

COMMUNITY MEETING REPORT

Petitioner: Heydon Hall II, LLC

Rezoning Petition No. 2017-069

This Community Meeting Report is being filed with the Office of the City Clerk and the Charlotte-Mecklenburg Planning Commission pursuant to the provisions of the City of Charlotte Zoning Ordinance.

PERSONS AND ORGANIZATIONS CONTACTED WITH DATE AND EXPLANATION OF HOW CONTACTED:

A representative of the Petitioner mailed a written notice of the date, time and location of the Community Meeting to the individuals and organizations set out on Exhibit A attached hereto by depositing such notice in the U.S. mail on April 26, 2017. A copy of the written notice is attached hereto as Exhibit B.

DATE, TIME AND LOCATION OF MEETING:

The Community Meeting was held on Thursday, May 4, 2017 at 6:30 p.m. at Quail Hollow Presbyterian Church, 8801 Park Road, Charlotte NC 28210.

PERSONS IN ATTENDANCE AT MEETING (see attached copy of sign-in sheet):

The Community Meeting was attended by those individuals identified on the sign-in sheet attached hereto as Exhibit C. The Petitioner was represented at the Community Meeting by Mike Dodson, as well as by Petitioner's agents, Collin Brown and Brittany Lins with K&L Gates and Shaun Tooley with LandDesign. Council member Kenny Smith was also in attendance.

SUMMARY OF PRESENTATION/DISCUSSION:

The Petitioner's agent, Collin Brown, welcomed the attendees and introduced the Petitioner's team. Mr. Brown used a PowerPoint presentation, attached hereto as Exhibit D. Mr. Brown began by presenting an agenda, which included background on the property's zoning, the rezoning proposal, priorities of the Heydon Hall HOA, and time for questions and discussion. Mr. Brown introduced council member Kenny Smith, who briefly spoke of his willingness to meet with the neighbors and engage in discussion on this rezoning request.

Mr. Brown indicated that the Petitioner proposes to amend the rezoning plan for a several parcels of land on the north side of Smithfield Church Road, to the west of Heydon Hall Circle, adjacent to the existing Heydon Hall community. The portion to be rezoned is approximately 8 acres and zoned MX-1. Portions of the proposed rezoning are owned by Mr. and Mrs. Wayne Edge, Mrs. Ruth Stewart and Heydon Hall II, LLC. Mr. Edge entered into a contract for the purchase of Mrs. Stewart's property at some point in the future.

Mr. Brown explained that an approved rezoning plan from 2001 included the parcels in question as well as the existing Heydon Hall community, which was all rezoned to MX-1. Then, in 2009, a site plan amendment was approved, which, among other things, restricted the Stewart property to 5 residential lots. Now, the Petitioner is hoping to develop the property in a manner consistent with the existing Heydon Hall community, but is unable to do this by-right, partially due to the lot restriction on the Stewart property. The lot restrictions, however, do not apply to the Edge property. The Petitioner wishes to

amend the current rezoning plan, lifting the lot restrictions on the Stewart property, in order to accommodate a site design that is consistent with the existing Heydon Hall community.

Mr. Brown showed the original site plan amendment proposal that was submitted in March, and then showed how the Petitioner revised the plan in order to make the lot sizes across Heydon Hall Circle more uniform with those currently across the street, based on feedback from neighbors. The Petitioner plans to submit these revisions, or other similar plans, in the next cycle of the rezoning submittal process.

Mr. Brown explained that new Charlotte ordinances, which have become implemented since the development of the existing Heydon Hall community, further complicate this petition. Changes to the tree save requirements and post construction control measures require on-site stormwater control systems and higher tree save standards.

In a prior meeting between members of the Heydon Hall HOA and the Petitioner's agents, several high-priority issues were discussed. Mr. Brown explained that he heard from the HOA that uniformity and consistency, binding architectural standards, controlled access, landscape maintenance, street cross section treatment and parking areas, and mitigation of construction impacts were important to the community. The Petitioner plans to be responsive to this list and hopes to work with the HOA through the process.

Mr. Brown explained that a conditional rezoning, such as this one, offers the opportunity to put architectural standards into the zoning document that will be binding going forward and enforceable by the City. The Petitioner understands that front-facing garages do not exist in the current development, and plans to design a layout that accommodates the same standards. Mr. Brown stated that he understands that controlled or gated access is an important concern for the neighborhood. The City is likely to encourage two access points through the new development, but the Petitioner is open to making those access points gated, and potentially open to a discussion of making the access point on Smithfield Church Road an exit-only access once development is completed. In response to construction impact concerns, Mr. Brown explained that the access point on Smithfield Church Road would allow for construction traffic to utilize that entrance instead of traveling through existing portions of Heydon Hall.

Mr. Brown then showed a rendering illustrating the proposed development in the context of the existing community. He demonstrated that the proposed density and lot sizes are consistent with Heydon Hall community. Mr. Brown explained that the Petitioner's rezoning schedule is currently tracking a June or July public hearing, at the earliest.

Mr. Brown then opened the meeting up to questions. One attendee asked what the Petitioner could build by-right, in the current MX-1 zoning district. Mr. Brown explained that only single family homes would be allowed in this case, but that the MX-1 district allows a lot of design flexibility and creative lot types.

Several attendees expressed concern over the proposed on-site detention pond. Mr. Tooley explained that the location was chosen based on the area of the site at the lowest elevation, and that the pond will likely be required based on the City's Post Construction Stormwater Ordinance, which was not in place when the initial Heydon Hall community was developed. In response to a concern about mosquitos, Mr. Tooley explained that the pond would only retain water for a short amount of time during major rain events to help diffuse and filter the water quality and quantity. One attendee asked whether the Petitioner has explored the possibility of the development being grandfathered into the original Heydon Hall community development plans and therefore exempt from the Post Construction Control Ordinance pond requirements. Mr. Tooley explained that the Petitioner would have to provide a compelling situation, which may be a hard burden to prove in this case. An attendee commented that it would be an eyesore in

the middle of the Heydon Hall development. Another attendee inquired into the state of the retention pond if the Stewart property is not developed at the same time as the Edge property. Mr. Tooley explained that a smaller, intermediate retention area would be constructed to service the developed lots on the Edge property until the development of the Stewart property is initiated. In response to a question of whether underground detention is an option, the Petitioner's agents explained that it may be cost prohibitive, but the Petitioner is willing to explore alternative options. In response to a question regarding vegetation in the pond, Mr. Tooley explained that there is a manual of permitted wetland plants. An attendee inquired into the maintenance costs and who maintains the pond, worrying that it would be a large expense for the HOA. An agent of the Petitioner responded that the City generally provides maintenance for ponds in single-family neighborhoods.

An attendee asked for more details on what can be done on the property by-right. Mr. Brown explained that the Petitioner has not fully explored by-right options. The Petitioner feels that a layout that is consistent with the existing Heydon Hall community is more appealing than only constructing five lots on the Stewart property and maximizing the number of lots on the Edge property. The only way to provide a layout that is consistent with the existing Heydon Hall neighborhood is to amend the current site plan to allow additional lots on the Stewart property.

One attendee expressed concern over the wildlife on the property, and wondered whether endangered species habitats may be destroyed. Mr. Brown explained that he has never encountered any endangered species in this area before but that the Petitioner will work with the State if any endangered species are encountered and will follow all necessary regulations, as required.

In response to an attendees question on lot sizes, Mr. Tooley responded that the lots along Heydon Hall Circle are eighty feet wide, to match existing lots on the opposite side of the street, and the other lots are sixty feet wide, to match the internal portions of the existing development.

