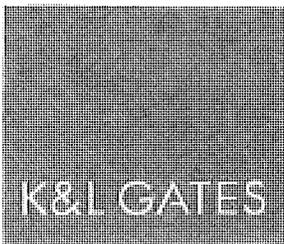
cc: Claire Lyte-Graham, Charlotte-Mecklenburg Planning Department
Tammie Keplinger, Charlotte-Mecklenburg Planning Department

Exhibit A

Pet_No	taxpid	ownerlastn	ownerfirst	cownerfirs	cownerlast	mlladdr1	mlladdr2	city	state	zipcode
2017-112	19901103	VAUGHN	CARL S			4331 HORD RD		SHARON	SC	29742
2017-112	19901104	STEEL CREEK ONE LLC				101 S TRYON ST SUITE 2430	ATTN: BRANDON D PERRY	CHARLOTTE	NC	28280
2017-112	19901105	S & S HOLDINGS OF CHARLOTTE LLC				14809 LONESOME OAK CIRCLE		CHARLOTTE	NC	28278
2017-112	19901122	MAHEK,LLC				6302 RED MAPLE DR		CHARLOTTE	NC	28053
2017-112	19901171	CITY OF CHARLOTTE				600 EAST 4TH ST		CHARLOTTE	NC	28202
2017-112	19902102	MECKLENBURG COUNTY				600 E 4TH ST 11TH FLOOR		CHARLOTTE	NC	28202
2017-112	21701112	SPRUILL	MICHAEL W	JUDITH R	% REAL ESTATE /FINANCE DEPT	14320 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21701113	LAWSON	MARION D	ELIZABETH S	LAWSON	14300 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21701115	CHHAY	TONG CHING	SEAR MEY	CHHAY	790 LAKEY GAP RD		BLACK MOUNTAIN	NC	28711
2017-112	21911101	GALLOWAY	RODGER DALE	PHYLLIS F	GALLOWAY	16601 CAPPS RD		CHARLOTTE	NC	28278
2017-112	21911102	NASH	DAVID B	DEBORAH C	NASH	14247 YOUNGBLOOD RD		CHARLOTTE	NC	28273
2017-112	21911115	APS INVESTMENTS LLC				PO BOX 34689		CHARLOTTE	NC	28234
2017-112	21911117	APS INVESTMENTS LLC				255 CHEROKEE RD		CHARLOTTE	NC	28207
2017-112	21911118	WASHAM	JUDY A			14243 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911119	HARKEY	W TED	SARAH J	HARKEY	14229 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911120	STROUPE	MARCUS			7201 COLLEY FORD LN		CHARLOTTE	NC	28273
2017-112	21911121	NANCE	GEORGE F	DIANE P	NANCE	14217 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911122	POPE	KERRY R	ROXANNE J	POPE	14309 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911123	KNOX	F VERNON	JUDY	KNOX	14301 YOUNGBLOOD RD		CHARLOTTE	NC	28278
2017-112	21911128	VOORTMANS	ANN SKIPPER			14001 YORK RD		CHARLOTTE	NC	28278
2017-112	21911129	LFP ASSOCI				304 E MOREHEAD ST		CHARLOTTE	NC	28202
2017-112	21911130	MC CAULEY	TROY JAMES			BY ENTIRETY		CHARLOTTE	NC	28278
2017-112	21911131	PHAN	TAI NGOC	DIEM NGOC	PHAN	400 WESTINGHOUSE BLVD		CHARLOTTE	NC	28273
2017-112	21911132	CHEA	KHIN	MALINE S	CHEA	15617 EAGLEVIEW DR		CHARLOTTE	NC	28278
2017-112	21911133	SHAW	MICHAEL T	REBECCA M	PAPRITZ	14800 BIRNAMWOOD LN		CHARLOTTE	NC	28278
2017-112	21911137	GALLOWAY	ROGER DALE	PHYLLIS F	GALLOWAY	16601 CAPPS RD		CHARLOTTE	NC	28278
2017-112	21912412	GIBSON	KEVIN	DIANE	STENSING-GIBSON	13801 YORK RD		CHARLOTTE	NC	28278
2017-112	21912413	FRYE	LISA S			5924 MAMOLAKE RD		CHARLOTTE	NC	28270
2017-112	21912423	SANCHEZ	MICHELLE M			14619 BIRNAMWOOD LN		CHARLOTTE	NC	28278
2017-112	21912424	MORANTES	JUAN			14701 BIRNAMWOOD LN		CHARLOTTE	NC	28278
2017-112	21912425	BUCK	NOLAN R			9427 HARRISBURG ROAD		CHARLOTTE	NC	28215
2017-112	21919403	TUCKER	ROBERT G	DEBRA A	TUCKER	14017 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919404	2014-3 IH BORROWER LP				C/O INVITATION HOMES		DALLAS	TX	75201
2017-112	21919405	EBERHARDT	AMANDA	JOHN	EBERHARDT	14029 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919406	BROUGH	JOCK	WHITNEY	BROUGH	14033 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919407	BABER	JAMES L	CARROLLYN J	BABER	14037 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919408	YURKOVIC	BRIAN L	PAM C	YURKOVIC	14043 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919409	KORMANNSHAUS	CRAIG			14045 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919410	EATON	ROBERT L N	HAYLEY T	EATON	14047 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919411	TEAGUE	CHRIS	SHARON	TEAGUE	14044 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919412	LYNCH	JOHN M	DIANE M	LYNCH	14042 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919413	CAPERS	SHEILA A	CALVIN G	CAPERS	14036 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919414	VEGSO	WILLIAM JR	MARIA ROSLIE	VEGSO	14030 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919415	CARTER	BONITA A			14024 HATTON CROSS DR		CHARLOTTE	NC	28278
2017-112	21919434	CLAPHAM PROPERTIES II LLC				C/O MARK C CLAPHAM		CHARLOTTE	NC	28278
2017-112	21919435	BERRY	LATOSHIA			14904 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919436	HOBBS	JOSHUA A.S.			14842 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919437	CLAPHAM PROPERTIES II LLC				C/O MARK C CLAPHAM		CHARLOTTE	NC	28278
2017-112	21919438	MARKS	JAYNE A			14832 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919439	MOSES	ELLIS D	COLLEEN M	MOSES	14826 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919440	WAGNER	DAVID T	CATHERINE M	WAGNER	14820 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919441	BURKE	JOHN V	EUDORA R	BURKE	14818 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919442	FOX	RANDALL S	GINGER S	FOX	14812 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919443	MANN	KEVIN C	DEBRA L	MANN	14806 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919444	KENT	BARBARA A	THOMAS G	KENT	14802 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919445	SUAREZ	MILTON E	PATRICIA J	SUAREZ	14800 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919446	SMOLAR	THOMAS A	SALLY A	SMOLAR	14801 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919447	DECKER	DAVE S	MARY L	DECKER	14809 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919448	AMH 2014-3 BORROWER LLC				C/O AMERICAN HOMES 4 RENT		AGOURA HILLS	CA	91301
2017-112	21919449	AMH 2014-3 BORROWER LLC				C/O AMERICAN HOMES 4 RENT		AGOURA HILLS	CA	91301
2017-112	21919450	ACOSTA	ERIC L			14827 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919451	SHAW	SIMON	VICTORIA	SHAW	14833 ASHLIGHT DR		CHARLOTTE	NC	28278
2017-112	21919499	WILTSHIRE MANOR HOMEOWNERS ASSOCIATION INC				PO BOX 2191		DAVIDSON	NC	28036
2017-112	21919504	KEARNEY	JEFFREY D			13713 WEATHERSTONE CIR		CHARLOTTE	NC	28278

Pet_No	ORGANIZATI	FIRST_NAME	LAST_NAME	STREET_ADD	UNIT_NUM	CITY	STATE	ZIP
2017-112		Justin	Bonaparte	15030 Jerpoint Abby Dr.		Charlotte	NC	28273
2017-112	Pineknoll HOA	Art	Lange	15614 Pine Glen Ct		Charlotte	NC	28273
2017-112	Pleasant Hill Road Resident's Association	Richard	Frank	14600 Pleasant Hill Rd		Charlotte	NC	28278
2017-112	Reunion/Enclave	Stephen	Massa	14626 Brotherly Lane		Charlotte	NC	28278
2017-112	Steele Croft Place HOA	Paula	Yorick	14329 Arlandes Drive		Charlotte	NC	28278
2017-112	Steelecroft Place Homeowners Association	Debbie	Jamro	15514 DeHavilland Dr		Charlotte	NC	28278
2017-112	Westmoreland Homeowners Association	Tom	Bidwick	13621 Kensal Green Dr		Charlotte	NC	28278

Exhibit B



May 16, 2018

Collin W. Brown
collin.brown@klgates.com

T +1 704 331 7531
F +1 704 331 7598

NOTICE TO INTERESTED PARTIES OF SECOND COMMUNITY MEETING

Date: Wednesday, May 30th at 6:00 p.m.
Location: Pleasant Hill Presbyterian Church
15000 South Tryon Street
Charlotte, NC 28278
Petitioner: Sweetgrass Residential Partners, LLC
Petition No.: 2017-112

Dear Charlotte Resident,

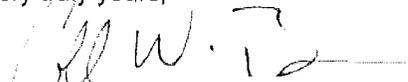
We represent Sweetgrass Residential Partners, LLC (the "Petitioner") in its plans to redevelop an approximately 30-acre property located off South Tryon Street, east of Youngblood Road and west of Birnamwood Lane (the "Property"). The Petitioner requests to rezone the Property from the R-3 zoning district in order to accommodate its mixed-use redevelopment plans.

In accordance with the requirements of the City of Charlotte Zoning Ordinance, the Petitioner will hold a Second Community Meeting prior to the Public Hearing on this Rezoning Petition for the purpose of discussing this rezoning proposal with nearby property owners and organizations. An initial Official Community Meeting was held on November 7, 2017. This meeting will serve as a follow-up to the initial meeting to discuss updates to the proposed rezoning plan. The Charlotte-Mecklenburg Planning Commission's records indicate that you are either a representative of a registered neighborhood organization or an owner of property that adjoins, is located across the street from, or is near the Site.

Accordingly, on behalf of the Petitioner, we invite you to attend the Second Official Community Meeting regarding this Petition on **Wednesday, May 30th at 6:00 p.m.** to meet with the Petitioner and its design and development team. We will give a brief overview of the updated redevelopment concept and then provide an opportunity for you to meet and talk with individuals that are involved in planning the project.

Please contact me if you are unable to attend and would like additional information.

Very truly yours,



Collin W. Brown

cc: Council Member LaWana Mayfield
Claire Lyte-Graham, Charlotte-Mecklenburg Planning Staff

Exhibit C

Exhibit D

The logo for K&L GATES is displayed in white, uppercase letters within an orange rectangular box. The background of the slide features a blue bokeh effect with light spots of varying sizes and colors, ranging from light blue to white, set against a darker blue background.

K&L GATES

Community Meeting Presentation

Rezoning Petition 2017-112
Sweetgrass Residential

May 30, 2018

Pleasant Hill Presbyterian Church

AGENDA

- Introductions
- Property Location
- Property Owners/History
- Development Considerations
- Original Plan
- Revised Plan
- Community Feedback
- Proposed Plan
- Discussion

