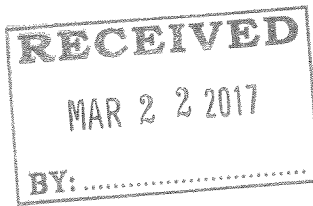


I. REZONING APPLICATION
CITY OF CHARLOTTE



2017-069

Petition #: _____
Date Filed: 3/22/2017
Received By: [Signature]

Complete All Fields (Use additional pages if needed)

Property Owner: Heydon Hall II, LLC; Wayne Edge and Deborah Belk Edge; Ruth Reid Stewart (see attached Joinder Agreements for ownership by parcel)

Owner's Address: See Attached City, State, Zip: Charlotte, NC 28226

Date Property Acquired: Various

Property Address: Various

Tax Parcel Number(s): 209-222-03, 209-222-09, 209-222-04, 209-222-15, 209-222-16, 209-222-17, 209-222-18, 209-222-19, 209-222-20, 209-222-12, 209-222-13, 209-222-14, 209-222-99, 209-222-21, 209-222-22, 209-222-24, and 209-222-25

Current Land Use: Single-Family Residential Size (Acres): +/- 7

Existing Zoning: MX-1 Proposed Zoning: MX-1 S.P.A.

Overlay: None (Specify PED, Watershed, Historic District, etc.)

Required Rezoning Pre-Application Meeting* with: T. Keplinger, S. Fortwell, L. Harmon
Date of meeting: February 2, 2017

(* Rezoning applications will not be processed until a required pre-application meeting with a rezoning team member is held.)

For Conditional Rezonings Only:

Requesting a vesting period exceeding the 2 year minimum? Yes/No No Number of years (maximum of 5): _____

Purpose/description of Conditional Zoning Plan: To accommodate a site plan that is consistent with the design of existing portions of Heydon Hall.

Collin Brown / Bailey Patrick, Jr.
Name of Rezoning Agent

214 N. Tryon Street, 47th Floor
Agent's Address

Charlotte, NC 28202
City, State, Zip

704-331-7531 704-353-3231
Telephone Number Fax Number

Collin.Brown@klgates.com
E-Mail Address

Signature of Property Owner
(See Attached Joinder Agreement)

(Name Typed / Printed)

Heydon Hall II, LLC c/o Michael Dodson
Name of Petitioner(s)

11301 Carmel Commons Blvd. Suite 108
Address of Petitioner(s)

Charlotte, NC 28226
City, State, Zip

704-258-4243 _____
Telephone Number Fax Number

Mike.Dodson@hotmail.com
E-Mail Address

[Signature]
Signature of Petitioner

Michael Dodson

(Name Typed / Printed)

REZONING PETITION NO. 2017-_____


HEYDON HALL II, LLC, PETITIONER

JOINDER AGREEMENT

The undersigned, as the owners of that parcel of land located at or near 3533 Smithfield Church Road in the City of Charlotte, Mecklenburg County, North Carolina that is designated as Tax Parcel Nos. 209-222-03 and 209-222-09 on the Mecklenburg County Tax Maps and which is the subject of the attached Rezoning Application (the "Property"), hereby join in this Rezoning Application and consent to the requested Zoning Map Amendment as more particularly set out on the associated conditional rezoning plan.

This 23 day of MARCH, 2017.


Deborah Belk Edge


Wayne Edward Edge

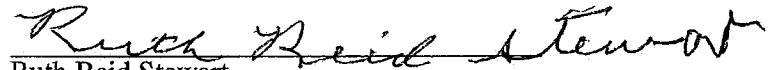
REZONING PETITION NO. 2017-_____

HEYDON HALL II, LLC, PETITIONER

JOINDER AGREEMENT

The undersigned, as the owners of that parcel of land located at or near 3609 Smithfield Church Road in the City of Charlotte, Mecklenburg County, North Carolina that is designated as Tax Parcel Nos. 209-222-04, 209-222-15, 209-222-16, 209-222-17, 209-222-18, 209-222-19, and 209-222-20 on the Mecklenburg County Tax Maps and which is the subject of the attached Rezoning Application (the "Property"), hereby join in this Rezoning Application and consent to the requested Zoning Map Amendment as more particularly set out on the associated conditional rezoning plan.

This 22 day of March, 2017.


Ruth Reid Stewart


REZONING PETITION NO. 2017-_____

HEYDON HALL II, LLC, PETITIONER

JOINDER AGREEMENT

The undersigned, as the owners of that parcel of land located at or near Heydon Hall Circle in the City of Charlotte, Mecklenburg County, North Carolina that is designated as Tax Parcel Nos. 209-222-12, 209-222-13, 209-222-14, 209-222-99, 209-222-21, 209-222-22, 209-222-24, and 209-222-25 on the Mecklenburg County Tax Maps and which is the subject of the attached Rezoning Application (the "Property"), hereby join in this Rezoning Application and consent to the requested Zoning Map Amendment as more particularly set out on the associated conditional rezoning plan.

This 23 day of March, 2017.



Heydon Hall II LLC