Mr. Brown then concluded the formal portion of the presentation and the Petitioner's representatives continued to answer individual questions. The formal meeting concluded at 7:45 p.m.

Respectfully submitted, this 15th day of May, 2017.

cc: Council Member Kenny Smith
John Kinley, Charlotte-Mecklenburg Planning Department
Charlotte City Clerk

EXHIBIT A

Pet_No.	taxpid	ownerlastn	ownerfirst
2017-069	20922303	BEASON	BRENT
2017-069	20922314	BIERCE	ALEXANDER B
2017-069	20922308	BORMAN	JAYNE R
2017-069	20922309	BUNDY	MICHAEL DWAYNE
2017-069	20922201	CAMDEE LAND COMPANY	
2017-069	20922311	CARROLL	MATTHEW J
2017-069	20922301	CHEROK	CYNTHIA C
2017-069	20922210	CLOSE	DERICK S
2017-069	20937108	CLOSE	DERICK S
2017-069	20937207	COHEN	NORMAN R
2017-069	20922362	CONNER	MIMI L
2017-069	20922364	CONWAY	JULIENE J
2017-069	20922203	EDGE	WAYNE EDWARD
2017-069	20922209	EDGE	WAYNE EDWARD
2017-069	20937109	EDGE	WAYNE EDWARD
2017-069	20922305	EVANS	CRAIG S
2017-069	20922315	GIST	PREETHA P.
2017-069	20952198	GRACE MEMORIAL MISSIONARY	BAPTIST CHURCH INC
2017-069	20922313	GRADY	TOBIAS BRANTLEY
2017-069	20922360	GREEN	LINDA V
2017-069	20922361	HAASE	JOHN R
2017-069	20922358	HEYDON HALL HOMEOWNERS	ASSOCIATION
2017-069	20922373	HEYDON HALL HOMEOWNERS	ASSOCIATION
2017-069	20922381	HEYDON HALL HOMEOWNERS	ASSOCIATION
2017-069	20922382	HEYDON HALL HOMEOWNERS	ASSOCIATION
2017-069	20922420	HEYDON HALL HOMEOWNERS	ASSOCIATION
2017-069	20922445	HEYDON HALL HOMEOWNERS	ASSOCIATION
2017-069	20922380	HEYDON HALL HOMEOWNERS ASSOC	OF MECKLENBURG
2017-069	20922223	HEYDON HALL HOMEOWNERS ASSOC	OF MECKLENBURG INC
2017-069	20922374	HEYDON HALL HOMEOWNERS ASSOC	OF MECKLENBURG INC
2017-069	20922396	HEYDON HALL HOMEOWNERS ASSOC	OF MECKLENBURG INC
2017-069	20922473	HEYDON HALL HOMEOWNERS ASSOC	OF MECKLENBURG INC
2017-069	20922379	HEYDON HALL HOMEOWNERS ASSOCIATION	OF MECKLENBURG INC
2017-069	20922212	HEYDON HALL II LLC	
2017-069	20922213	HEYDON HALL II LLC	
2017-069	20922214	HEYDON HALL II LLC	
2017-069	20922221	HEYDON HALL II LLC	
2017-069	20922222	HEYDON HALL II LLC	
2017-069	20922224	HEYDON HALL II LLC	
2017-069	20922225	HEYDON HALL II LLC	
2017-069	20922299	HEYDON HALL II LLC	
2017-069	20937107	HICKMAN	JONATHAN CLARK
2017-069	20922306	KANE	MICHAEL
2017-069	20922302	KENNEDY	REBECCA S
2017-069	20922355	KENNEDY	RICHARD
2017-069	20922351	MAGUIRE	JILLIAN M

2017-069	20922352	MARCUZ	LISA M
2017-069	20937111	MATTEI	JAMES
2017-069	20922310	MCELRAVEY	MARGARET M
2017-069	20922378	MILLER	JOSEPH A
2017-069	20937110	MLA INCOME PROPERTIES LLC	
2017-069	20922377	MULLEN	JONATHAN M
2017-069	20922359	O`HARA	KEVIN M
2017-069	20922307	PAVLISH	T CRAIG
2017-069	20922312	PITTENGER	ROBERT M JR
2017-069	20922363	ROSS	JOHN
2017-069	20937206	SABATES	FELIX S JR
2017-069	20922419	SARI	DENIZ T
2017-069	20922354	SMITH	ROBERT DOUGLAS
2017-069	20922304	SNYDER	GERARD R
2017-069	20922401	SPANGLER	CLIFFORD E JR
2017-069	20922204	STEWART	RUTH REID
2017-069	20922215	STEWART	RUTH REID
2017-069	20922216	STEWART	RUTH REID
2017-069	20922217	STEWART	RUTH REID
2017-069	20922218	STEWART	RUTH REID
2017-069	20922219	STEWART	RUTH REID
2017-069	20922220	STEWART	RUTH REID
2017-069	20922353	SWANZY	MEREDITH E
2017-069	20922357	VICINI	DANIEL J
2017-069	20922350	WEINING	RENATE
2017-069	20922356	YOUNG	C DAVID
2017-069		COLLIN BROWN/ BAILEY PATRICK, JR.	
2017-069		MICHAEL DODSON	

cownerfirs	cownerlast	mailaddr1
ANDREA H	BIERCE	9521 HEYDON HALL CIR
STEPHEN P	BORMAN	9314 HEYDON HALL CR
JENNIFER BEATTY	BUNDY	9428 HEYDON HALL CR
DOROTHY	HARRIS	9420 HEYDON HALL CR
MELANIE	CARROLL	6400 FAIRVIEW RD
STEVEN P	CHEROK	201 GENERAL HANCOCK BV
SALLIE P	CLOSE	9505 HEYDON HALL CIRCLE
NATALIE A	COHEN	9016 WINGED BOURNE
FRANK H JR	CONNER	9016 WINGED BOURNE RD
		9055 WINGED BOURNE RD
		3429 INDIAN MEADOWS LN
		3441 INDIAN MEADOWS LN
	DEBORAH BELK	9000 WINGED BOURNE RD
	DEBORAH BELK	9000 WINGED BOURNE RD
	DEBORAH BELK	9000 WINGED BOURNE RD
LORI A	EVANS	190 B SAINT PHILLIP ST
ROBERT E.	GIST	9304 HEYDON HALL CR
		PO BOX 26354
SUSAN BROWN	GRADY	9328 HEYDON HALL CR
WARD W	GREEN	3419 INDIAN MEADOWS LN
MICHELLE B	HAASE	3423 INDIAN MEADOWS LN
	% RHEIN INTERESTS OF CHARLOTTE	5200 77 CENTER DR ,SUITE 141
	% RHEIN INTERESTS OF CHARLOTTE	5200 77 CENTER DR ,SUITE 141
	% RHEIN INTERESTS OF CHARLOTTE	5200 77 CENTER DR ,SUITE 141
	% RHEIN INTERESTS OF CHARLOTTE	5200 77 CENTER DR ,SUITE 141
	% RHEIN INTERESTS OF CHARLOTTE	5200 77 CENTER DR ,SUITE 141
	% RHEIN INTERESTS OF CHARLOTTE	5200 77 CENTER DR ,SUITE 141
		4530 PARK RD
		4530 PARK RD
		4530 PARK RD
	C/O HAWTHORNE MANAGEMENT CO	4530 PARK RD #201
	C/O HATHORNE MANAGEMENT CO	4530 PARK RD #201
		4530 PARK RD
		PO BOX 470246
ALLISON REED	HICKMAN	9030 WINGED BOURNE RD
MICHELLE	KANE	9506 HEYDON HALL CIR
		PO BOX 1541
CHRISSANTHY O	KENNEDY	8820 HAYDEN HALL
		8836 HEYDON HALL CIR