Sweetgrass Residential Developer/Petitioner

Ryan Hanks



Bailey Patrick, George Macon



Site Design/Traffic Engineer

Brent Stough, Jim Guyton, Randy Goddard



Tom Wright



Collin Brown & Brittany Lins

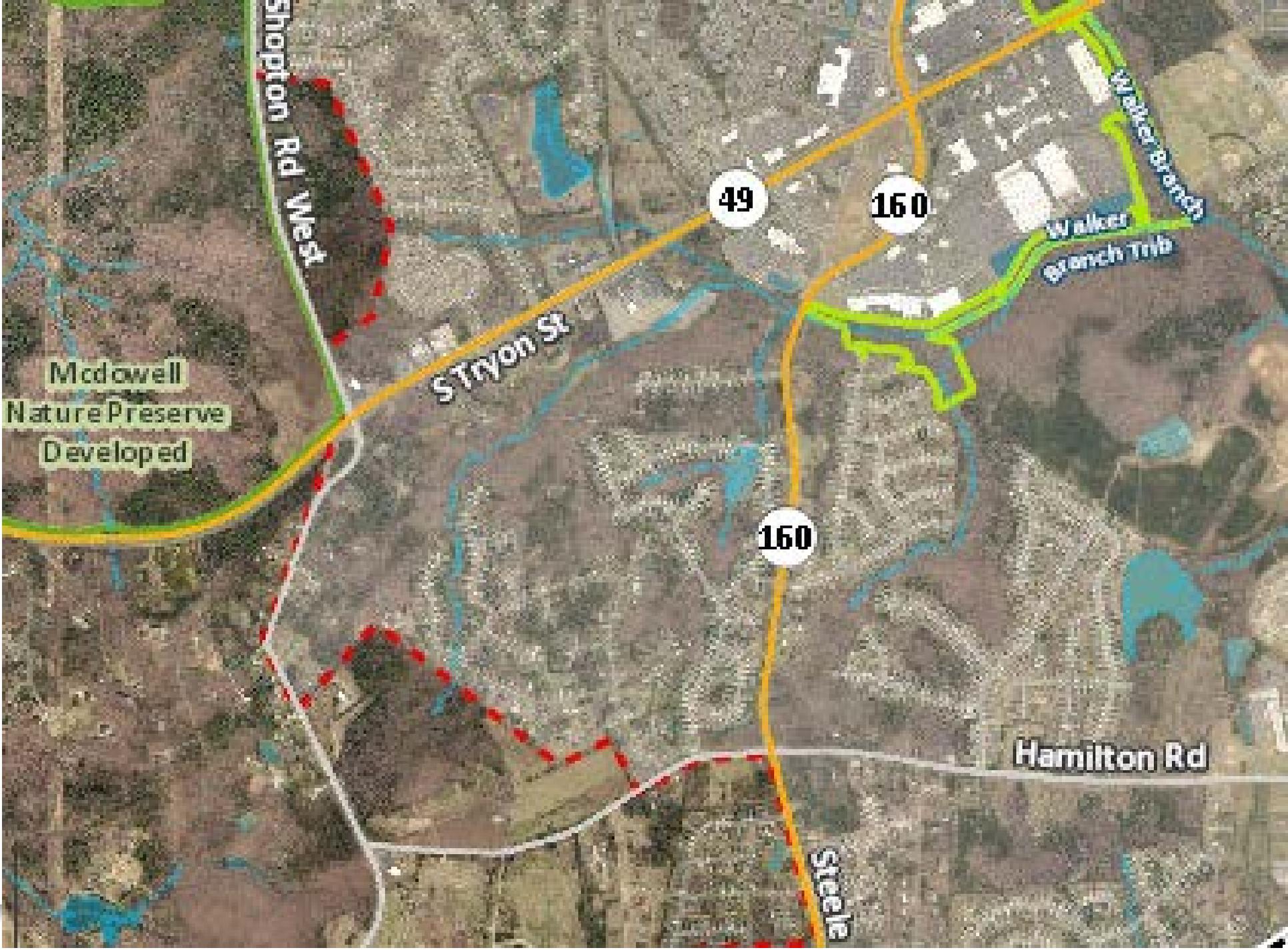


Property Location





City of Charlotte, Mecklenburg



Shopton Rd West

49

160

Walker Branch

Walker Branch Trib

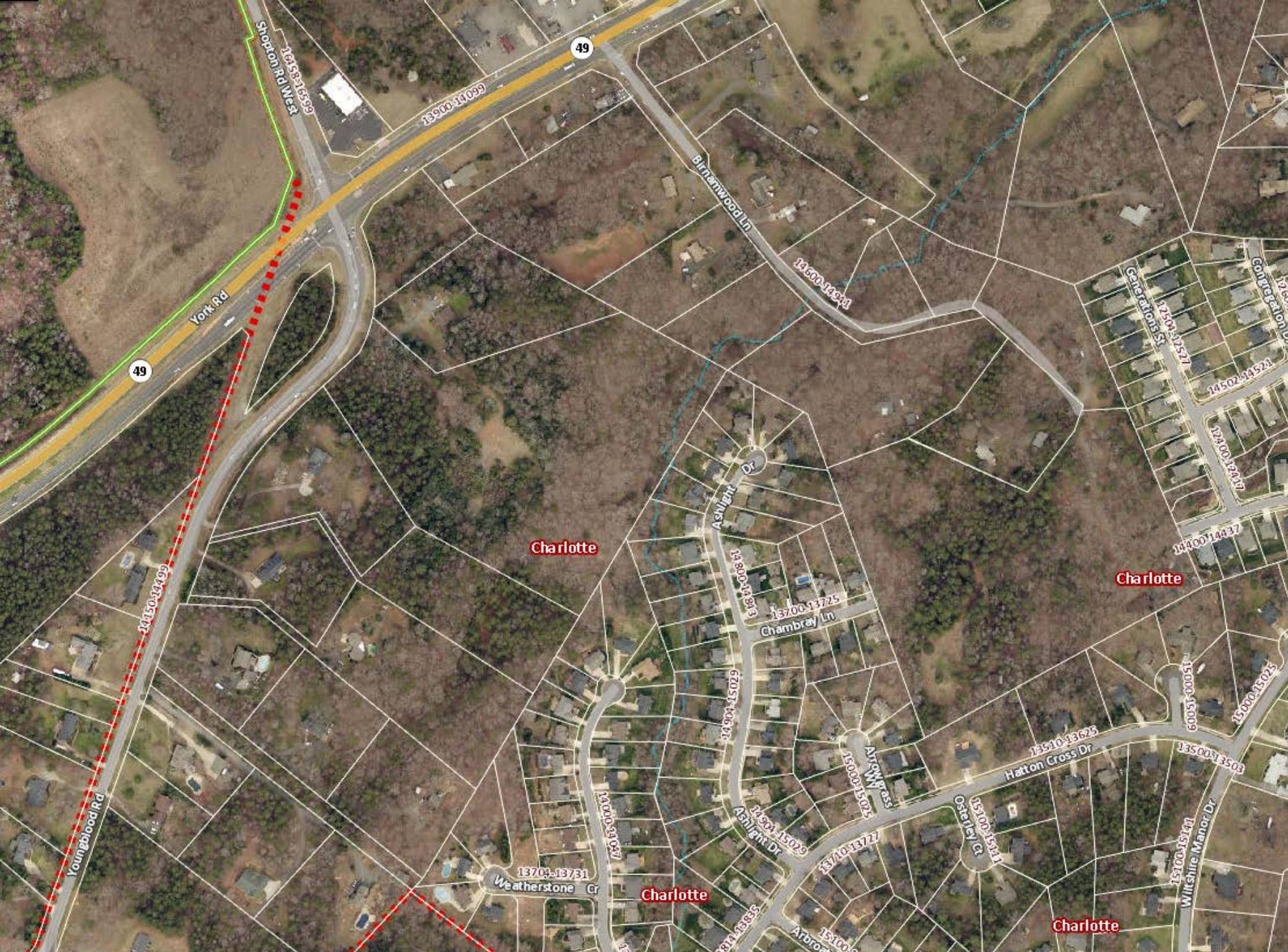
Stryon St

160

Hamilton Rd

Steele

Mcdowell
Nature Preserve
Developed



49

49

Shopton Rd West
16953-16959

18900-18099

York Rd

Birnenwood Ln

14500-14539

Generation St
12400-12429

14502-14529

12400-12407

14400-14437

Charlotte

Charlotte

14150-14199

Ashlight Dr

14380-14000

Chambray Ln
13700-13725

14900-15029

Airway Express
13000-13025

Hatton Cross Dr
13510-13625

13500-13503

Youngblood Rd

Weatherstone Cr
13703-13731

Charlotte

15000-15000

Achillene Dr
14501-15029

13710-13721

Osterley Ct
13500-13511

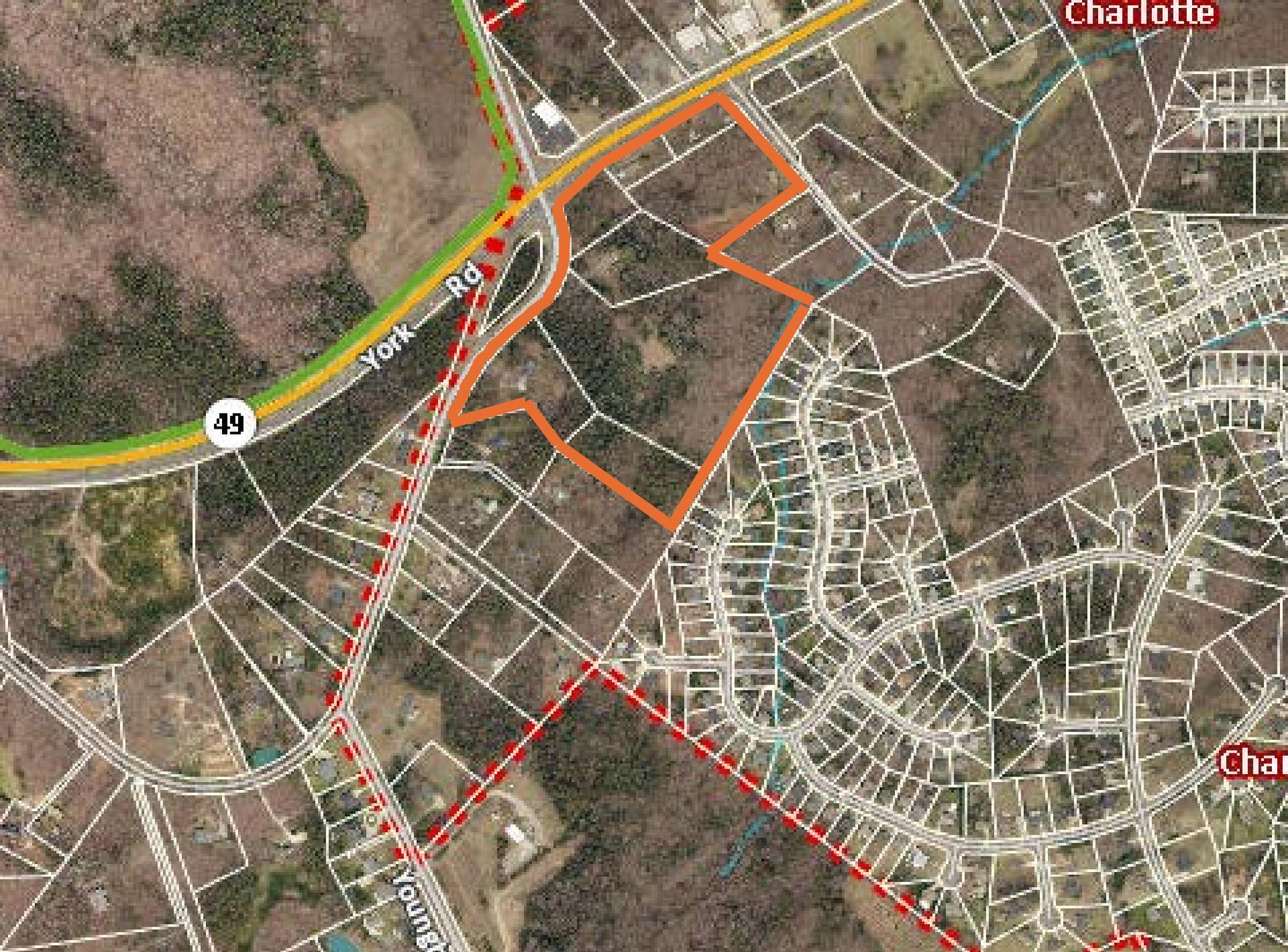
Charlotte

Wilshire Manor Dr
13100-13100

15000-15025

60051-00051

Arbro
15100



Charlotte

49

York Rd

Young Rd

Char



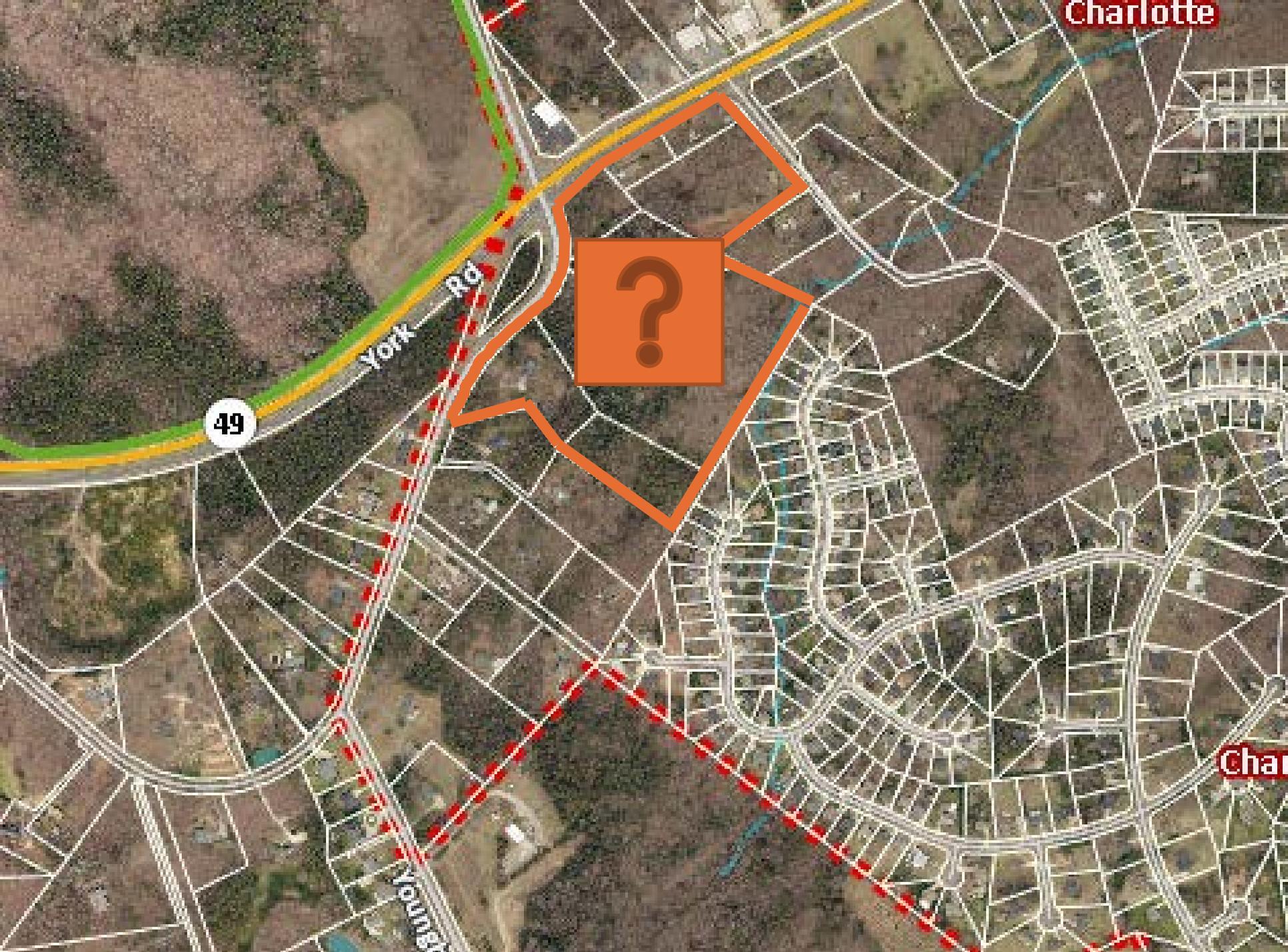




The image features a blue bokeh background with a central orange banner. The bokeh consists of numerous out-of-focus light spots in various shades of blue and white, creating a shimmering, ethereal effect. The orange banner is a solid, horizontal band that spans the width of the image, providing a clear contrast for the white text.

The Owners are Ready to Sell Their Land

Charlotte



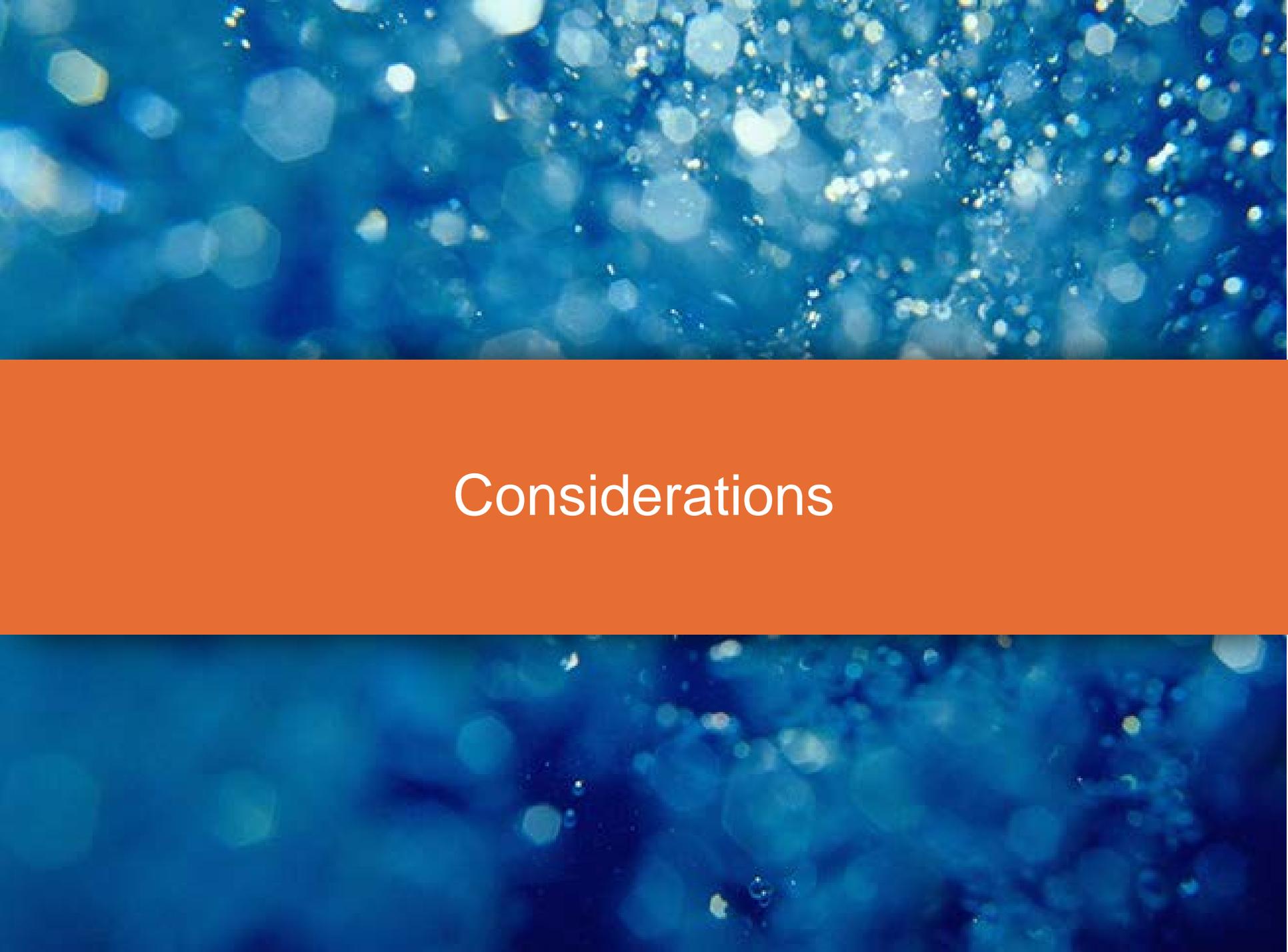
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York Rd