ASHLEY ANDERSON	MATTEI	8832 HEYDON HALL CR
JOHN N	MCELRAVEY	3007 CHAPULTEPEC
LISA M	KELLEY	9414 HEYDON HALL CIRCLE
		9436 HEYDON HALL RD
		3129 SPRINGBANK LN
MARIS S	MULLEN	9440 HEYDON HALL CR
SUSAN D	O`HARA	3415 INDIAN MEADOW S LANE
JENNIFER FRANCES	MOON	8836 HEYDON HALL CR
JODI E	PITTENGER	9404 HEYDON HALL CIR
CELESTE	ROSS	3435 INDIAN MEADOWS LN
		9015 WINGED BOURNE RD
MIKENZIE S	SARI	3343 INDIAN MEADOWS LN
		8824 HEYDON HALL CR
LISA E	SNYDER	9520 HEYDON HALL CR
ELIZABETH E	SPANGLER	8821 HEYDON HALL CR
	(1/2 B/W & 1/2 B/D)	3609 SMITHFIELD CHURCH RD
	(1/2 B/W & 1/2 B/D)	3609 SMITHFIELD CHURCH RD
	(1/2 B/W & 1/2 B/D)	3609 SMITHFIELD CHURCH RD
	(1/2 B/W & 1/2 B/D)	3609 SMITHFIELD CHURCH RD
	(1/2 B/W & 1/2 B/D)	3609 SMITHFIELD CHURCH RD
	(1/2 B/W & 1/2 B/D)	3609 SMITHFIELD CHURCH RD
	(1/2 B/W & 1/2 B/D)	3609 SMITHFIELD CHURCH RD
DUNCAN H	LEWISON	8828 HEYDON HALL CR
KATHLEEN A	VICINI	8810 HEYDON HALL CR
		8840 HEYDON HALL CR
SUSAN A	YOUNG	8816 HEYDON HALL CR
		241 N. TRYON STREET
	HEYDON HALL II, LLC	11301 CARMEL COMMONS BLVD

mailaddr2	city	state	zipcode
	CHARLOTTE	NC	28210
	NORTH WALES	PA	19454
	CHARLOTTE	NC	28210
	CHARLESTON	SC	29403
	CHARLOTTE	NC	28210
	CHARLOTTE	NC	28221
	CHARLOTTE	NC	28210
	CHARLOTTE	NC	28210
	CHARLOTTE	NC	28210
	CHARLOTTE	NC	28217
	CHARLOTTE	NC	28209
	CHARLOTTE	NC	28207
	CHARLOTTE	NC	28247
	CHARLOTTE	NC	28210
	CHARLOTTE	NC	28210
	PINEHURST	NC	28370
	CHARLOTTE	NC	28210
	CHARLOTTE	NC	28210

	CHARLOTTE	NC	28210
	CHARLOTTE	NC	28226
	CHARLOTTE	NC	28210-6059
	CHARLOTTE	NC	28210
	CHARLOTTE	NC	28277
	CHARLOTTE	NC	28210
47TH FLOOR	CHARLOTTE	NC	28202
STE 108	CHARLOTTE	NC	28226

Pet_No.	Neighborho	First_Name	Last_Name
2017-069	Cameron Wood Homeowners Association	Christopher	Corcoran
2017-069	Carmel Valley Homeowners Association	Pat	Dye
2017-069	Hamlin Park Homes Associaiton	Barbara	Harris
2017-069	Quail Hollow Estates Homeowners Association	Mark	Matthews

Street_Add	City	State	zip
3042 Planters Walk Court	Charlotte	NC	28210
4710 Quail Canyon Dr	Charlotte	NC	28226
2764 Tiergarten Ln	Charlotte	NC	28210
7042 Quail Hill Rd	Charlotte	NC	28210

EXHIBIT B

April 26, 2017

Collin W. Brown
collin.brown@klgates.com

T +1 704 331 7531
F +1 704 331 7598

NOTICE TO INTERESTED PARTIES OF COMMUNITY MEETING

Date: Thursday, May 4th, 2017 at 6:30 p.m.
Location: Quail Hollow Presbyterian Church
8801 Park Road
Charlotte, NC 28210
Petitioner: Heydon Hall II, LLC
Petition No.: 2017-069

Dear Quail Hollow Resident,

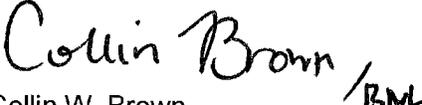
We represent Heydon Hall II, LLC (the "Petitioner") in its plans to redevelop a 7 acre property located on the north side of Smithfield Church Road where it meets Heydon Park Way, west of Heydon Hall Circle (the "Property"). The Petitioner is seeking a site plan amendment to the MX-1 zoning district in order to accommodate its redevelopment plans.

In accordance with the requirements of the City of Charlotte Zoning Ordinance, the Petitioner will hold a Community Meeting prior to the Public Hearing on this Rezoning Petition for the purpose of discussing this site plan amendment proposal with nearby property owners and organizations. The Charlotte-Mecklenburg Planning Commission's records indicate that you are either a representative of a registered neighborhood organization or an owner of property that adjoins, is located across the street from, or is near the Site.

Accordingly, on behalf of the Petitioner, we invite you to attend the Official Community Meeting regarding this Petition on **Thursday, May 4th, at 6:30 p.m.** to meet with the Petitioner and its design and development team. We will give a brief overview of the redevelopment concept and then provide an opportunity for you to meet and talk with individuals that are involved in planning the project.

Please contact me if you are unable to attend and would like additional information.

Very truly yours,


Collin W. Brown

cc: Council Member Kenny Smith
John Kinley

EXHIBIT C

Community Meeting Sign-In Sheet

Petitioner: Heydon Hall II, LLC

Petition No.: 2017-069

Quail Hollow Presbyterian Church

8801 Park Road

Charlotte, NC 28210

May 4, 2017 @ 6:30 p.m.

Please fill out completely. This information is used by the Planning Department to distribute material regarding this petition.

Name	Address	Phone No.	Email
A. Bience	9314 HHC	704 900 6736	alexanderbience@yahoo.com
Stacey Eisenberg	8950 HHC	330-324-5816	stacey.eisenberg@gmail.com
Beverly Engel	3505 Blackhorse	704.942.6780	beverlyengel@yahoo.com
Ray Wetherington	Matthews, NC	704.231.1362	ray@saratogaAM.com
GRAY GARCIA	8938 HHC	704-604-9686	GRAYGARCIA@GMAIL.COM
Cheryl Mims	935 Churchill Dr	Gastonia 7048671597	
Susana Porzio	8907 HHC	704 816 0511	ssfporzio@gmail.com
Carol Luce	8911 HHC	704-733-9365	carolanne/luce@gmail.com
Ricci & Chris Kennedy	5820 HHC	704-554-1070	
Michelle Haas	3423 IML	7034053612	mhaas@verizon.net
Tim McClusky	3508 Blackhorse	980.213.5512	tim.mcclusky@coviden.com
Charles Snyder	9209 Heydon Hall Cir	704-553-8197	CHARLES@SNYDER.COM
Chris John Parker	9215 Heydon Hall Cir	704-552-7777	chrish60@att.net
Doug Patty Halvorsen	8715 Heydon Hall Cir	704-553-6135	halvorsend@bellsouth.net
John Stoner	3318 Indira Meadows	704-552-2395	
FRANK ARADO	9248 Heydon Hall Cir	704 654 5018	farado@gmail.com
Richard McKeon	3307 I.M. Lane	704.726.1453	RMckeon@regltd.com
Karen Sharp	8903 HHC Circle	704 969 2094	kesharp@carolina-rr.com
Alec Sharp	"	"	"
Michael Kane	9506 Heydon Hall Cir	980-333-7344	mkanend@att.net
Peter Dwyer	9106 Heydon Hall Cir	773-269-6130	dwyerpeter@sbjglobal.com
Julene Cowley	3441 IML Charlotte	6176389831	julene@cowley.net
Bee Mcmull	8915 HHC Cir.	704.554.5947	— yahoo.com

Heydon Hall #2017-069

Name Address phone # email

ANGELA BUTLER > SIMONINI 704-906-6729
 GUS PAPPAS > gus@simonini.com angela@simonini.com

JAY WATT 9138 HHC 704-451-5000 jimwatt@national

JIM HEDDLERSON 3326 Indian Meadows 988757048
 jim.heddlerson@gmail.com

Tom Edwards 9138 Heydon Hall Circle 6764569927 Loslay.d.edwards@gmail.com

Tom & Larissa Lopez-Joanez 8839 HHC 704-488-6100
 llopezjoanez@yahoo.com

Linda & Ward Green 3419 IML linda.v.green@gmail.com

Tom & Jimi Heeks 3315 Indian Meadows tjheeks@yahoo.com

Jane Varner 3311 Indian Meadows jvarner02@gmail.com

MARTIN FOLEY 9226 HHC LMfoleys@yahoo.com

Scott Matter 3007 Chapultepec Rd. scott@mattchillings.com

Chad Cook 3314 Indian Meadows chadcook1@gmail.com

Joe Miller 9436 Heydon Hall Cir jsmiller2@gmail.com

Mimi & Frank Conner 3429 Audelia Meadows fconner2@ad.com

Jayne Borman 9428 HHC jayneborman@gmail.com

Eleanor Robertson 3620 Blackhorse Ln.

Denise Sari 3343 IML saridtd@gmail.com

RC WATSON 9127 HHC rcwatson5@gmail.com

Melanie Weining 8810 HHC betsiehen@aol.com

~~Tom & ...~~ 3315 Indian Meadows

Jetty & Ted Naly 8844 Heydon Hall Circle

C. David Young 8816 Heydon Hall Circle cdyoung48@gmail.com

Elizabeth Nurkin 9133 Heydon Hall Cir. enurkin@gmail.com

EXHIBIT D

The logo for K&L GATES, featuring the company name in white, uppercase letters on a solid orange rectangular background.

K&L GATES

Official Community Meeting

Heydon Hall – Phase II Rezoning

May 4, 2017

Quail Hollow Presbyterian Church

AGENDA

- Introductions
- Property Location
- Background/Current Zoning
- Rezoning Proposal
- HH HOA Priorities
- Questions

Petitioner: Heydon Hall II, LLC



Mike Dodson

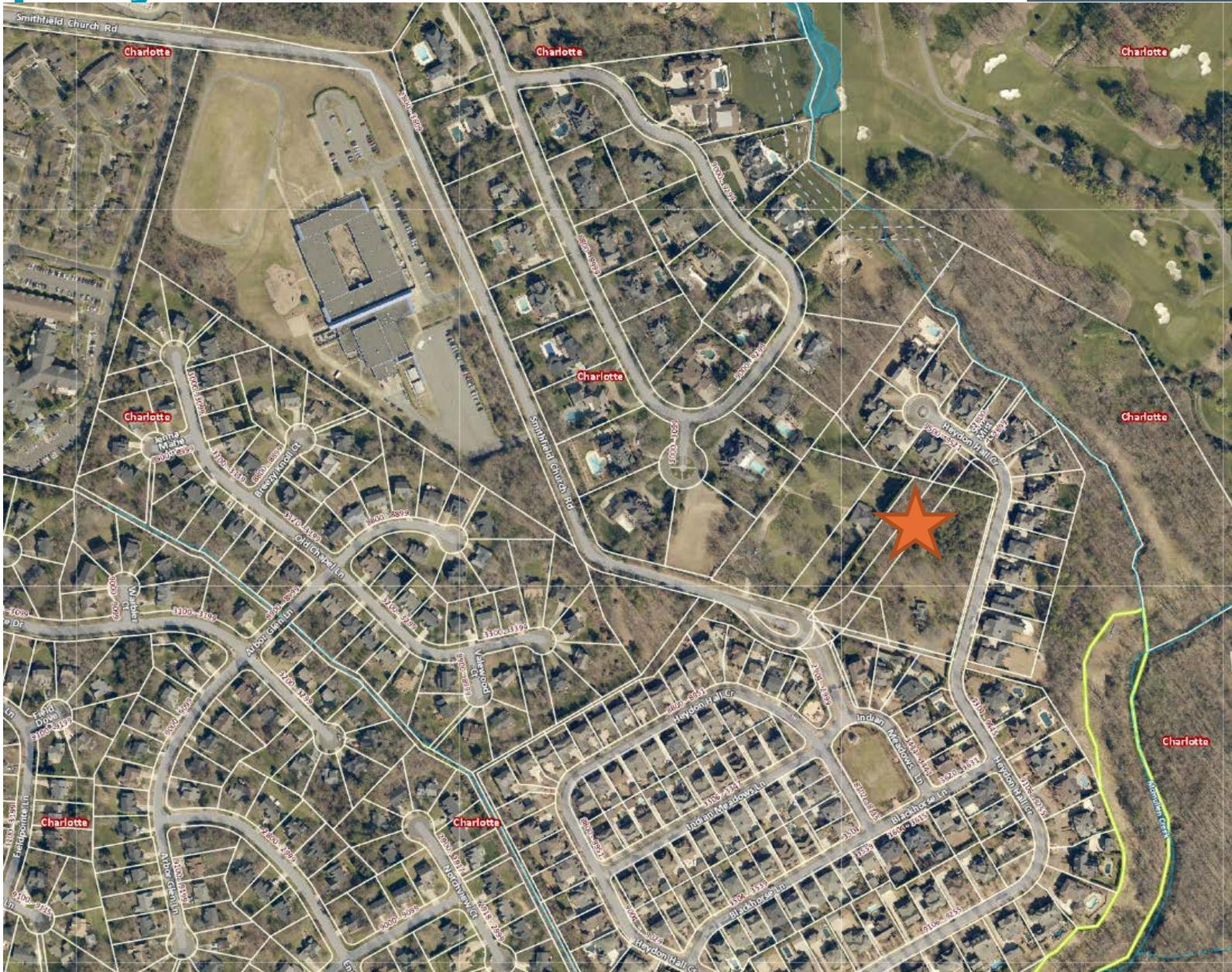


Shaun Tooley



Collin Brown & Brittany Lins

Property Location



Charlotte

Charlotte

Charlott



100' SWIM STREAM BUFFER

- 30' UPLAND ZONE
- 45' MANAGED USE ZONE (UNDISTURBED)
- 30' STREAM SIDE ZONE (UNDISTURBED)
- FEMA FLOOD FRINGE LINE (MAPPED LOCATION)
- FUTURE CONDITIONS FLOOD FRINGE LINE (MAPPED LOCATION)

MAPPED LOCATION
FEMA FLOODWAY ENCROACHMENT LINE
MAPPED LOCATION OF FLOODWAY

I, JOSEPH E. WEAVER JR., STATE THAT THIS PLAN WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (AND DESCRIPTION RECORDED IN BOOK 1786 PAGE 255 AND BOOK 1786 PAGE 256) FROM THE BOOKS OF RECORD AS INDICATED IN IN SECTION 21 (1786) WITH A WARRANT FROM THE STATE OF NORTH CAROLINA OF 11/27/2011. I HEREBY CERTIFY THAT THIS PLAN IS A TRUE AND CORRECT REPRESENTATION OF THE SURVEY AND OF THE REALITY OF THE LANDS, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH STATUTES AS APPLICABLE HERETO BY ORIGINAL SURVEYING REGISTRATION NUMBER AND SEAL THIS 11/27/2011 J.E.W. JR.