Youngh



Char



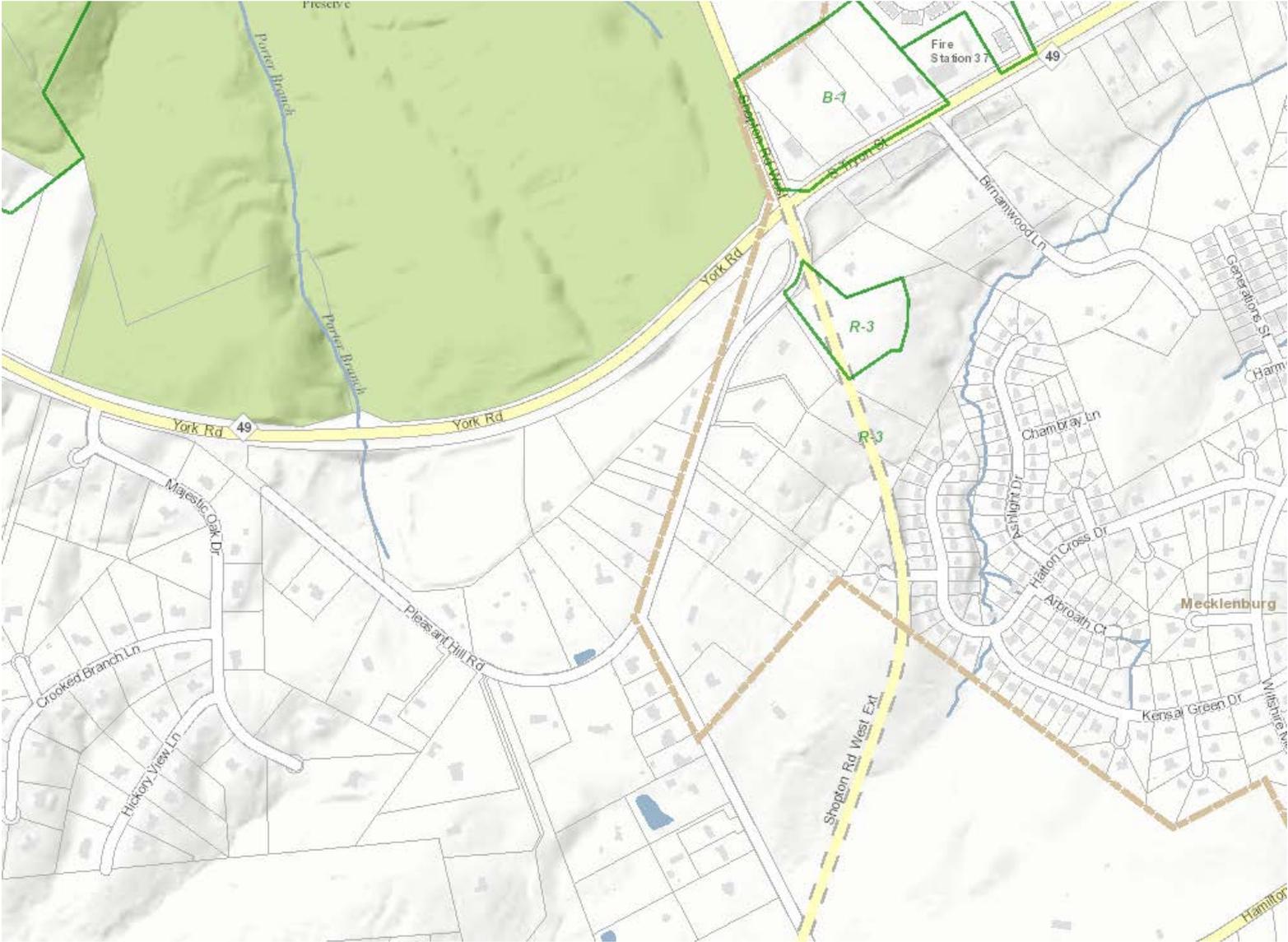
Considerations



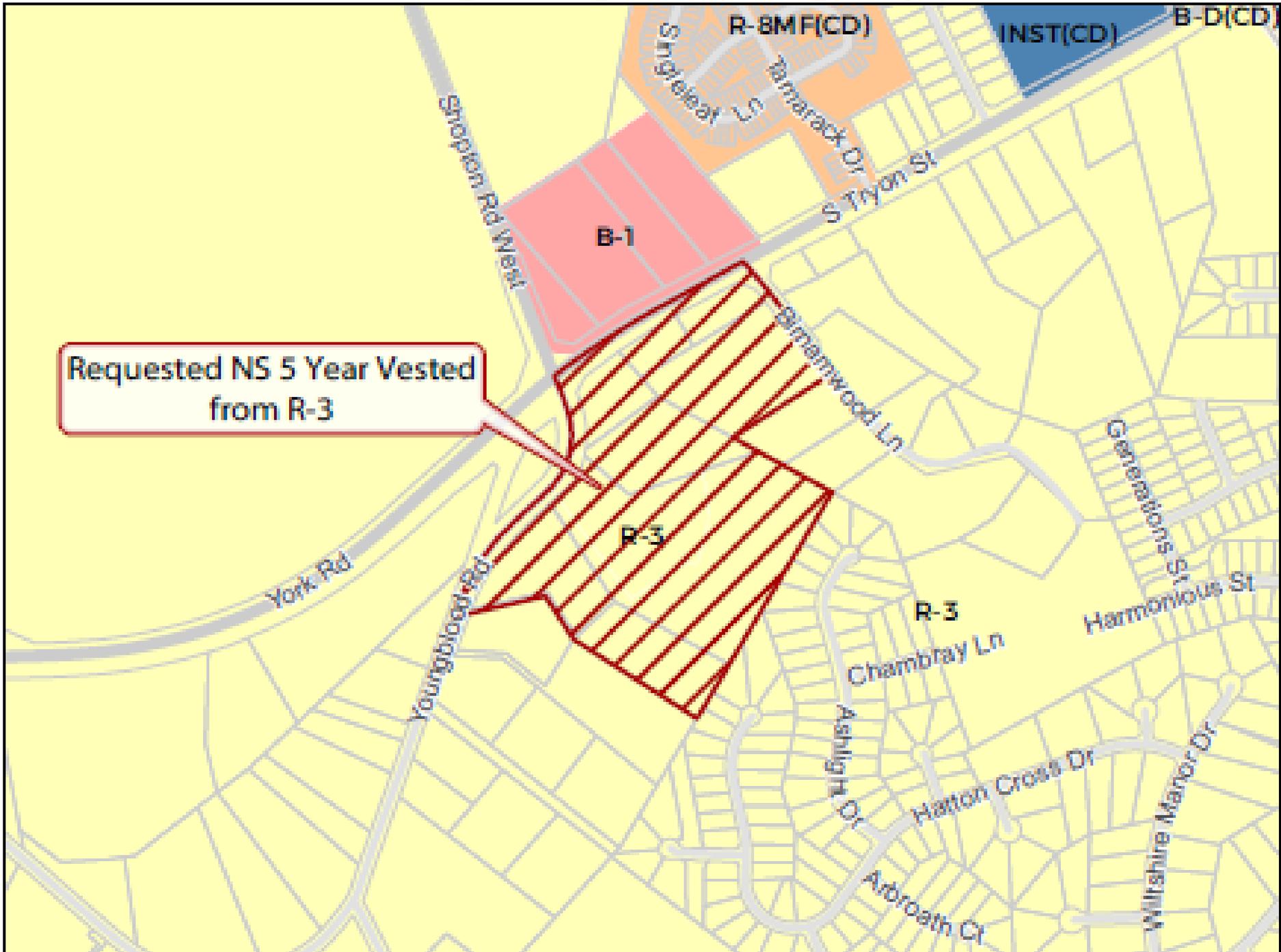
Existing Zoning



Existing Zoning = R-3



Existing Zoning & Rezoning Request



Requested NS 5 Year Vested
from R-3

B-1

R-8MF(CD)

INST(CD)

B-D(CD)

R-3

R-3

York Rd

Youngblood Rd

Shapton Rd West

Singleleaf Ln

Tamarack Dr

S Tryon St

Birmahwood Ln

Chambray Ln

Ashlight Dr

Hatten Cross Dr

Arbroath Ct

Wiltshire Manor Dr

Generation St

Harmonious St



Adopted Land Use Plans



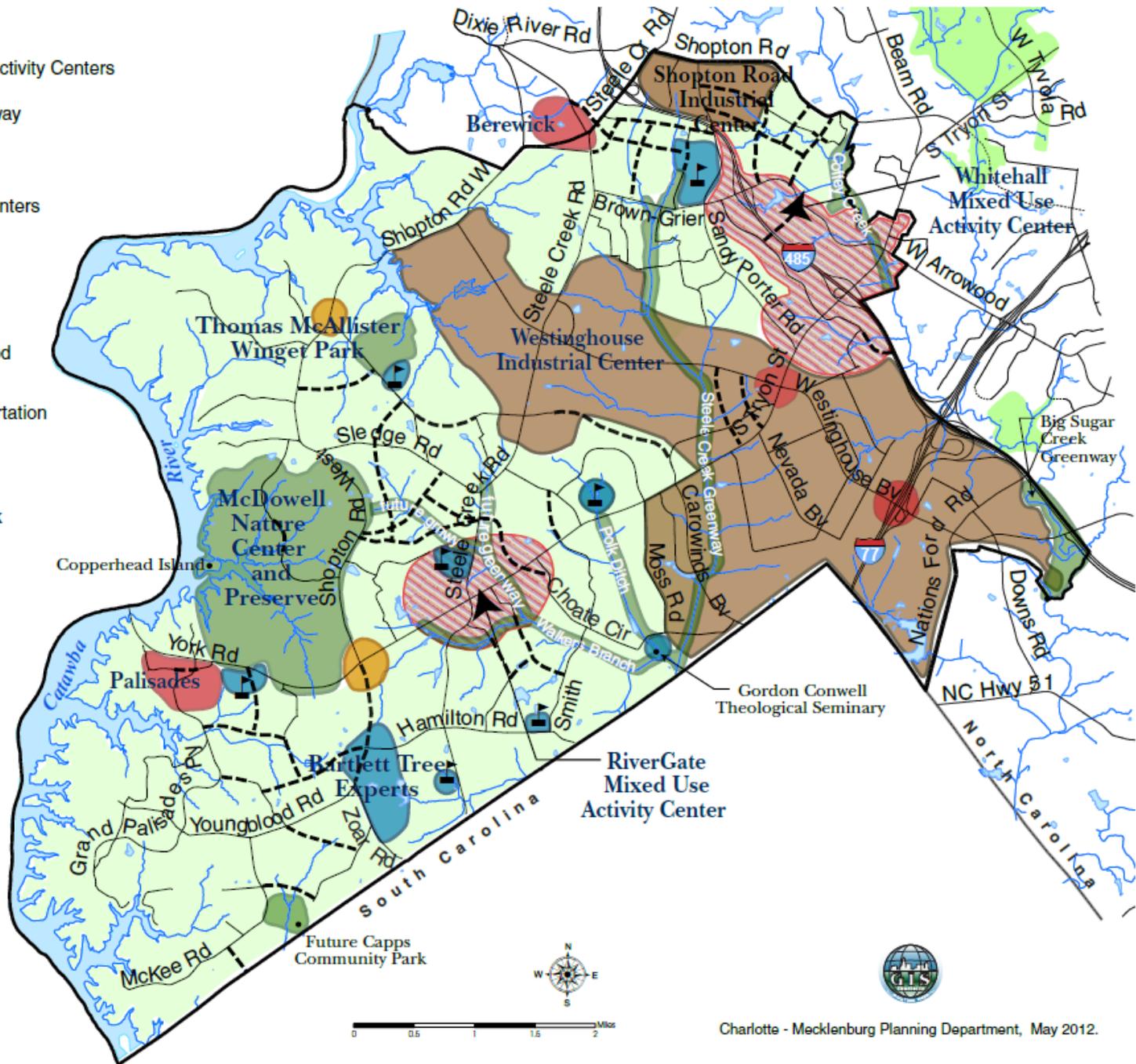


Steele Creek Area Plan

Charlotte-Mecklenburg Planning Department



Adopted by Charlotte City Council February 27, 2012



-  Mixed Use Activity Centers
-  Park/Greenway
-  Institutional
-  Industrial Centers
-  Wedge Residential
-  Community Centers
-  Neighborhood Centers
-  Key Transportation Connections
-  School
-  Steele Creek Area Plan Boundary

February 27, 2012

Existing Land Use

The Steele Creek plan area is comprised of approximately 26,767 acres. As shown in the table below and illustrated on **Map 8, Existing Land Use**, the largest categories of existing land uses are vacant (27 percent), and single family detached (20 percent). Based upon approved rezonings, there are approved plans for 29 percent of the now vacant land (approximately 2096 acres) .

Industrial and warehouse/distribution accounts for 6 percent of development. The Westinghouse Industrial Center is located along both sides of Westinghouse Boulevard generally between I-77 and Shopton Road West. This is the largest industrial core in the Carolinas with over 20 million square feet of industrial development. A small portion of the Shopton Road Industrial Center is located on the western boundary of the plan area.

Major industrial businesses in the area include Siemens; this company recently announced plans to add 600 jobs. Others are International Paper Company, Arrowood Capital Corporation, TJ Maxx Distribution Center, Sprint, Time Warner Cable and Frito-Lay. Major industrial parks include Arrowood Southern Industrial Park, Moody Lakes and Whitehall.

Existing Land Use	Acreage	% of Total
Agriculture	1,582.32	6%
Industrial	1,500.64	6%
Institutional	501.46	2%
Mixed	11.60	0.04%
Multi-Family	550.98	2%
Office	450.26	2%
Open Space	2,230.22	8%
Retail	548.47	2%
Single Family - Attached	6.56	0.02%
Single Family - Detached	5,426.43	20%
Transportation	83.56	0.31%
Utility	47.37	0.18%
Vacant	7,258.22	27%*
Warehouse/Distribution	2,278.43	9%
Water	1,987.21	7%
Right of Way	2,303.41	9%
Total	26,767.13	100%

Source: Charlotte Mecklenburg Planning, September 22, 2010

Note: The land use acreage figures are calculated by parcel and do not include rights-of-way. As a result, the total acreage figures will not always match the total acreage figure for the plan area which does include rights-of-way as part of that calculation.

* Approximately 29% of the vacant land, or 2096 acres, has an approved development plan.

Existing Land Use Categories

Major land use categories are Vacant (27 percent), Single family residential (20 percent), Industrial and Warehouse/Distribution (17 percent), and Open Space (8 percent).



Agriculture

1,582.32 acres
6% of total acres



Industrial

1,500.64 acres
6% of total acres



Institutional

501.46 acres
2% of total acres



Mixed

11.60 acres
0.04% of total acres



Multi-Family

550.98 acres
2% of total acres



Office

450.26 acres
2% of total acres



Open Space

2,230.22 acres
8% of total acres



Retail

548.47 acres
2% of total acres



Single Family - Attached

6.56 acres
0.02% of total acres



Single Family - Detached

5,426.43 acres
20% of total acres



Transportation

83.56 acres
0.31% of total acres



Utility

47.37 acres
0.18% of total acres



Vacant

7,258.22 acres
27% of total acres



Warehouse/Distribution

2,278.43 acres
9% of total acres



Water

1,987.21 acres
7% of total acres



Right-of-Way

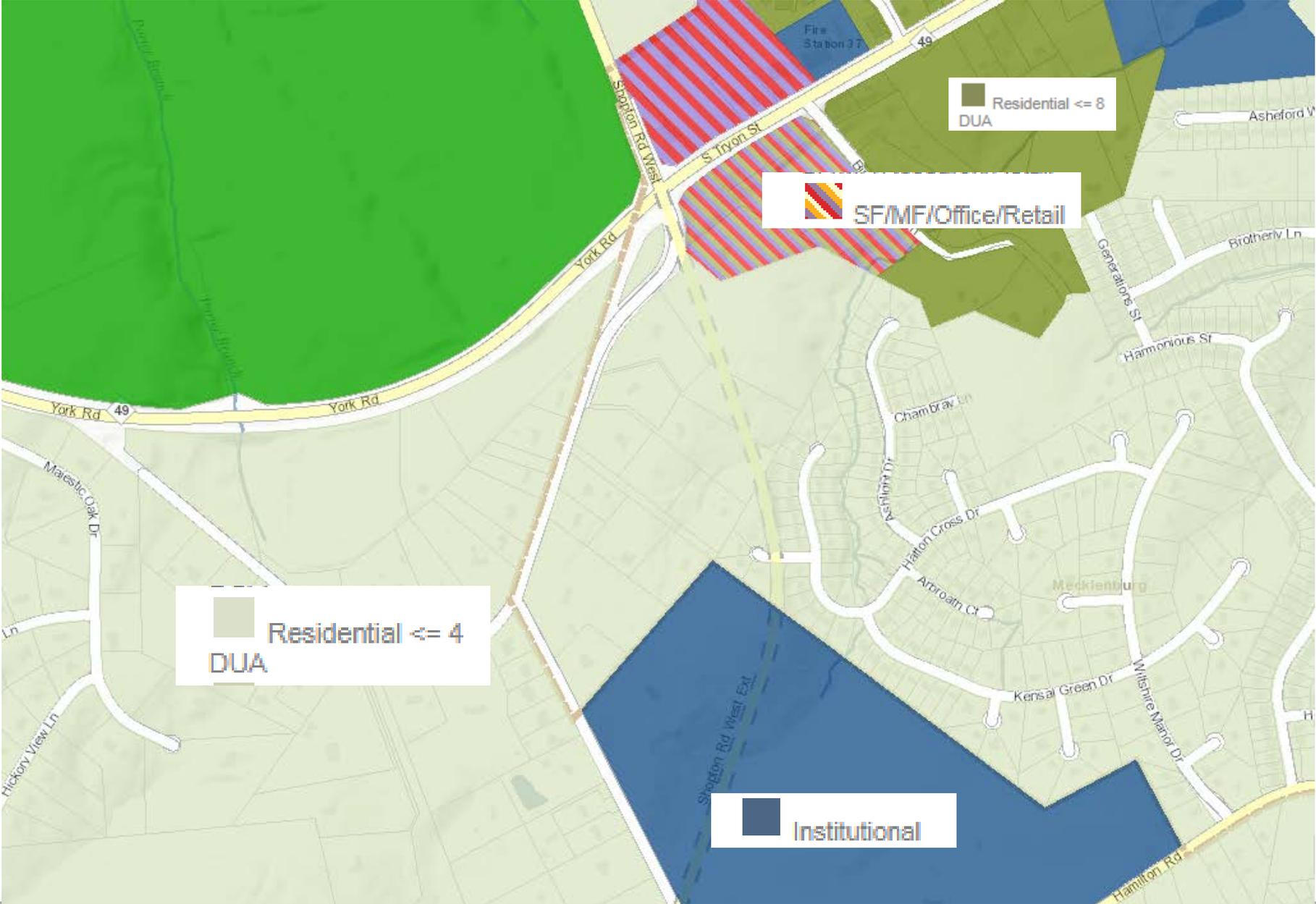
2,303.41 acres
9% of total acres

TOTAL ACRES 26,767.13

Source: Charlotte-Mecklenburg Planning Department, 09/21/2010

Note: The land use acreage figures are calculated by parcel and do not include rights-of-way. As a result, the total acreage figures will not always match the total acreage figure for the plan area which does include rights-of-way as part of that calculation.