I, JAMES W. WEAVER, SENIOR DIRECTOR OF MEASUREMENTS COUNTY, CERTIFY THAT THIS PLAN OR PLAN IS TRUE AND ACCURATE AND I APPROVE UNDER ALL STATUTES REQUIREMENTS FOR RECORDATION.

APPROVED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 210 SUBCHAPTER 02 ARTICLE 03 OF THE CITY CODE OF THE CITY OF CHARLOTTE, NORTH CAROLINA.

CHARLOTTE MEASUREMENTS PLANNING COMMISSION



- Property owned by Heydon Hall LLC company owned by Wayne Edge
- Property owned by Ruth Stewart & owned by Wayne Edge
- Property owned by Wayne Edge

TRACT NOTES

- TRACT K** (ORANGE) - PROPERTY OWNED BY HEYDON HALL LLC COMPANY OWNED BY WAYNE EDGE
- TRACT J** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT I** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT A** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT B** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT C** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT D** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT E** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT F** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT G** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE
- TRACT H** (YELLOW) - PROPERTY OWNED BY RUTH STEWART & OWNED BY WAYNE EDGE

PLANNING DEPT. DATE: _____

NO. _____ SHEET _____

DATE: _____

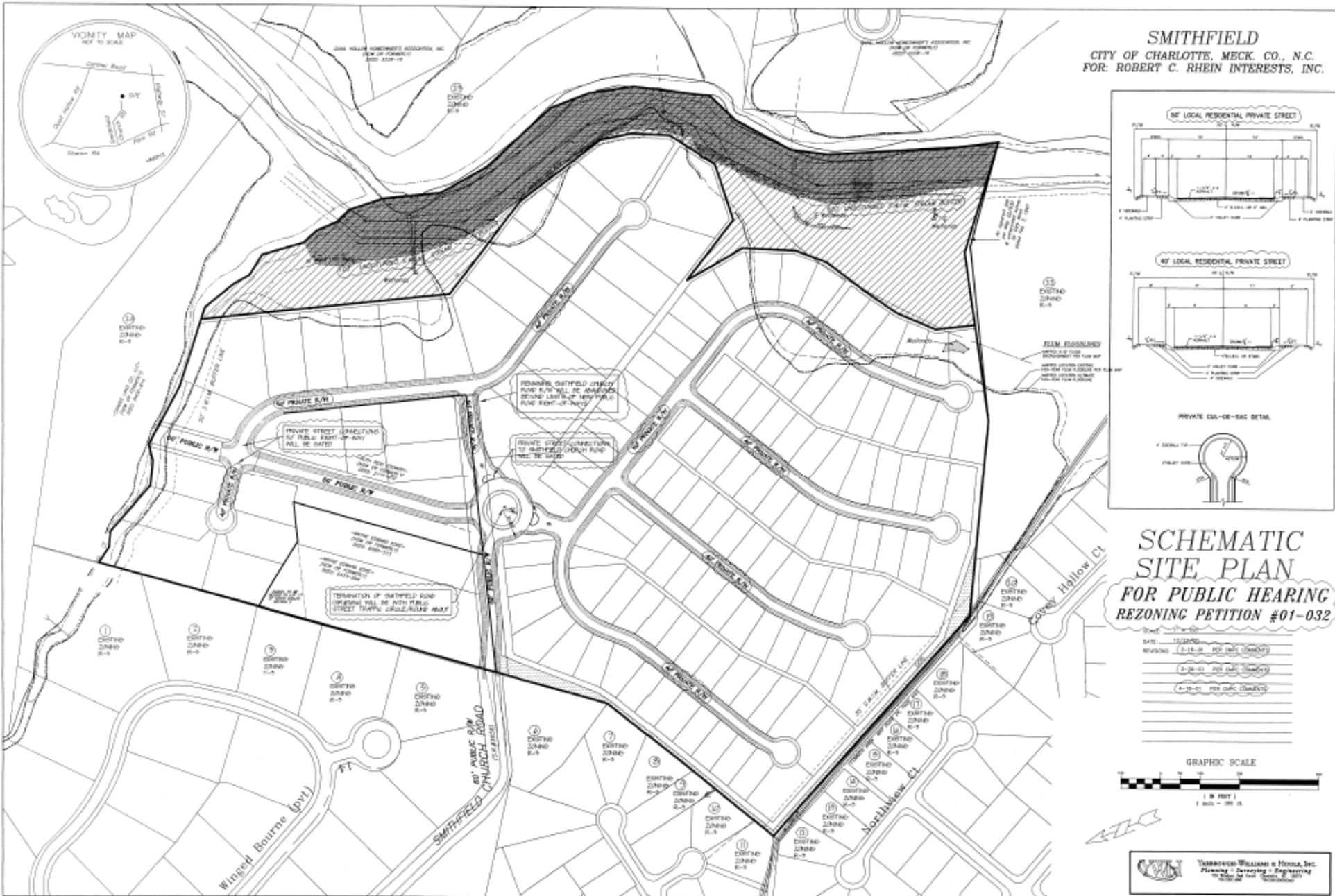
SCALE: _____

PROJECT: _____

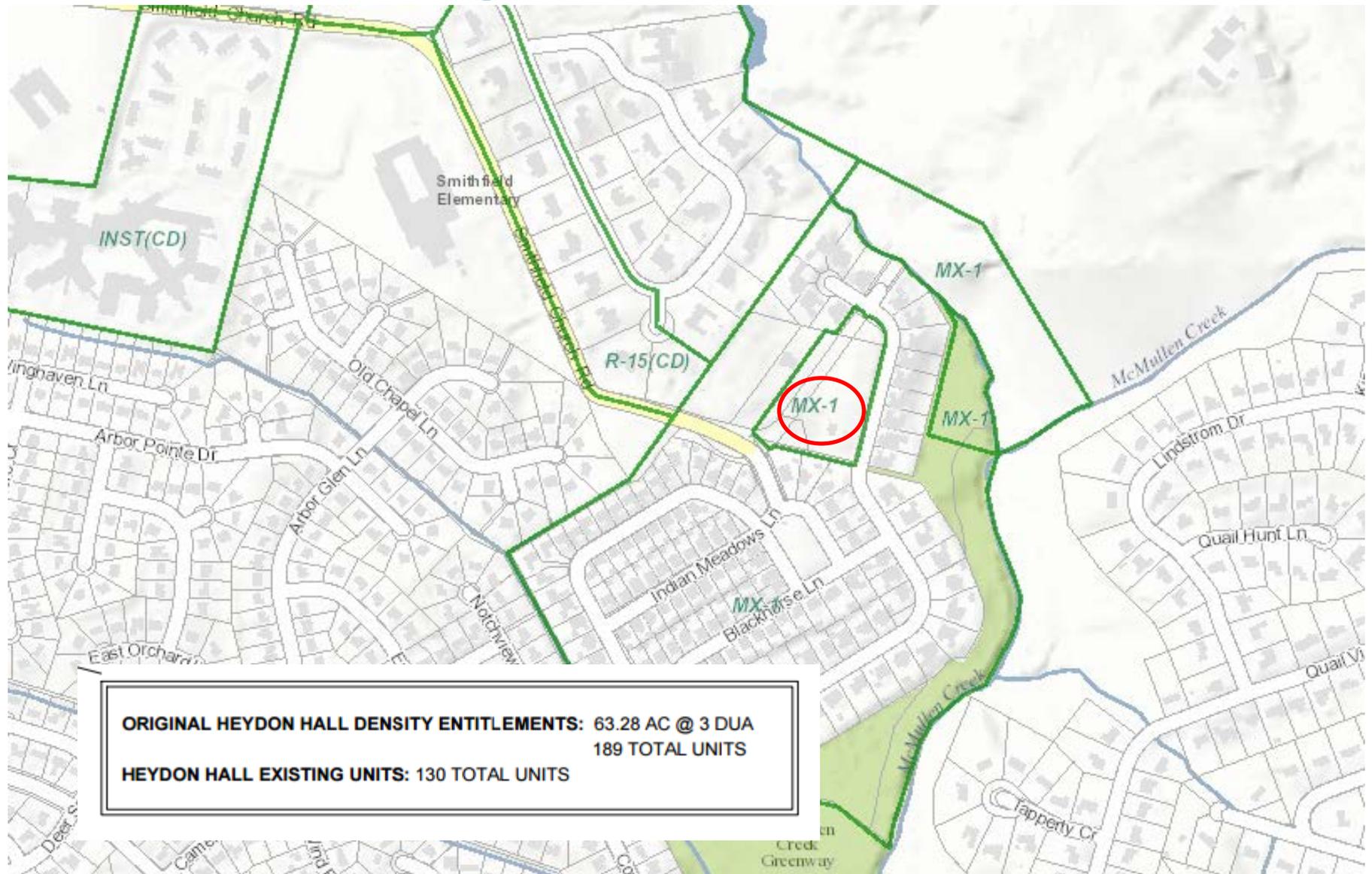