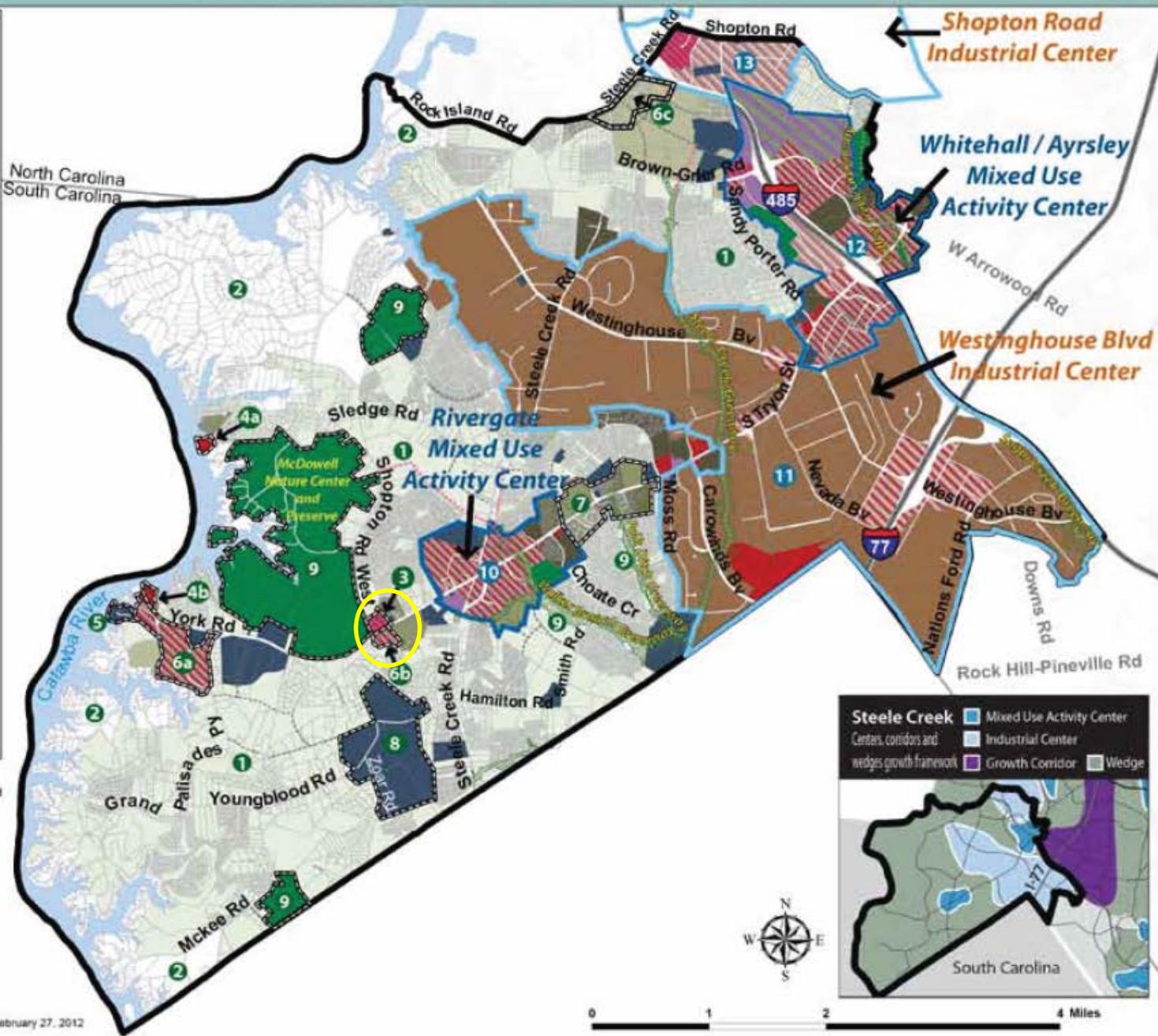
Proposed Uses in Steele Creek Area Plan



Recommended Land Use

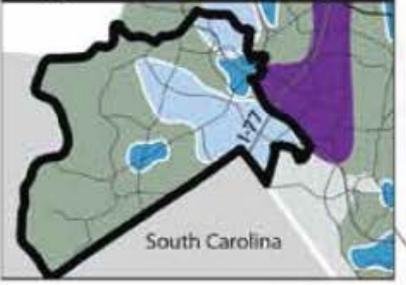
- Residential <= 1 DUA (See Policy 2, Page 15)
 - Residential <= 4 DUA
 - Residential <= 5 DUA
 - Residential <= 6 DUA
 - Residential <= 8 DUA
 - Residential <= 12 DUA
 - Residential <= 17 DUA
 - Institutional
 - Office
 - Retail
 - Industrial-Warehouse-Distribution
 - Park/ Open Space
 - Residential/ Office/ Retail
 - Residential/ Office
 - Office/ Retail
 - Office/ Industrial-Warehouse-Distribution
 - Office/ Retail/ Industrial-Warehouse-Distribution
 - Wedge Land Use Recommendation
 - Activity Center Land Use Recommendation
- Activity Centers**
- Mixed Use
 - Industrial
 - Proposed Street*
 - Plan Area Boundary
 - 100 Year Floodplain
- Greenways**
- Developed
 - Approved (Greenway Master Plan)
 - Recommended

* Note: The location of the proposed streets is conceptual. Alternative locations, consistent with the intent of the proposed network, will also be considered. Additional streets may be requested to facilitate improved network and connectivity.



Steele Creek

- Mixed Use Activity Center
- Industrial Center
- Growth Corridor
- Wedge





- 6b. Allow a mixture of residential, office and retail land uses on the southeast corner of York Road (NC 49) and Youngblood Road to serve the immediate area. One or any combination of these uses is appropriate. Development should be limited to a convenience size center (70,000 square feet maximum). Residential densities should not exceed eight dwelling units per acre and should serve as a transition to the adjacent residential development.





Ordinance/Policy Requirements





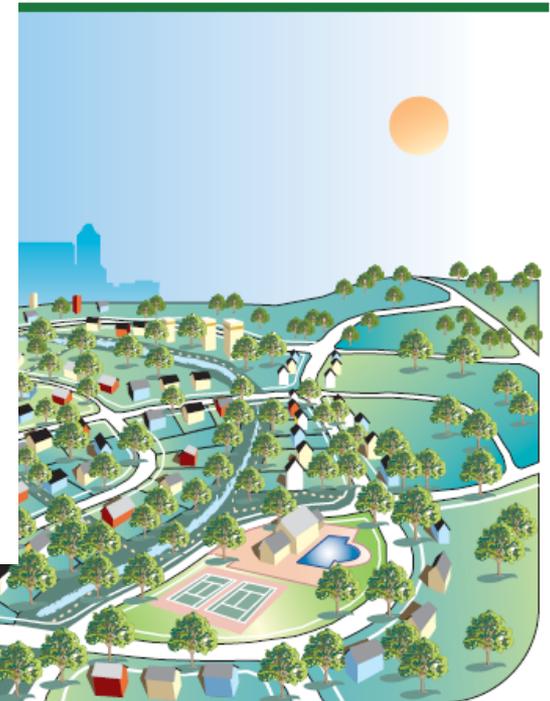
City Connectivity Policies



Sec. 20-23. – Design Standards for Street Network and Blocks

- (a) **Street Network.** A network of interconnected streets providing both external and internal connectivity is required for all types of new development. This network can be constructed with either public streets or private streets as allowed under 20-25. The following uses are exempt from the street network requirements:
- (1) Schools
 - (2) Parks
 - (3) Places of Worship
 - (4) Cemeteries
- (b) **External Connectivity**
- (1) **Existing Street Stubs**
 - a. Extend any existing adjacent street stubs into the development on its proper projection
 - b. Extend any existing adjacent paper street stub into the development where the city commits to construct the paper portion of the street no later than the time of permit approval.
 - c. Complete any existing adjacent half street located along any property line.

Subdivision Ordinance



Sec. 20-23. – Design Standards for Street Network and Blocks

(a) **Street Network.** A network of interconnected streets providing both external and internal connectivity is required for all types of new development. This network can be constructed with either public streets or private streets as allowed under 20-25. The following uses are exempt from the street network requirements:

- (1) Schools
- (2) Parks
- (3) Places of Worship
- (4) Cemeteries

(b) **External Connectivity**

(1) **Existing Street Stubs**

- a. Extend any existing adjacent street stubs into the development on its proper projection
- b. Extend any existing adjacent paper street stub into the development where the city commits to construct the paper portion of the street no later than the time of permit approval.
- c. Complete any existing adjacent half street located along any property line.

Traffic Impact Studies (TIS)

The fear of negative traffic impacts is one of the most frequent reasons Charlotte residents give for opposing rezoning petitions. CMPC and the City Council want to know about traffic issues as well. That is why CDOT works with developers to prepare traffic impact studies as part of the rezoning petition process. Traffic studies are used to:

- Identify the development's transportation impacts
- Determine off-site mitigation needed to overcome the transportation impacts
- Identify whether phasing the development would be appropriate
- Determine access design that should be incorporated into the site plan

When is a TIS Required?

The City requires any site development that generates 2,500 or more vehicular trips per weekday to prepare a TIS. A study also will be required when a development:

- Affects a location with a high vehicle crash history
- Takes place at a high congestion location ($v/c > 1$)
- Creates the fourth leg of an existing signalized intersection
- Exacerbates an already difficult situation such as at a railroad crossing, fire station access, school access, etc.

Developments that would generate 2,500 daily trips:

- 260 houses
- 370 apartments
- 225,000 sq ft offices
- 21,500 sq ft retail

We ask developers to update their TIS when:

- The proposed development's land use mix changes
- Access to the site changes
- Other significant changes have occurred in the surrounding area
- A previous study is more than two years old

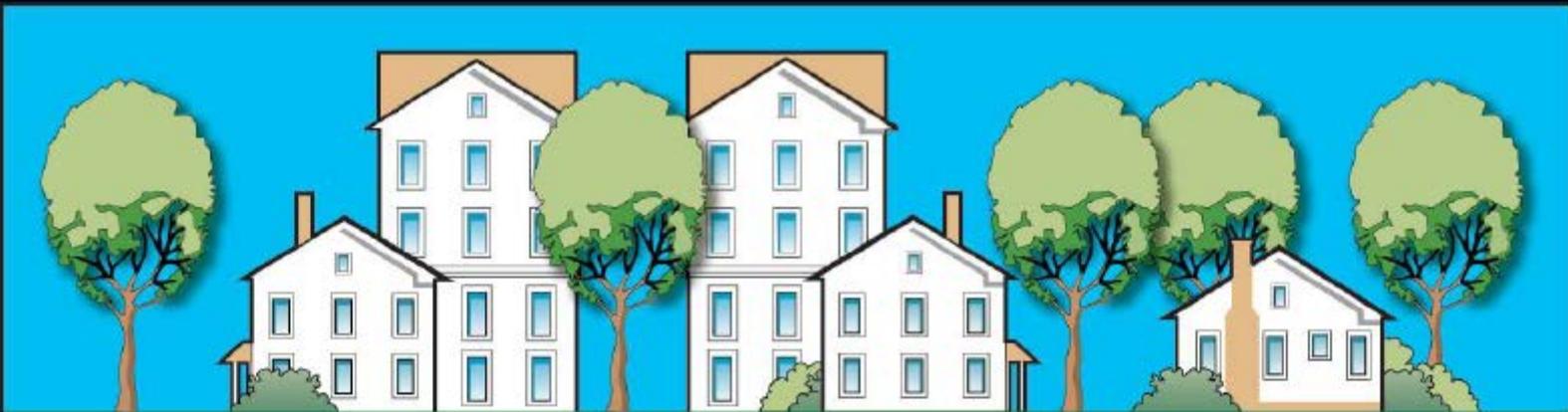
Notification of Need for TIS

CDOT will notify petitioners of the need for a TIS within three days of submitting a Rezoning Application.



City Priorities





Incentive Based
INCLUSIONARY HOUSING

Incentive-Based Inclusionary Housing

1. Creates new tools to incentivize private sector development of affordable housing
2. Disperses affordable housing within the community
3. Encourages a range of housing types and income levels
4. Increases opportunities for people to age in place



Single Family - Program Criteria

Participation – Voluntary, not required

Applicability – Census block groups that are at or above the median home value according to 5 year estimates from the American Community Survey (currently \$153,000)

Density Bonus – up to 3 DUA above base density in R-3, R-4, R-5 & R-6 zoning districts

Set-Aside – 50% of additional units affordable, not to exceed 25% of development

Income Target – at or below 80% AMI, currently \$54,800

Other Incentives – reduced lot sizes and mix of housing types up to a quadraplex

Period of Affordability – “Right of First Refusal” on resale for 15 years or defer to the respective program guidelines if public financing involved



Adjacent Owner/Community Concerns





Proposed Conditional Rezoning



How to identify Conditional Rezoning:

Conventional	Conditional
O-1	O-1(CD)*
TOD-M	TOD-MO**
	B-2(CD) SPA*
	NS, CC, RE-3, MX*

* Commits to standards that go beyond the base zoning ordinance requirements and are specific for each petition.

** Reduces or eliminates the base zoning ordinance standards, AND typically commits to other standards that go beyond the base zoning ordinance requirements. Also specific for each petition.



30,000 s.f. of commercial

280 Residential units

10 Per acre

The image features a blue bokeh background with a central orange banner. The bokeh consists of numerous out-of-focus light spots in various shades of blue and white, creating a shimmering, ethereal effect. The orange banner is a solid, vibrant color that spans the width of the image, providing a clear contrast for the white text.

Community Feedback

COMMUNITY'S CONCERNS?

- Commercial/Residential Mix
- Rental Product
- Density
- Traffic
- Connectivity Concerns
- Bike/Pedestrian Improvements
- Buffering
- Natural Open Space
- Community Open Space
- Aesthetics
- Affordability

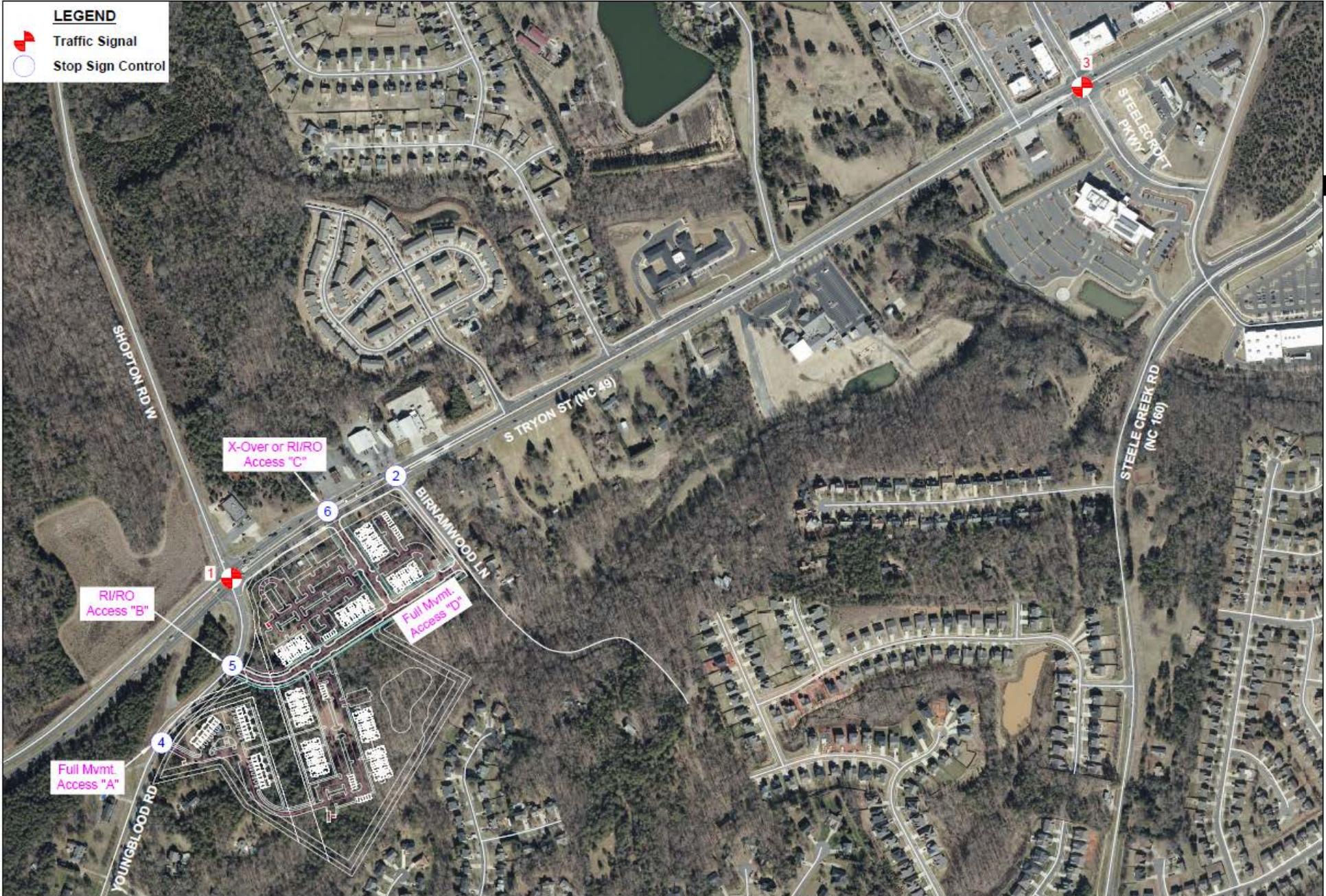




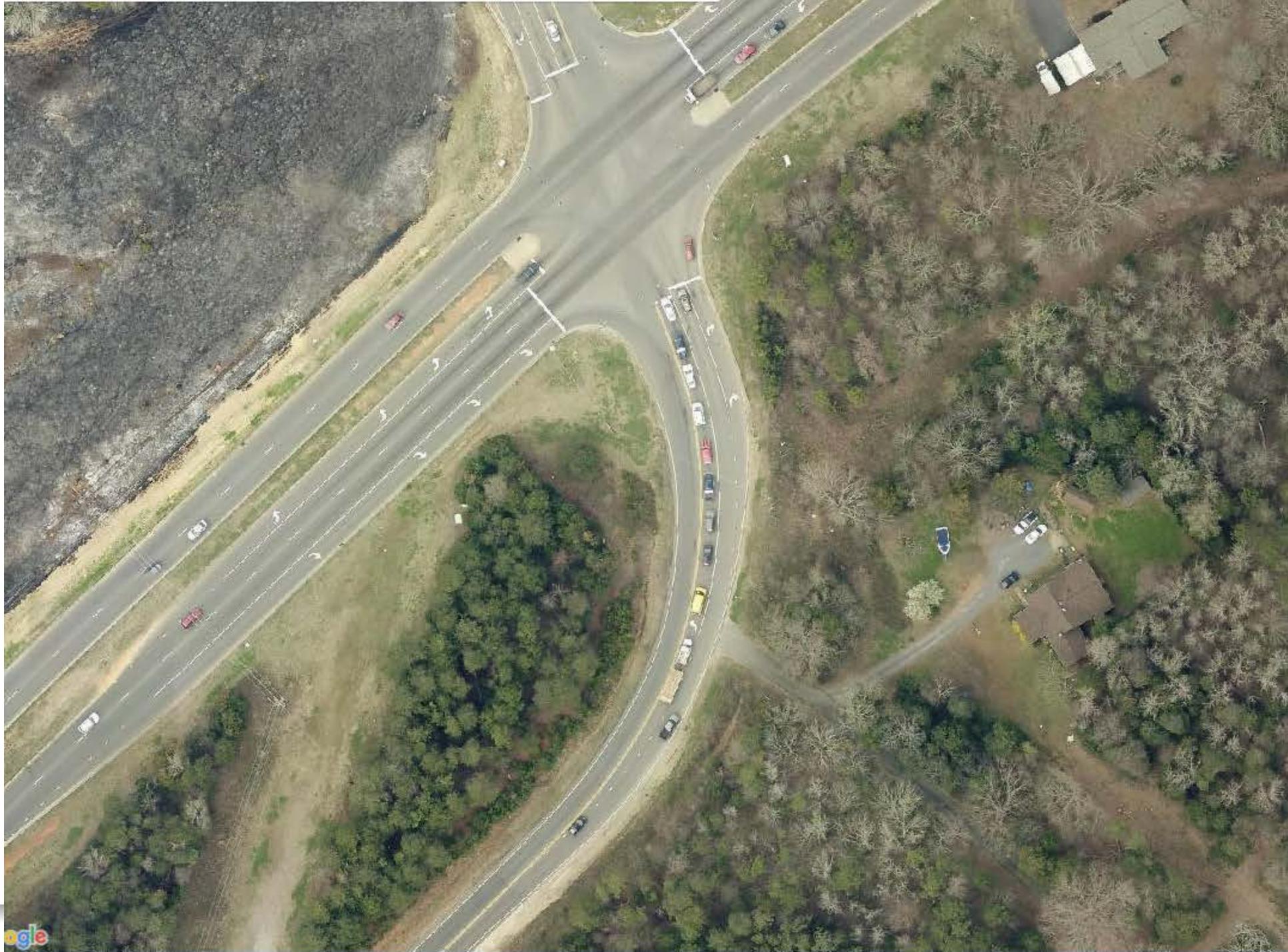
Traffic

LEGEND

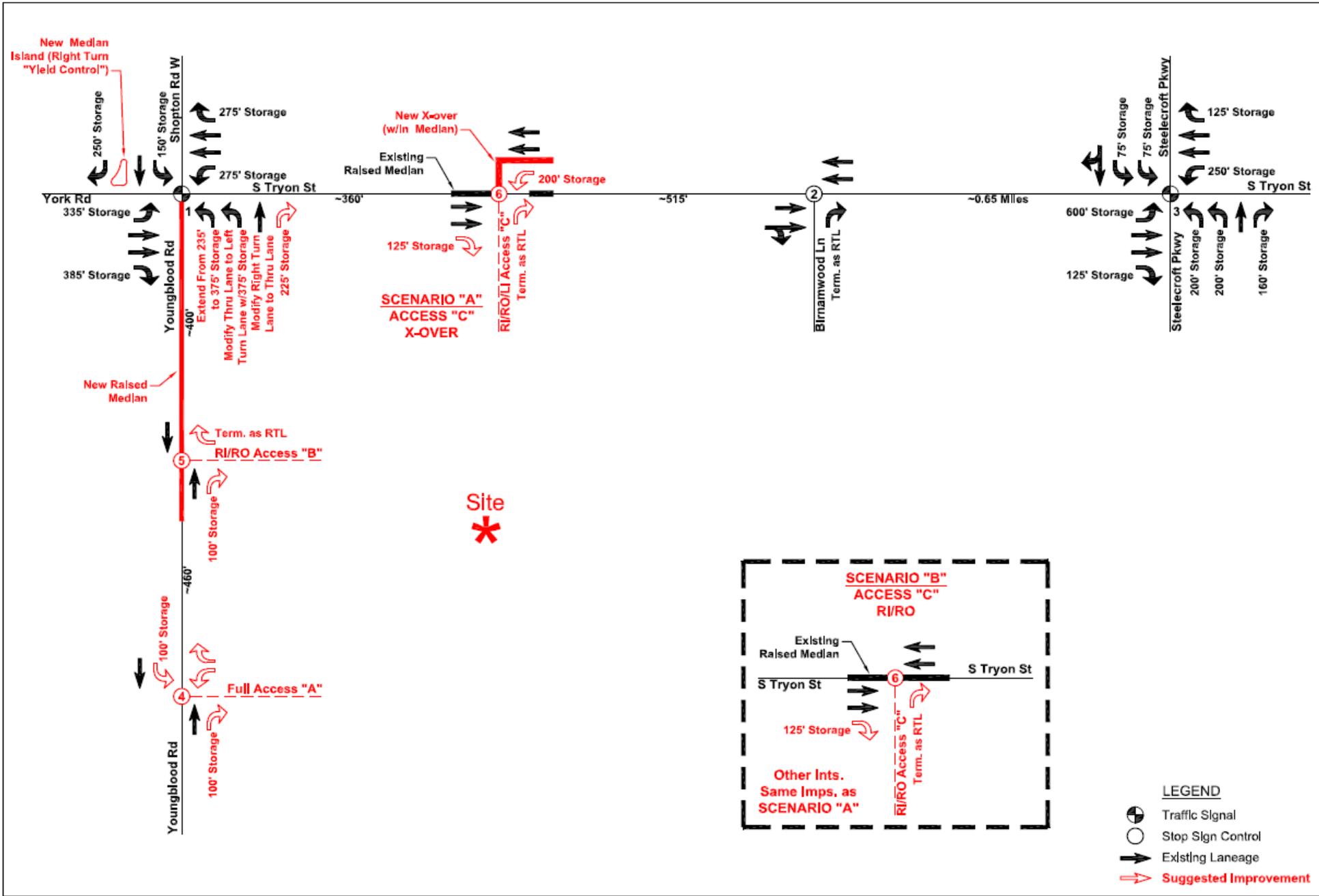
-  Traffic Signal
-  Stop Sign Control

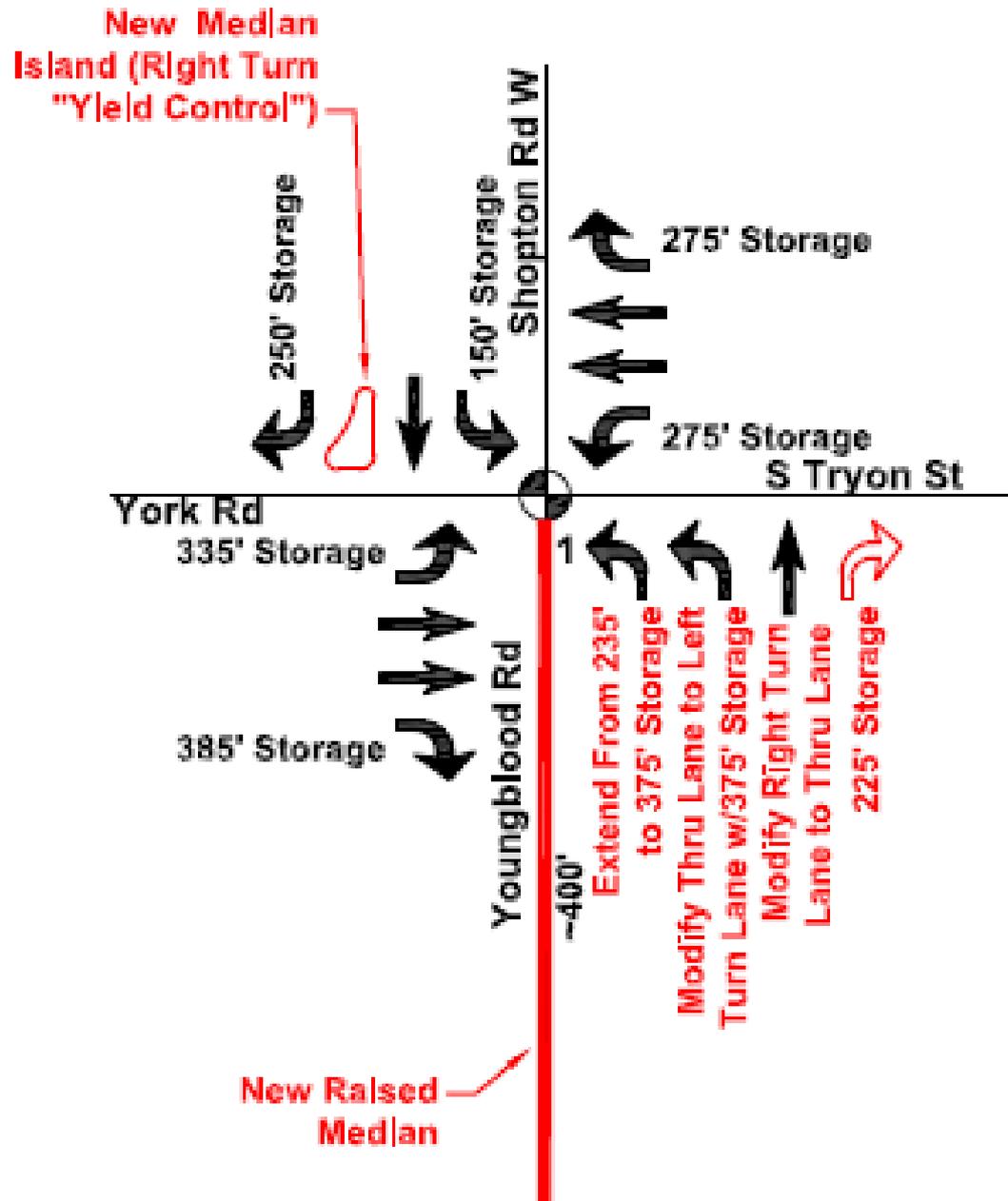


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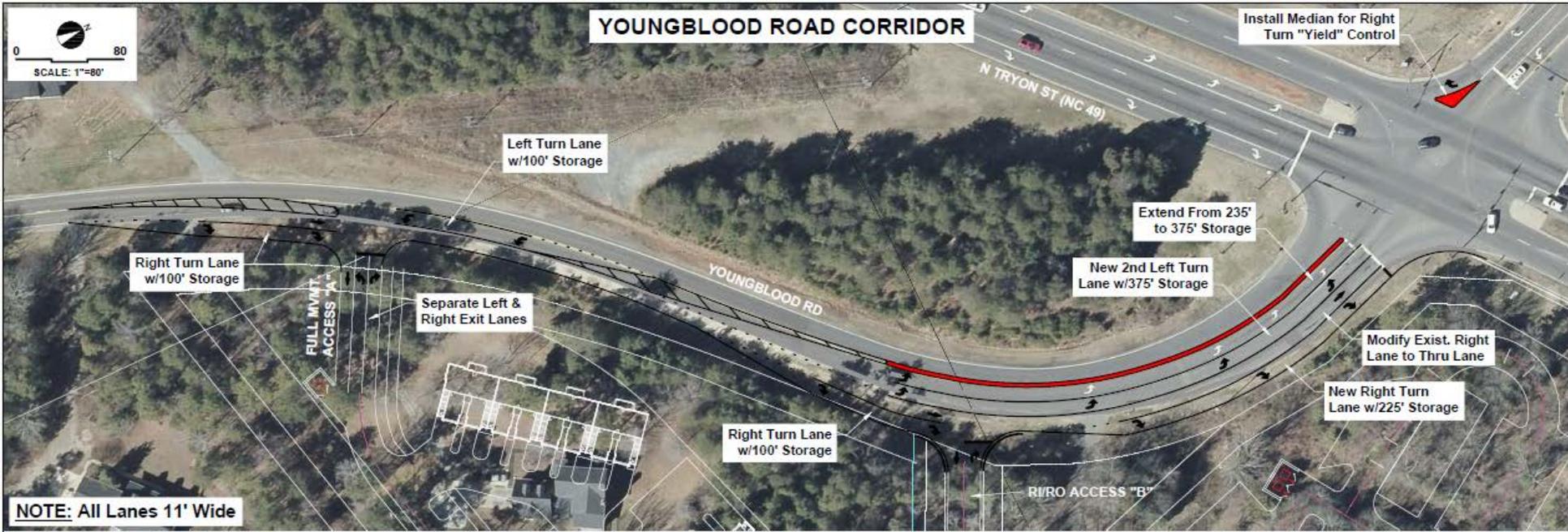