TRACTS A,B,D,G,H,I,K

Original Heydon Hall Rezoning

K&L GATES

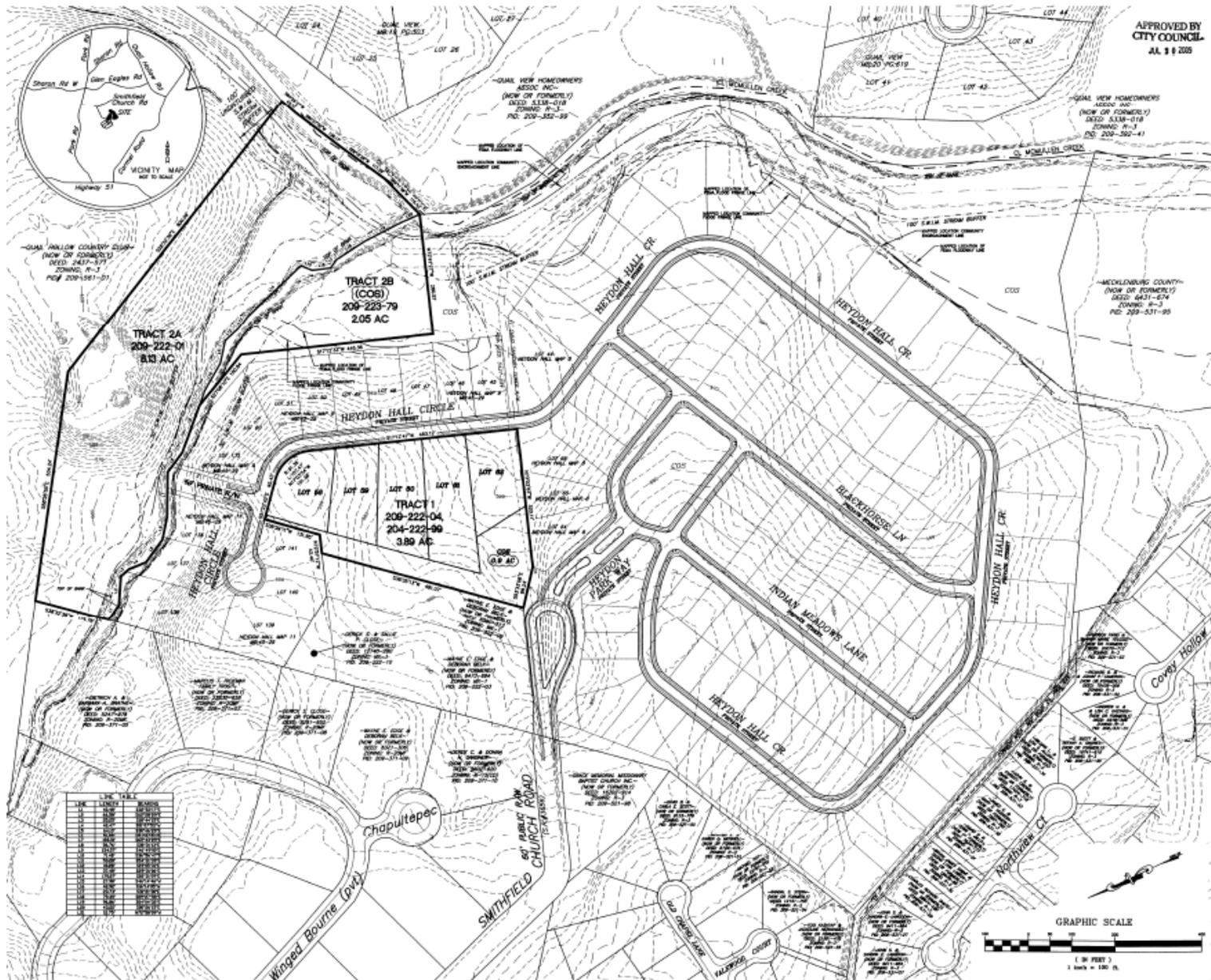


Current Zoning: MX-1



ORIGINAL HEYDON HALL DENSITY ENTITLEMENTS: 63.28 AC @ 3 DUA
189 TOTAL UNITS

HEYDON HALL EXISTING UNITS: 130 TOTAL UNITS



APPROVED BY
CITY COUNCIL
JUL 11 2005

SITE DATA TABLE

TRACT 1
 TAX ID# 206-222-04, 204-222-96
 TOTAL SITE ACREAGE = 3.89 ACRES
 EXISTING ZONING = MX-1 (P&I #2001-002)
 PROPOSED ZONING = MX-1 SITE PLAN AMENDMENT

PROPOSED USE: RESIDENTIAL

TRACT 2
 TAX ID# TRACT 2A 209-222-01
 TAX ID# TRACT 2B 209-223-79
 ACREAGE: TRACT 2A = 813 ACRES
 TRACT 2B = 2.05 ACRES
 TOTAL = 1018 ACRES

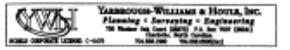
EXISTING ZONING TRACT 2A = R-3
TRACT 2B = MX-1

PROPOSED ZONING = MX-1
PROPOSED USE: RESIDENTIAL

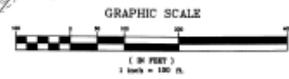
- DEVELOPMENT NOTES:**
- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases.
 - All lots will meet the requirements of the Charlotte Zoning Ordinance for R-3 (Cluster) with entry lawns. The lots shall be less than 10000 sq. ft.
 - All proposed streets shall be private.
 - No more than 24 lots will be located on the portion of the site that is labeled on Tract 2A on the site plan, exclusive of any parcel that is created as part of the conveyance of land to Mecklenburg County for future parkway purposes. No more than 5 lots will be created on Tract 1.