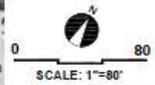
YOUNGBLOOD ROAD CORRIDOR

Install Median for Right Turn "Yield" Control



NOTE: All Lanes 11' Wide

S. TRYON STREET (NC 49) CORRIDOR



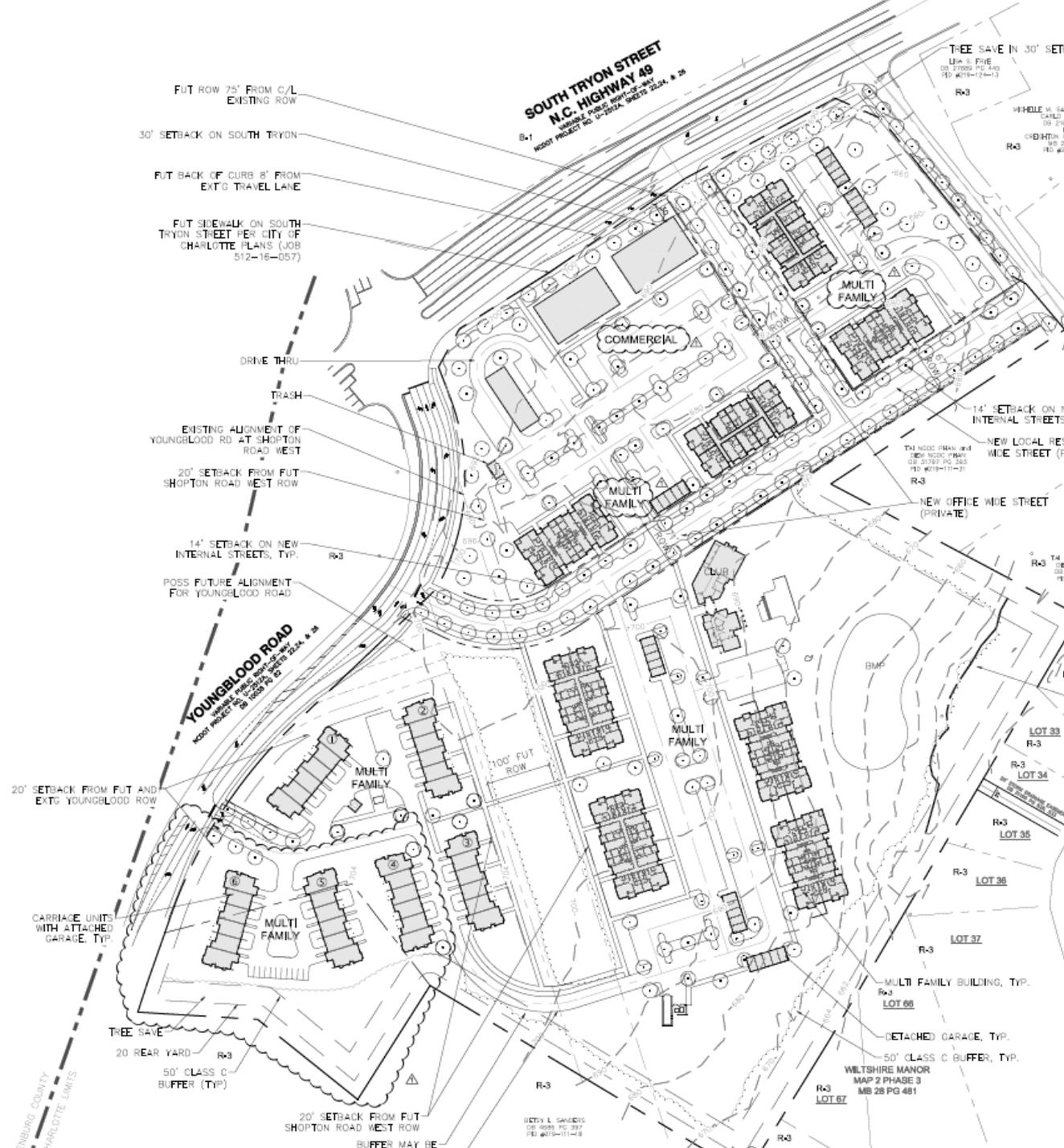
NOTE: All Lanes 11' Wide

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Revised Plan





30,000 s.f. of commercial

254 Residential units

8.46 Units Per acre



SOUTH TRYON STREET
N.C. HIGHWAY 49
WILSHIRE MANOR MAP 2 PHASE 1
MB 26 PG 431
WDP PROJECT NO. 0-2014-0001 PLK 4 & 5

USE 3 PERM
BY 12/28/10 PG 441
PD 0117-10-12

WILSHIRE MANOR MAP 2 PHASE 1
MB 26 PG 431
WDP PROJECT NO. 0-2014-0001 PLK 4 & 5

NEW NEIGHBORHOOD
SERVICE / COMMERCIAL

NEW STREET NETWORK

BIRKAMWOOD LANE
WILSHIRE MANOR MAP 2 PHASE 1
MB 26 PG 431
WDP PROJECT NO. 0-2014-0001 PLK 4 & 5

CLUBHOUSE

YOUNGBLOOD ROAD
WILSHIRE MANOR MAP 2 PHASE 1
MB 26 PG 431
WDP PROJECT NO. 0-2014-0001 PLK 4 & 5

BMP

LOT 31

LOT 30

LOT 34

WILTSHIRE MANOR
MAP 2 PHASE 2
MB 27 PG 65

LOT 35

LOT 36

NEW MULTI-FAMILY

LOT 32

BUFFER / TREE SAVE

LOT 33

WILTSHIRE MANOR
MAP 2 PHASE 3
MB 28 PG 481

LOT 27

NEW TOWNHOMES

FUTURE SHOPTON ROAD
WEST ALIGNMENT

WILSHIRE MANOR
MAP 2 PHASE 3
MB 28 PG 481

LOT 28

GREENING COUNTY
CHARLOTTE UNITS



-ELEVATION-

SCALE: NT



Youngblood Mixed Use
Steele Creek Community
Charlotte, NC
3/1/2018





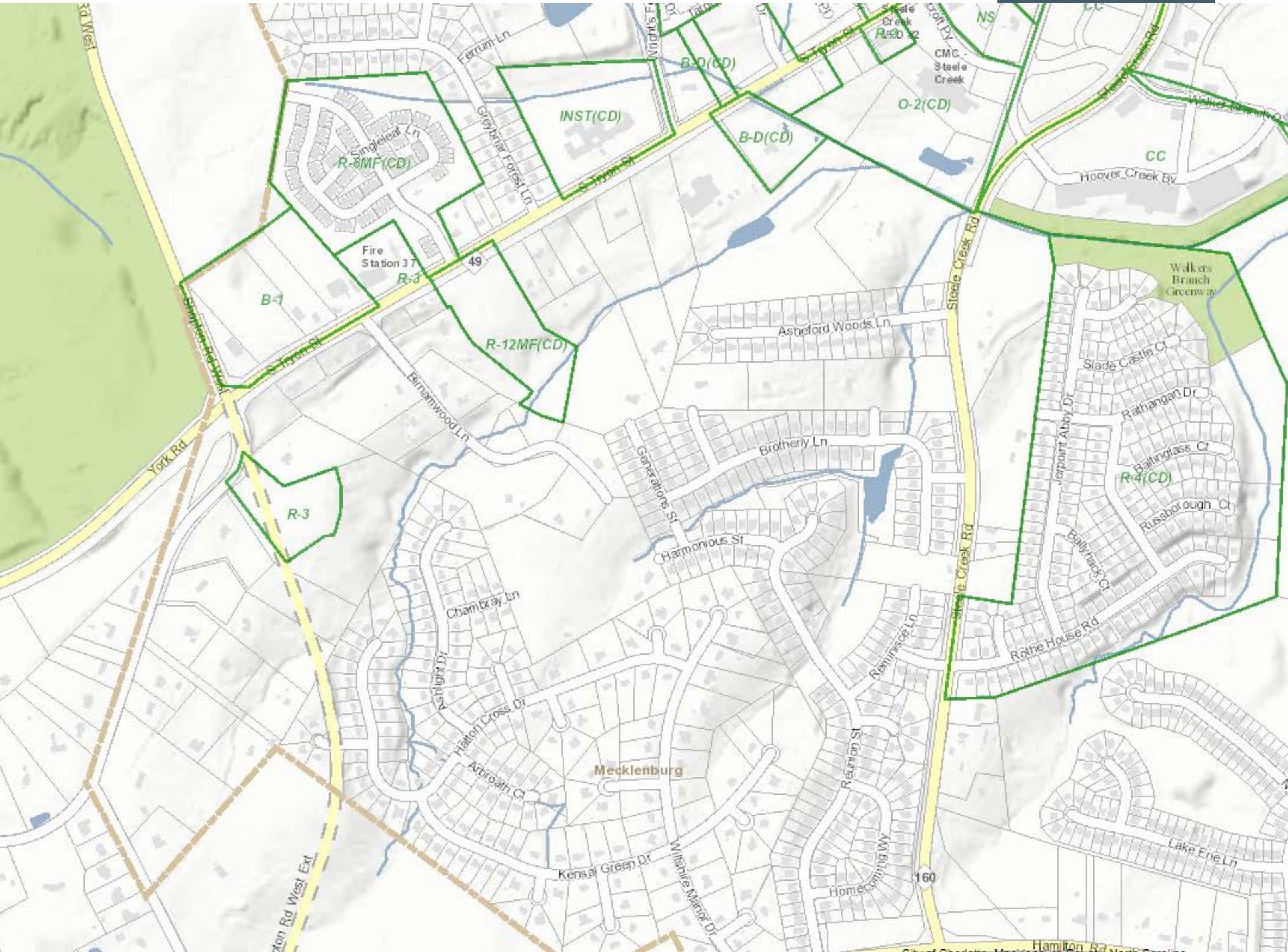
GENERAL NOTE:

This image is illustrative of the proposed development and is intended to reflect the architectural style and quality of the buildings that will be constructed on site. This image is illustrating the intended use of materials, rooflines and wall planes. The actual buildings on the site may vary from this illustration provided that the design intent is preserved.



Rezoning Petition 2017-197





LAND OWNER: CHAMPION CHRISTIAN CENTER INC.
P.O. BOX 691533
CHARLOTTE, NC 28227

PID#: 219-124-03

JURISDICTION: CITY OF CHARLOTTE

DEED BOOK & PAGE: 23048 / 857

TOTAL SITE ACREAGE: ±7.05 AC
DENSITY: ±10.21 DU/AC

CURRENT ZONING: R-3
PROPOSED ZONING: R-12MF(CD)

EXISTING USE: VACANT
PROPOSED USE: UP TO 72 MULTI-FAMILY RESIDENTIAL DWELLING
UNITS TOGETHER WITH ACCESSORY USES, AS
ALLOWED IN THE R-12MF ZONING DISTRICT.

MAXIMUM BUILDING HEIGHT NOT TO EXCEED THREE (3) STORIES OR 48 FEET
BUILDING HEIGHT WILL BE MEASURED AS DEFINED BY THE ORDINANCE.

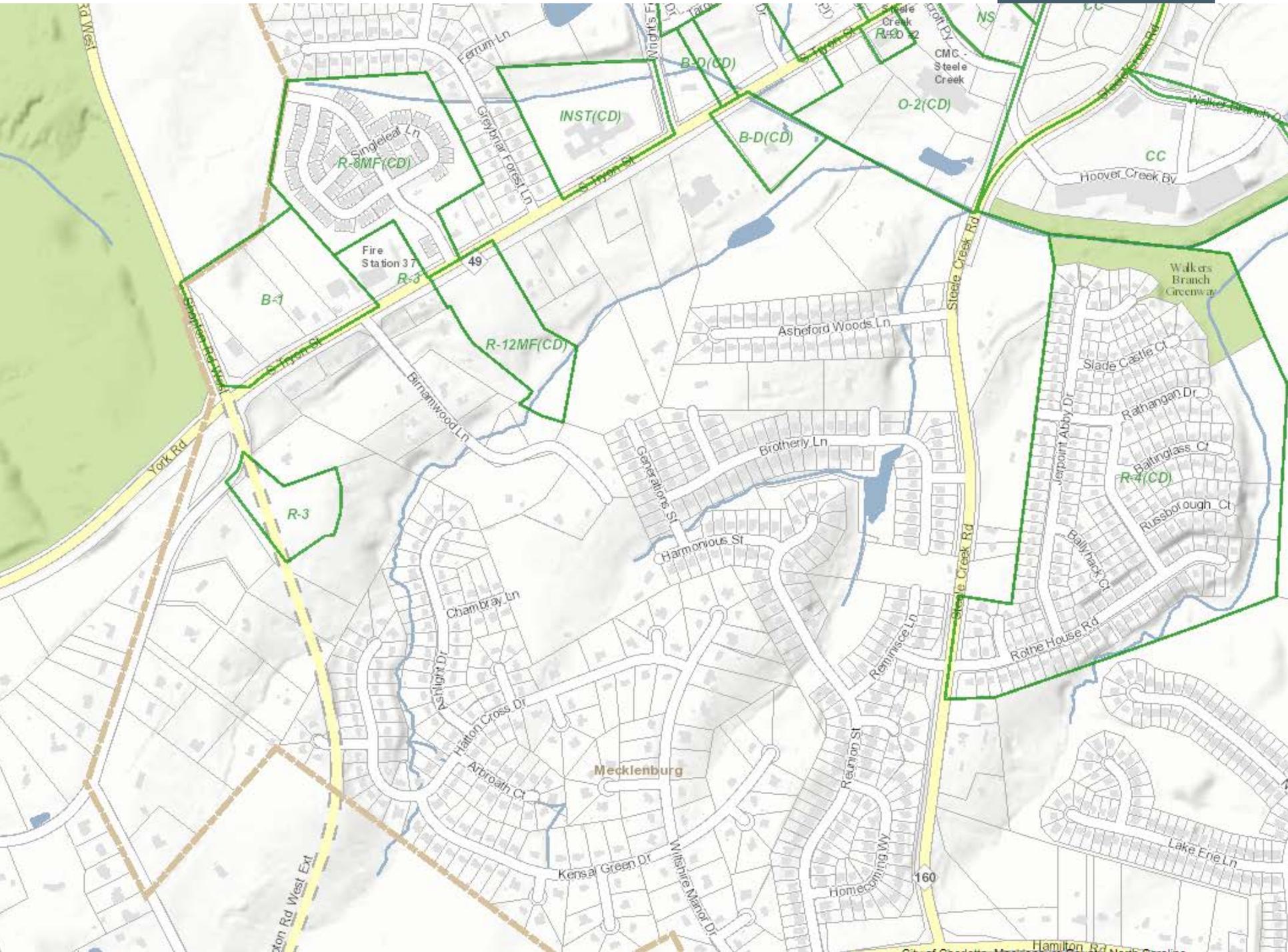
OPEN SPACE REQUIRED: 20.0%
PROPOSED SPACE REQUIRED: 20.0%

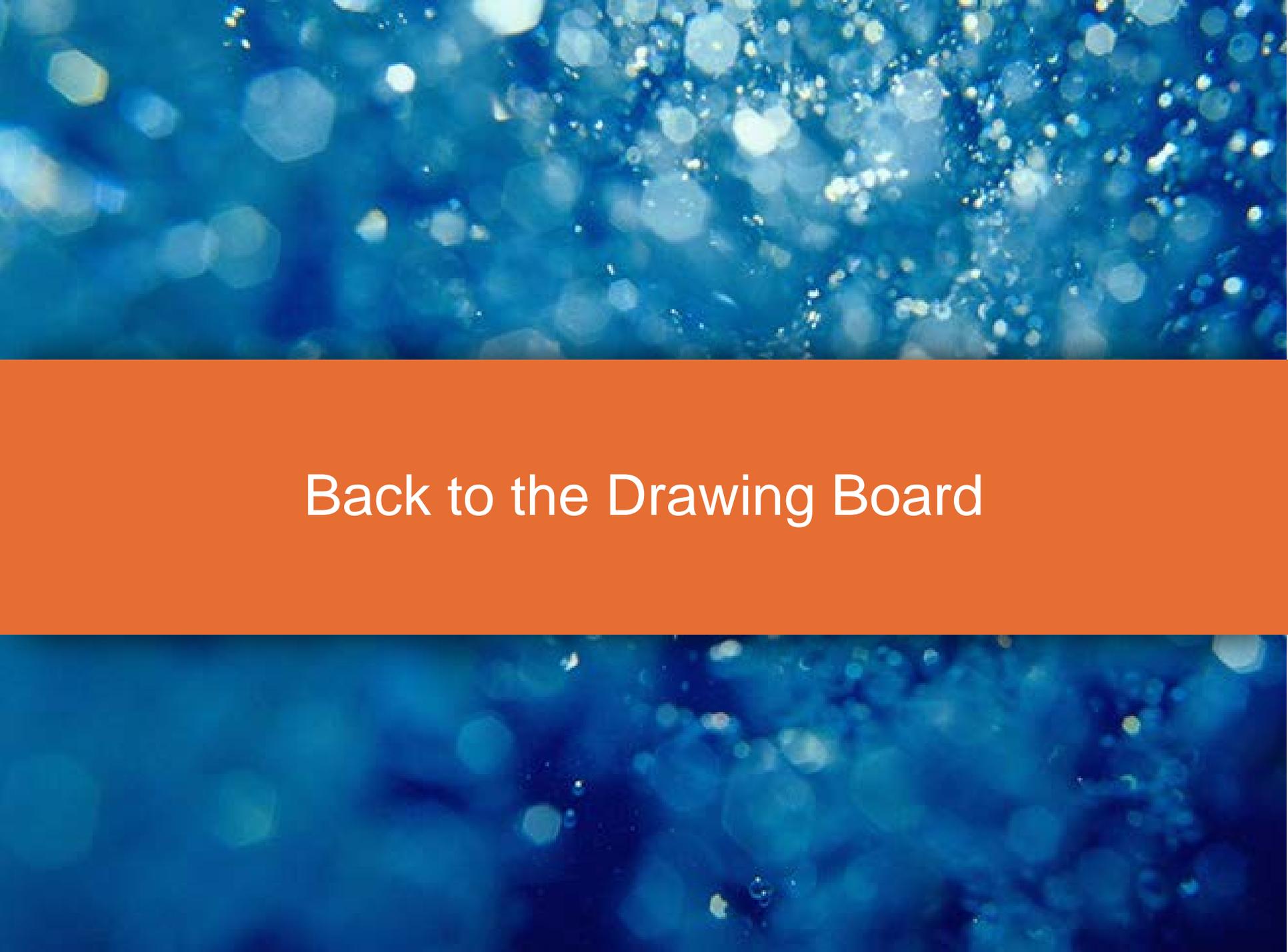
TREE SAVE REQUIRED: (15.0% (1.06 AC))

2. Permitted Uses & Development Area Limitation:

a. The Site may be developed with up to 72 multi-family residential dwellings units together with accessory uses allowed in the R-12MF zoning district as generally depicted on the Rezoning Plan.

b. **Workforce Housing:** The Petitioner shall provide a workforce housing program to ensure that the residential units are reasonably priced for persons earning less than the median income for the area. The Petitioner shall ensure that all the proposed residential units constructed on the Site, for a period of not less than 30 years, maintain monthly rents that are income restricted for households earning 60% or less of the area median income.



The image features a blue bokeh background with a central orange banner. The bokeh consists of numerous out-of-focus light spots in various shades of blue and white, creating a shimmering effect. The orange banner is a solid, horizontal band that spans the width of the image, positioned in the middle. The text "Back to the Drawing Board" is centered within this banner in a white, sans-serif font.

Back to the Drawing Board



**SOUTH TRYON STREET
N.C. HIGHWAY 49**
UNIVERSITY PARK NORTH-2015
 2007 PROJECT 26 12-2014 SHEET 22.A & 24

**NEW NEIGHBORHOOD
SERVICE / COMMERCIAL**

NEW STREET NETWORK

BIRNAMWOOD LANE
2014 08/05/15
 PG 2014-02-27

CLUBHOUSE

YOUNGBLOOD ROAD
UNIVERSITY PARK NORTH-2015
 2007 PROJECT 26 12-2014 SHEET 22.A & 24

BMP

LOT 22

LOT 23

LOT 24

LOT 25

LOT 26

LOT 27

NEW MULTI-FAMILY

BUFFER / TREE SAVE

NEW TOWNHOMES

FUTURE SHOPTON ROAD

WILTSHIRE MANOR
 MAP 2 PHASE 2
 MB 27 PG 55

WILTSHIRE MANOR
 MAP 2 PHASE 3
 MB 28 PG 41

UNIV COUNTY
 PLATTE LOTS

REQUESTS

- Buffer Birnamham Wood
- Avoid Street Connection to Birnamham
- Reduce Rental Units on Youngblood
- Preserve Trees wherever possible
- Reduce Traffic Impact
- Limit Grading along Rear Property Line



SOUTH TRYON STREET
N.C. HIGHWAY 49
 WILKS COUNTY PUBLIC WORKS DEPT.
 HIGHWAY PROJECT NO. 17-001A, SHEET 22.A & 24

NEW NEIGHBORHOOD SERVICE / COMMERCIAL

NEW STREET NETWORK

BIRNAMWOOD LANE
 WILKS COUNTY PUBLIC WORKS DEPT.
 HIGHWAY PROJECT NO. 17-001A, SHEET 22.A & 24

CLUBHOUSE

YOUNGBLOOD ROAD
 WILKS COUNTY PUBLIC WORKS DEPT.
 HIGHWAY PROJECT NO. 17-001A, SHEET 22.A & 24

BMP

LOT 22

LOT 23

LOT 24

LOT 25

LOT 26

LOT 27

LOT 28

NEW MULTI-FAMILY

BUFFER / TREE SAVE

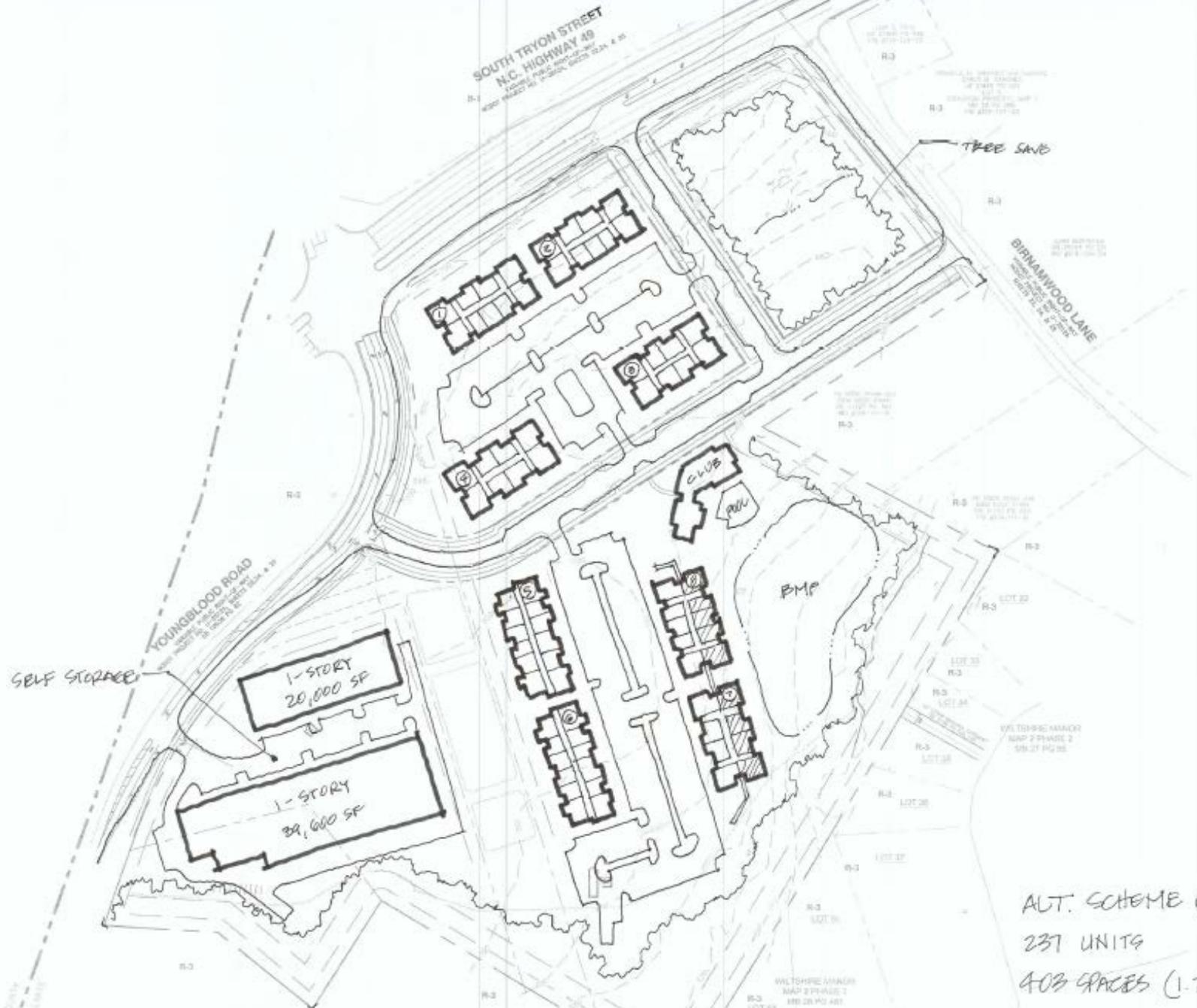
NEW TOWNHOMES

FUTURE SHOPTON ROAD

WILTSIRE MANOR
 MAP 2 PHASE 2
 MB 27 PG 55

WILTSIRE MANOR
 MAP 2 PHASE 3
 MB 28 PG 41

WILKS COUNTY
 PLANNING DEPARTMENT



ALT. SCHEME **D**
 237 UNITS
 403 SPACES (1.70)



Birnamwood Buffer

FROM C/L
ING ROW
H TRYON
FROM
EL LANE
N SOUTH
CITY OF
NS (JOB
16-057)

MENT OF
HOPTON
ND WEST
FROM FUT
ST ROW
ON NEW
TS, TYP.
IGNMENT
D ROAD

COMMERCIAL
BUILDING

BLOOD ROAD

SOUTH TRYON STREET
N.C. HIGHWAY 49
REAR PUBLIC RIGHT-OF-WAY
WEST PROPERTY SH. 0-3000, SWETS 200A & 20

BIRNWOOD LANE
REAR PUBLIC RIGHT-OF-WAY
WEST PROPERTY SH. 0-3000, SWETS 200A & 20

2.06 acres

300+ Feet

27' SETBACK FROM
RIGHT OF WAY
NEW LOCAL RESIDENTIAL
WIDE STREET (PRIVATE)

SWM BUFFER AND TREE
SAVE



The image features a blue bokeh background with a central orange banner. The bokeh consists of numerous out-of-focus light spots in various shades of blue and white, creating a shimmering, ethereal effect. The orange banner is a solid, vibrant color that spans the width of the image, providing a clear contrast for the white text.

Youngblood Transition



**SOUTH TRYON STREET
N.C. HIGHWAY 49**
UNIVERSITY PARK NORTH-2015
 100% PROJECT 24, 25-26, 27, 28, 29, 30, 31, 32, 33, 34

**NEW NEIGHBORHOOD
SERVICE / COMMERCIAL**

NEW STREET NETWORK

BIRNAMWOOD LANE
UNIVERSITY PARK NORTH-2015
 100% PROJECT 24, 25-26, 27, 28, 29, 30, 31, 32, 33, 34

CLUBHOUSE

YOUNGBLOOD ROAD
UNIVERSITY PARK NORTH-2015
 100% PROJECT 24, 25-26, 27, 28, 29, 30, 31, 32, 33, 34

BMP

LOT 22

LOT 23

LOT 24

LOT 25

LOT 26

LOT 27

LOT 28

NEW MULTI-FAMILY

BUFFER / TREE SAVE

NEW TOWNHOMES

FUTURE SHOPTON ROAD

WILTSHIRE MANOR
MAP 2 PHASE 2
ME 27 PG 55

WILTSHIRE MANOR
MAP 2 PHASE 3
ME 28 PG 41

UNIV COUNTY
PLANNING DEPARTMENT



FUT ROW 75' FROM C/L EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB & FROM EXTC TRAVEL LANE
FUT SIDEWALK ON SOUTH TRYON STREET PER CITY OF CHARLOTTE PLANS (JOB 512-16-057)

EXISTING ALIGNMENT OF YOUNGBLOOD RD AT SHOPTON ROAD WEST
30' SETBACK FROM FUT SHOPTON ROAD WEST ROW
27' SETBACK ON NEW INTERNAL STREETS, TYP.
POSS FUTURE ALIGNMENT FOR YOUNGBLOOD ROAD

COMMERCIAL BUILDING

20' SETBACK FROM FUT AND EXTC YOUNGBLOOD ROW

COMMERCIAL BUILDING

20' REAR YARD
75' BUFFER (TYP)
BUFFER MAY BE REDUCED WITH FENCE
TRASH
TREE SAVE

20' SETBACK FROM FUT SHOPTON ROAD WEST ROW

BUFFER MAY BE REDUCED TO ACCOMMODATE FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED BY DOT, TYP. AT D/W INTERSECTIONS

30' SETBACK FROM FUTURE MAIN ROAD RIGHT OF WAY (TYP)

SOUTH TRYON STREET
N.C. HIGHWAY 49

BIRMAHOOD LANE

27' SETBACK FROM RIGHT OF WAY
NEW LOCAL RESIDENTIAL WIDE STREET (PRIVATE)

SWM BUFFER AND TREE SAVE

MULTI FAMILY BUILDING, TYP.

DETACHED GARAGE, TYP.
50' CLASS C BUFFER, TYP.
TRASH, TYP.

EXISTING ALIGNMENT OF
YOUNGBLOOD RD AT SHOPTON
ROAD WEST

30' SETBACK FROM FUT
SHOPTON ROAD WEST ROW

27' SETBACK ON NEW
INTERNAL STREETS, TYP.

POSS FUTURE ALIGNMENT
FOR YOUNGBLOOD ROAD

COMMERCIAL
BUILDING

YOUNGBLOOD ROAD

20' SETBACK FROM FUT AND
EXTG YOUNGBLOOD ROW

2 STORY
40,000 SF

1 STORY
46,100 SF

COMMERCIAL
BUILDING

20 REAR YARD
75' BUFFER (TYP)
BUFFER MAY BE
REDUCED WITH FENCE
TRASH
TREE SAVE

20' SETBACK FROM FUT
SHOPTON ROAD WEST ROW

BUFFER MAY BE REDUCED TO ACCOMMODATE
FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED

30' SETBACK FROM
FUTURE MAIN ROAD ROW





PROPOSED NORTH/SOUTH ELEVATION, LOOKING EAST



PROPOSED NORTH/SOUTH ELEVATION, LOOKING WEST



PERSPECTIVE: LOOKING NORTH



PERSPECTIVE: LOOKING SOUTH



PERSPECTIVE: LOOKING EAST



Buffer/Tree Save





FUT ROW 75' FROM C/L EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB IF FROM EXTC TRAVEL LANE
FUT SIDEWALK ON SOUTH TRYON STREET PER CITY OF CHARLOTTE PLANS (JOB 512-16-057)

EXISTING ALIGNMENT OF YOUNGBLOOD RD AT SHOPTON ROAD WEST
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BUFFER MAY BE REDUCED TO ACCOMMODATE FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED BY DOT, TYP. AT D/W INTERSECTIONS

30' SETBACK FROM FUTURE MAIN ROAD RIGHT OF WAY (TYP)

SOUTH TRYON STREET
N.C. HIGHWAY 49

27' SETBACK FROM RIGHT OF WAY
NEW LOCAL RESIDENTIAL WIDE STREET (PRIVATE)

SWM BUFFER AND TREE SAVE

MULTI FAMILY BUILDING, TYP.

DETACHED GARAGE, TYP.
50' CLASS C BUFFER, TYP.
TRASH, TYP.

YOUNGBLOOD ROAD

BIRMAHOOD LANE

SHOPTON ROAD WEST

2 STORY
40,000 SF

1 STORY
46,100 SF

MULTI FAMILY

POOL

BMP

CLUB

MULTI FAMILY

**SOUTH TRYON STREET
N.C. HIGHWAY 49**
4000 FEET R/W

FUT ROW 75' FROM C/L
EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB 8' FROM
EXIST' TRAVEL LANE
FUT SIDEWALK ON SOUTH
TRYON STREET PER CITY OF
CHARLOTTE PLANS (JOB
512-16-057)

EXISTING ALIGNMENT OF
YOUNGLOOD RD AT SHOPTON
ROAD WEST
30' SETBACK FROM FUT
SHOPTON ROAD WEST ROW
27' SETBACK ON NEW
INTERNAL STREETS, TYP.
POSS FUTURE ALIGNMENT
FOR YOUNGLOOD ROAD

20' SETBACK FROM FUT AND
EXIST' YOUNGLOOD ROW

COMMERCIAL
BUILDING

R-3
20' REAR YARD
75' BUFFER (TYP)
BUFFER MAY BE
REDUCED WITH FENCE
TRASH
TREE SAVE

20' SETBACK FROM FUT
SHOPTON ROAD WEST ROW

BUFFER MAY BE REDUCED TO ACCOMMODATE
FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED
BY DOT, TYP. AT D/W INTERSECTIONS.

30' SETBACK FROM
FUTURE MAIN ROAD RIGHT
OF WAY (TYP)

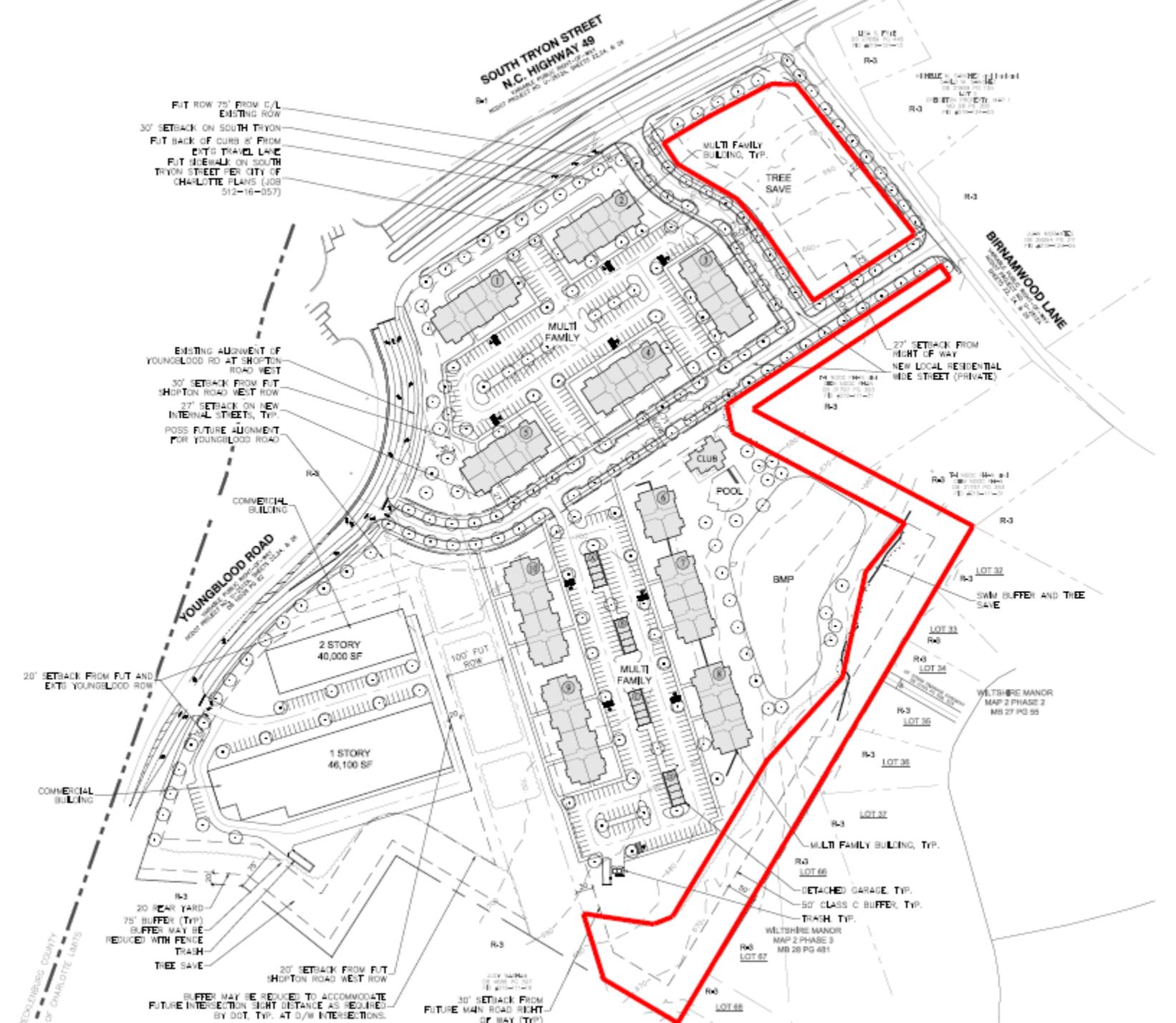
27' SETBACK FROM
RIGHT OF WAY
NEW LOCAL RESIDENTIAL
MILE STREET (PRIVATE)

BIRNAMWOOD LANE
4000 FEET R/W

WILTSHIRE MANOR
MAP 2 PHASE 2
MB 27 PG 55

WILTSHIRE MANOR
MAP 2 PHASE 3
MB 28 PG 491

SECALINGBORG COUNTY
OF CHARLOTTE LANDS



YOUNGLOOD ROAD
4000 FEET R/W

2 STORY
40,000 SF

1 STORY
46,100 SF

100' FUT
ROW

MULTI FAMILY

POOL

CLUB

BMP

LOT 32

LOT 33

LOT 34

LOT 35

LOT 36

LOT 37

LOT 38

LOT 39

LOT 40

LOT 41

LOT 42

LOT 43

LOT 44

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The image features a blue bokeh background with a central orange band. The word "Traffic" is written in white text on the orange band.