- This note will apply to any number of lots created, see note #4 that contain lots parcel 209-261-01 (see an formerly owned Hesse County Club) the Developer will maintain and preserve a 20' rear yard and no freestanding accessory structures or using site or retaining walls will be allowed within this rear yard. Within this 20' rear yard, clearing of understory, debris, and trees less than 6" caliper may be removed to clear up the area as part of site landscaping. For new house effect will be made to preserve trees that are equal to or larger than 6" caliper, including necessary protection for these trees as specified by the Charlotte City Ordinance within the area during construction on the site. However, if the larger trees within this area shall be removed for construction, they shall be replaced in accordance with the following schedule. All replacement trees for trees that are 6" or larger, must be at least 4" caliper at the time of planting and be of a large remaining canopy adjacent to the area.
 - 1) Trees 6" to 14" in caliper, one for one replacement.
 - 2) Trees 15" to 24" in caliper, two for one replacement.
 - 3) Trees 24" to 36" in caliper, three for one replacement.
 - 4) Trees over 36" in caliper, four for one replacement.
- Tract 2B will remain on common open space.
- The development will comply with the S.W.M. stream buffer regulations.
- Prior to issuance of any building permits on Tract 2A the 100' SWM buffer on Indian Meadows Cr. will be maintained to Mecklenburg County Park and Recreation for parkway.
- A minimum of 10% open space will be provided.
- Developer reserves the option of requesting innovative site plan approval for setbacks and yards per Charlotte Zoning Ordinance Sec. 11.204.
- A Solid Waste Management Plan will be submitted prior to installing land clearing, erosion and/or construction activities.
- It is the intent to abandon the portion of right of way located as a public street. Failure to abandon the right of way will require that it be constructed to public street standards.

NO.	DATE	DESCRIPTION	BY
1	7/1/05	REVISION #1	JL
2	7/1/05	REVISION #2	JL
3	7/1/05	REVISION #3	JL
4	7/1/05	REVISION #4	JL

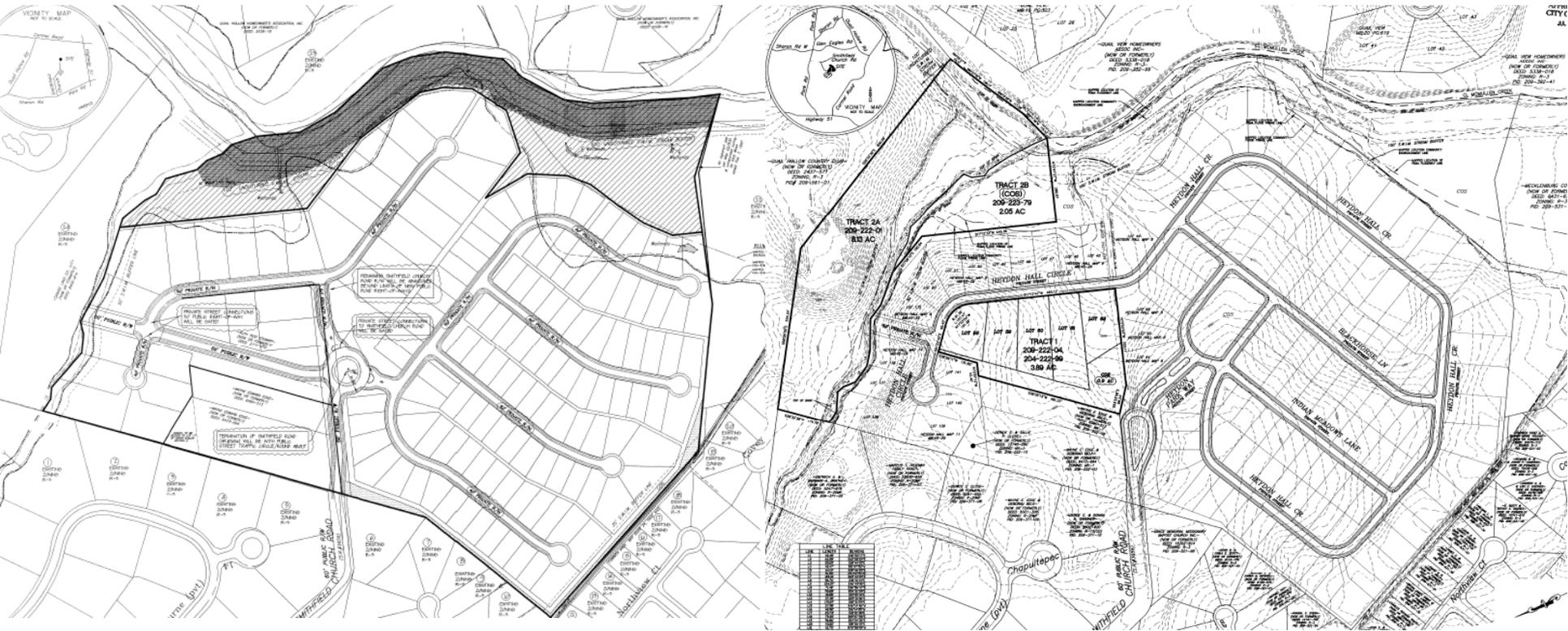


SCHEMATIC SITE PLAN
HEYDON HALL PHASE 2 and 3
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
FOR HEYDON HALL, LLC.
 DATED: 8/25/05
 SCALE: 1" = 100'
FOR PUBLIC HEARING
REZONING PETITION #2009-007

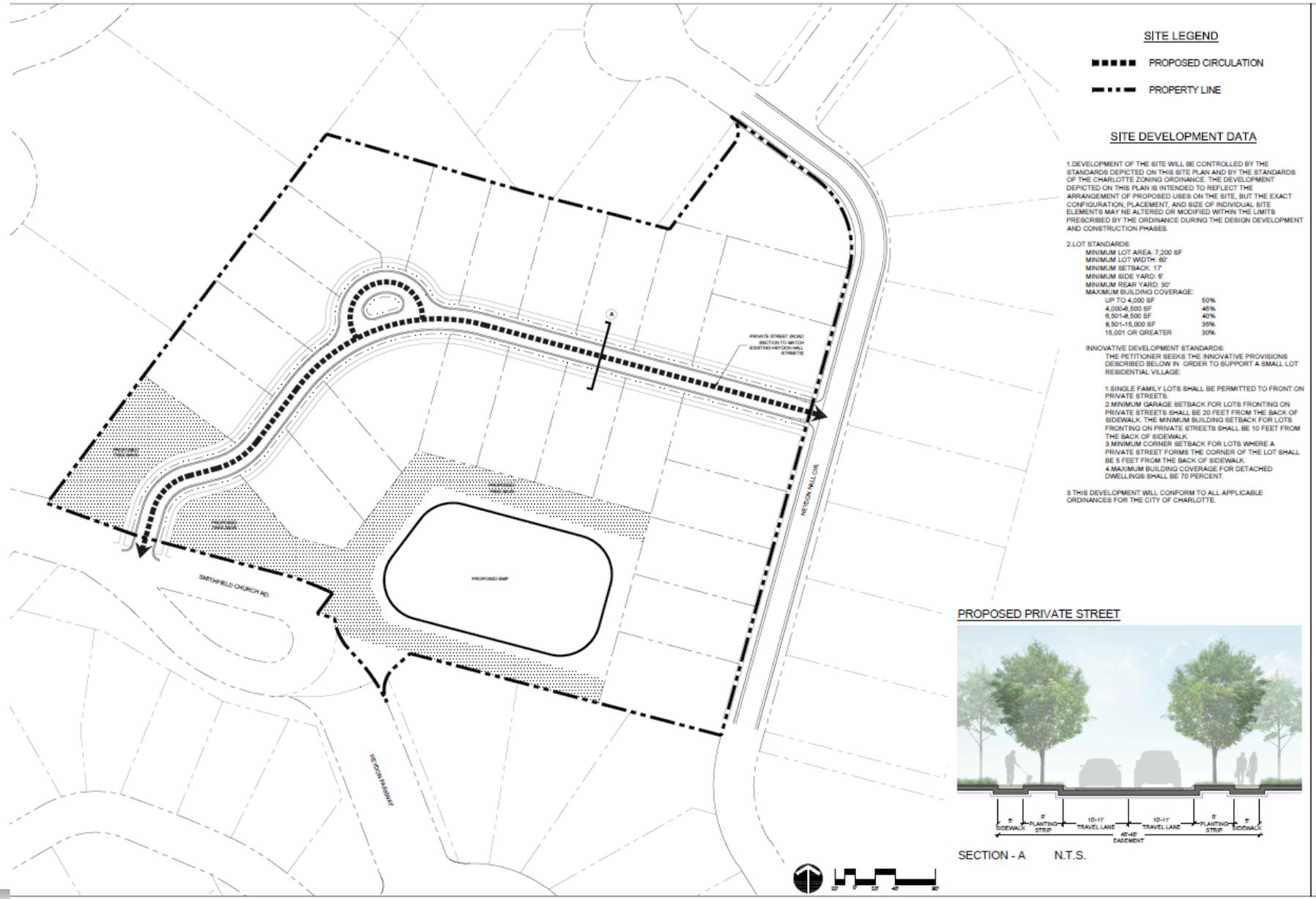


2001 Plan

2009 Plan



Site Plan Amendment Proposal



Site Plan Amendment Proposal



- Uniformity/Consistency with Existing HH
- Binding Architectural Standards
- Controlled Access
- Landscape Maintenance
- Street Cross Section/ Parking Areas
- Mitigation of Construction Impacts



Rezoning Schedule

Application Deadline – March 27, 2017	Initial full review complete, and site plan comments sent from staff to petitioner	Petitioner/staff meetings to review comments	Petitioner's community meeting to be held by this date (and report included in this site plan submittal)	Second full review - submittal deadline (if full review needed)	Second full review - site plan comments sent from staff to petitioner	Third full review - submittal deadline (if full review needed)	Third full review - site plan comments sent from staff to petitioner	Submittal deadline for cases requesting to be scheduled for next public hearing	Staff determination on cases cleared to be scheduled for next public hearing	Legal ad submittal date (last day to defer prior to advertising)	Public Hearing	Submittal deadline for revised site plans to be reviewed by Zoning Committee	Zoning Committee Meeting	City Council Decision
One Full Review Cycle	04/24/17	April 27 - May 3	05/12/17	NA	NA	NA	NA	05/15/17	05/26/17	05/26/17	06/19/17	06/26/17	06/29/17	07/17/17
Two Full Review Cycles	04/24/17	April 27 - May 3	05/12/17	05/15/17	05/29/17	NA	NA	06/12/17	06/23/17	06/26/17	07/17/17	07/24/17	08/01/17	09/18/17
Three Full Review Cycles	04/24/17	April 27 - May 3	05/12/17	05/15/17	05/29/17	06/12/17	06/26/17	08/14/17	08/25/17	08/28/17	09/18/17	09/25/17	10/03/17	10/16/17



Questions/Discussion



K&L GATES



EXISTING CONDITIONS
HEYDON HALL CIRCLE

STATE OF NORTH CAROLINA
 COUNTY OF MECKLENBURG

DECLARATIONS OF COVENANTS,
 CONDITIONS AND RESTRICTIONS
 FOR HEYDON HALL

FOR REGISTRATION JUDITH A. GIBSON
 REGISTER OF DEEDS
 MECKLENBURG COUNTY, NC
 2003 FEB 19 03 57 PM
 BOOK: 14813 PAGE: 788-839 FEE: \$188.00
 INSTRUMENT # 2003027273

DECLARATION
 OF
 COVENANTS, CONDITIONS AND RESTRICTIONS
 FOR
 HEYDON HALL

THIS DECLARATION, made on the date hereinafter set forth by HEYDON HALL, LLC (formerly known as Ardsley Park, LLC), a North Carolina limited liability company, hereinafter referred to as "Declarant."

WITNESSETH:

WHEREAS, Declarant is the owner and developer of that certain real property located in the City of Charlotte, Mecklenburg County, North Carolina and more particularly described on Exhibit A attached hereto and incorporated herein by reference (the "Property"), which Property is being developed by Declarant as an exclusive residential community known as Heydon Hall. Declarant desires to provide for the preservation and enhancement of the property values, amenities and opportunities in the Project (as defined herein) and for the maintenance of the Property and improvements thereon, and to this end desires to subject the Property to the easements, covenants, conditions, restrictions, charges and liens hereinafter set forth and/or described. Declarant desires to impose pursuant hereto easements, covenants, conditions and restrictions upon all of the Property, with the understanding that, at the option of Declarant, additional restrictions may be imposed with regard to the various phases or Sections of the Project.

WHEREAS, Declarant deems it desirable in order to insure the efficient preservation, protection and enhancement of the values in Heydon Hall and the residents' enjoyment of the specific rights, privileges and easements in the community properties that an organization be created to which will be delegated and assigned the powers of maintaining common areas and entrances, administering and enforcing the covenants and restrictions and collecting and disbursing the assessments and charges hereinafter imposed; and

WHEREAS, Declarant has caused to be created for the purposes aforesaid, a North Carolina non-profit corporation under the name and style of Heydon Hall Homeowners Association of Mecklenburg, Inc.

NOW, THEREFORE, Declarant hereby subjects the Property to the easements, covenants, conditions, restrictions, charges and liens hereinafter set forth and hereby declares that (subject to certain rights of amendment, as hereinafter described) all of the Property shall be held, sold and conveyed subject to such easements, covenants, conditions, restrictions, charges and liens, all of which are for the purpose of enhancing and protecting the value, desirability and attractiveness of the Project. Subject to the rights of Declarant reserved in this Declaration, such easements, covenants, conditions, restrictions, charges and liens shall run with the Property, and be binding on all parties having or acquiring any right, title or interest in the Property, or any part thereof and shall inure to the benefit of each owner of the Property or any part thereof.

Drawn By and Mail to:
 James G. Wallace, Esq.
 Wallace, Pittman, Poe & Webb, PLLC
 2101 Rexford Road, Suite 100-E
 Charlotte, NC 28211