Traffic

Rezoning Transportation Analysis

Petition Number: 2017-112

General Location Identifier: 21911121, 21911115, 21911130

	Retail	30K sf		
	Apartments Retail	242 dwellings 30K sf	4700	Site Plan: 3-12-18

**Traffic Generation Drops by approximately 3,000 trips
A 200% Reduction**

Steele Creek Property Trip Generation

Land Use [ITE Code]			Weekday Daily	AM Peak Hour			PM Peak Hour		
				Enter	Exit	Total	Enter	Exit	Total
Mini-Storage [151]	79,600	SF	199	6	5	11	11	10	21
Multi-Family [220]	280	DUs	1,560	24	96	120	96	52	148
Total Trips			1,759	30	101	131	107	62	169

References:

Trip Generation, 9th Edition, Institute of Transportation Engineers, Washington, DC. 2012.

Traffic Impact Studies (TIS)

The fear of negative traffic impacts is one of the most frequent reasons Charlotte residents give for opposing rezoning petitions. CMPC and the City Council want to know about traffic issues as well. That is why CDOT works with developers to prepare traffic impact studies as part of the rezoning petition process. Traffic studies are used to:

- Identify the development's transportation impacts
- Determine off-site mitigation needed to overcome the transportation impacts
- Identify whether phasing the development would be appropriate
- Determine access design that should be incorporated into the site plan

**Revised Plan
would generate less
than 1,750 trips**

When is a TIS Required?

The City requires any site development that generates 2,500 or more vehicular trips per weekday to prepare a TIS. A study also will be required when a development:

- Affects a location with a high vehicle crash history
- Takes place at a high congestion location (v/c > 1)
- Creates the fourth leg of an existing signalized intersection
- Exacerbates an already difficult situation such as at a railroad crossing, fire station access, school access, etc.

Developments that would generate 2,500 daily trips:

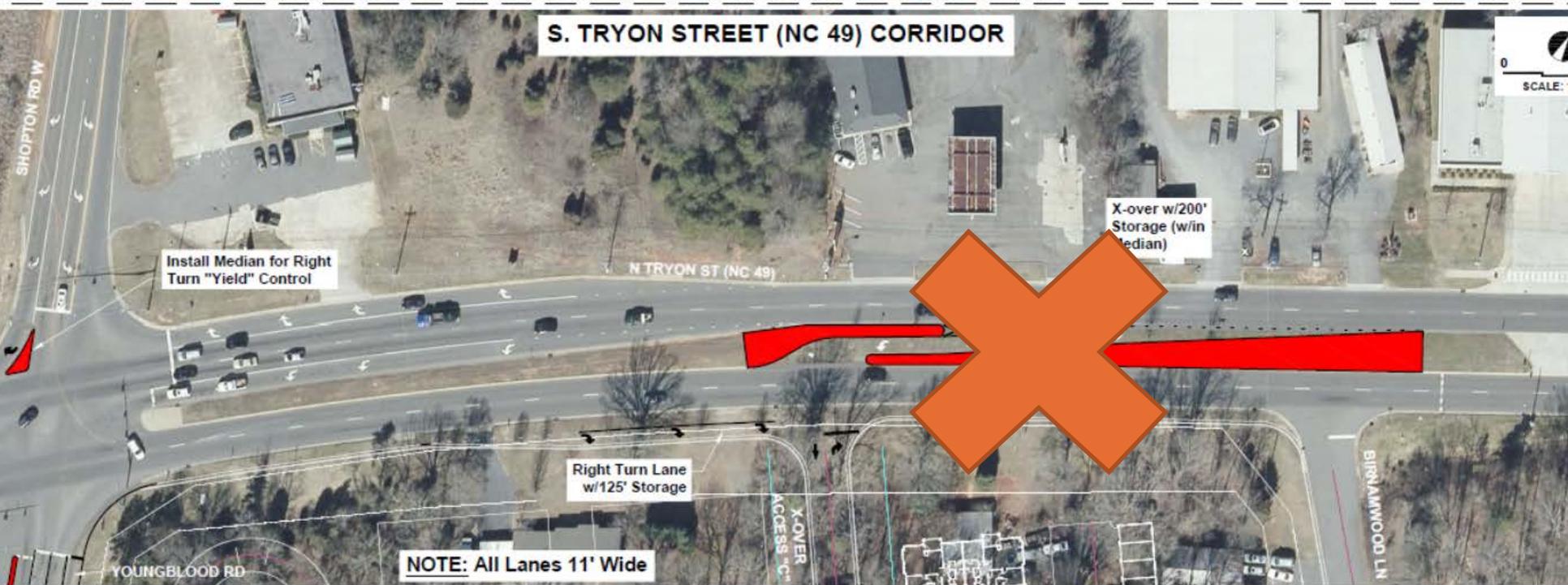
- 260 houses
- 370 apartments
- 225,000 sq ft offices
- 21,500 sq ft retail

We ask developers to update their TIS when:

- The proposed development's land use mix changes
- Access to the site changes
- Other significant changes have occurred in the surrounding area
- A previous study is more than two years old

Notification of Need for TIS

CDOT will notify petitioners of the need for a TIS within three days of submitting a Rezoning Application.





Birnamwood Connection



FUT ROW 75' FROM C/L EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB IF FROM EXTC TRAVEL LANE
FUT SIDEWALK ON SOUTH TRYON STREET PER CITY OF CHARLOTTE PLANS (JOB 512-16-057)

EXISTING ALIGNMENT OF YOUNGBLOOD RD AT SHOPTON ROAD WEST
30' SETBACK FROM FUT SHOPTON ROAD WEST ROW
27' SETBACK ON NEW INTERNAL STREETS, TYP.
POSS FUTURE ALIGNMENT FOR YOUNGBLOOD ROAD

20' SETBACK FROM FUT AND EXTC YOUNGBLOOD ROW

COMMERCIAL BUILDING

20 REAR YARD
75' BUFFER (TYP)
BUFFER MAY BE REDUCED WITH FENCE
TRASH
TREE SAVE

20' SETBACK FROM FUT SHOPTON ROAD WEST ROW

BUFFER MAY BE REDUCED TO ACCOMMODATE FUTURE INTERSECTION SIGHT DISTANCE AS REQUIRED BY DOT, TYP. AT D/W INTERSECTIONS

30' SETBACK FROM FUTURE MAIN ROAD RIGHT OF WAY (TYP)

SOUTH TRYON STREET
N.C. HIGHWAY 49

27' SETBACK FROM RIGHT OF WAY
NEW LOCAL RESIDENTIAL WIDE STREET (PRIVATE)

SWM BUFFER AND TREE SAVE

MULTI FAMILY BUILDING, TYP.

DETACHED GARAGE, TYP.
50' CLASS C BUFFER, TYP.
TRASH, TYP.

YOUNGBLOOD ROAD

BIRMAHOOD LANE

SHOPTON ROAD WEST

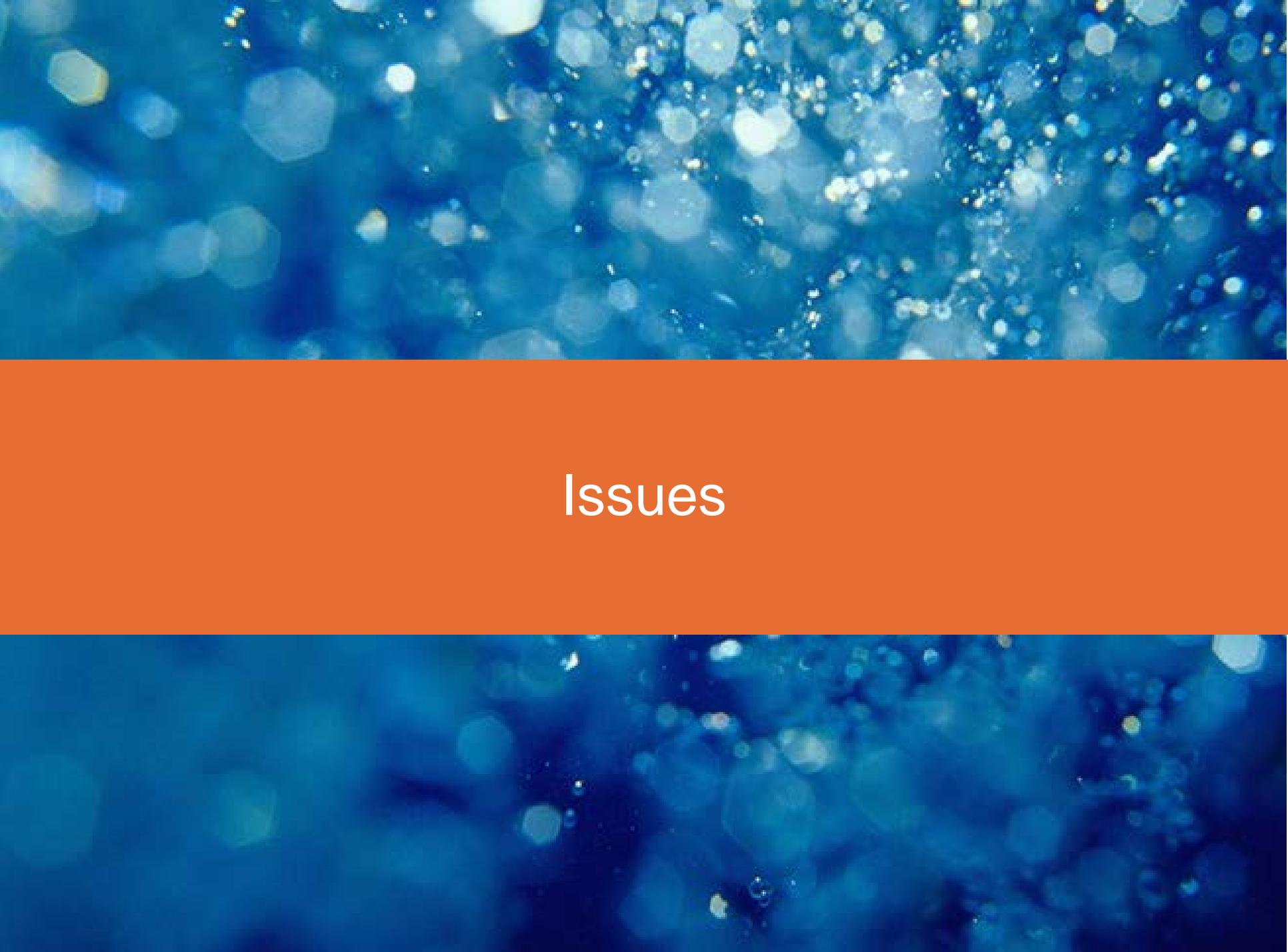
2 STORY
40,000 SF

1 STORY
46,100 SF

POOL

BMP

MULTI FAMILY



Issues



GENERAL NOTE:

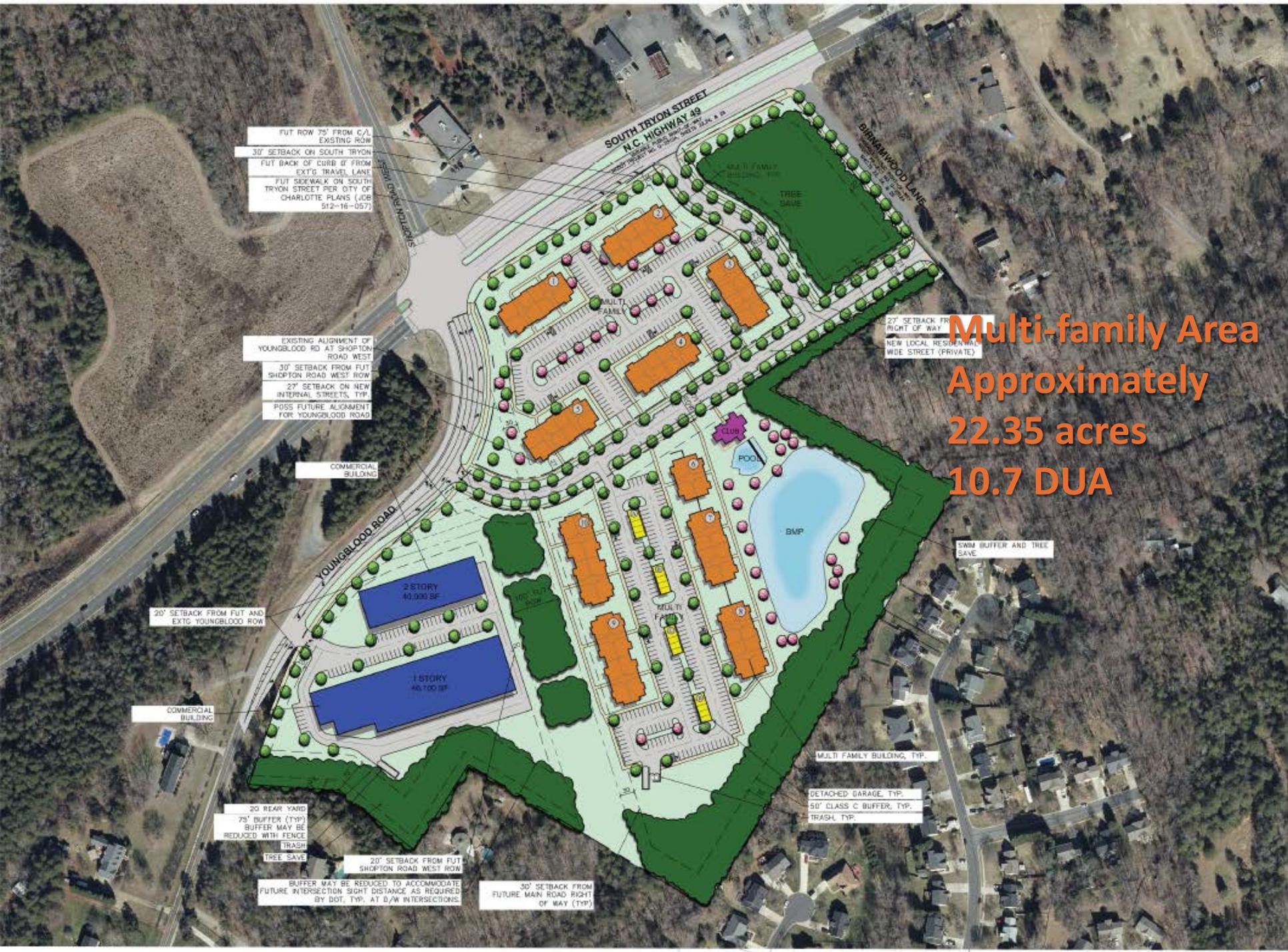
This image is illustrative of the proposed development and is intended to reflect the architectural style and quality of the buildings that will be constructed on site. This image is illustrating the intended use of materials, rooflines and wall planes. The actual buildings on the site may vary from this illustration provided that the design intent is preserved.

6b. Allow a mixture of residential, office and retail land uses on the southeast corner of York Road (NC 49) and Youngblood Road to serve the immediate area. One or any combination of these uses is appropriate. Development should be limited to a convenience size center (70,000 square feet maximum). Residential densities should not exceed eight dwelling units per acre and should serve as a transition to the adjacent residential development.



**Proposal is for
86,100 s.f. of
storage**

**238 Residential
Units**



FUT ROW 75' FROM C/L EXISTING ROW
30' SETBACK ON SOUTH TRYON
FUT BACK OF CURB IF FROM EXTC TRAVEL LANE
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30' SETBACK FROM FUTURE MAIN ROAD RIGHT OF WAY (TYP)

SOUTH TRYON HIGHWAY 49
N.C. HIGHWAY 49

27' SETBACK FROM RIGHT OF WAY
NEW LOCAL RESIDENTIAL WIDE STREET (PRIVATE)

**Multi-family Area
Approximately
22.35 acres
10.7 DUA**

SWM BUFFER AND TREE SAVE

MULTI FAMILY BUILDING, TYP.

DETACHED GARAGE, TYP.
50' CLASS C BUFFER, TYP.
TRASH, TYP.



Discussion

