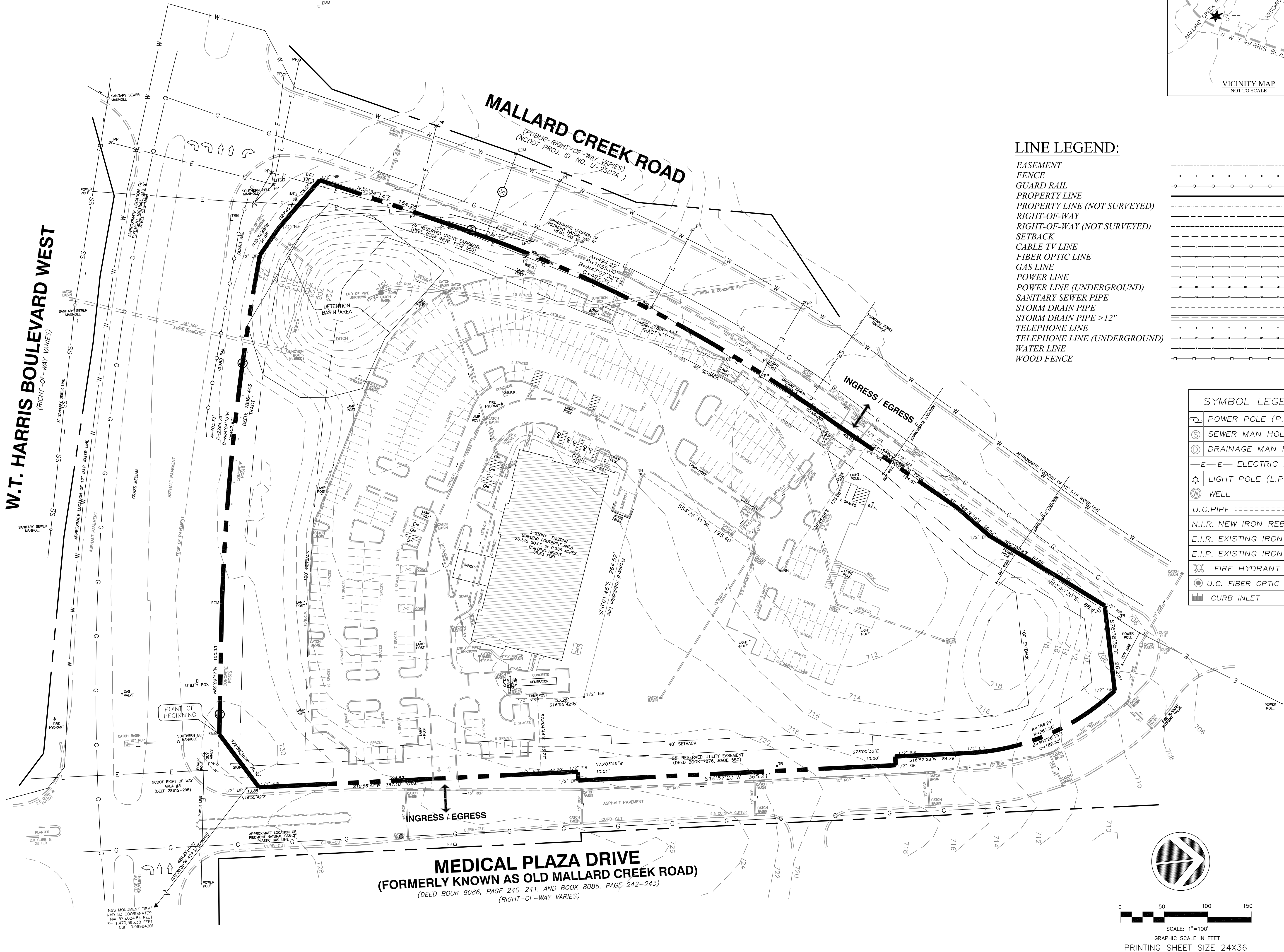


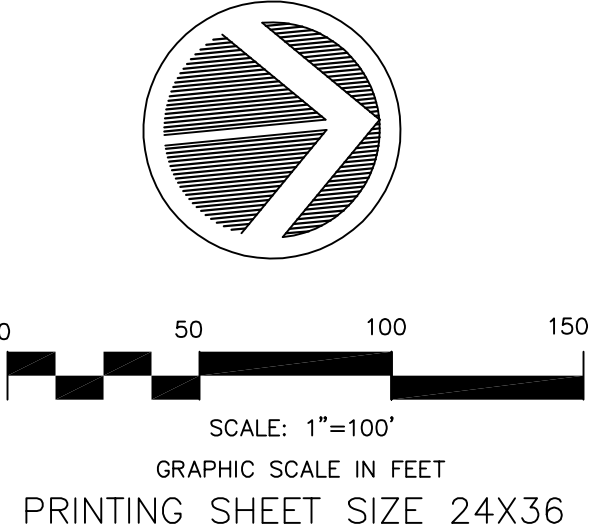
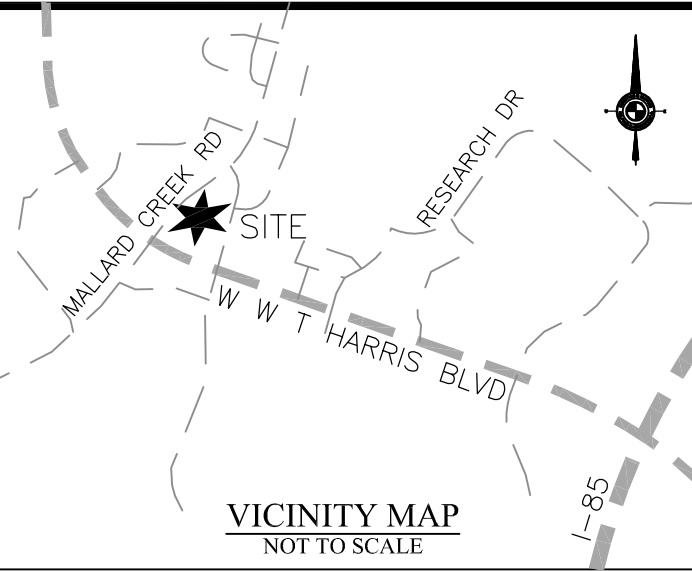
\\gar\data\2017\PROJECTS\Medical Plaza - Rezoning\NEZCON\CD\RE-ZCONING\_02.23.2017.dwg



LINE LEGEND:

- EASEMENT
- FENCE
- GUARD RAIL
- PROPERTY LINE
- PROPERTY LINE (NOT SURVEYED)
- RIGHT-OF-WAY
- RIGHT-OF-WAY (NOT SURVEYED)
- SETBACK
- CABLE TV LINE
- FIBER OPTIC LINE
- GAS LINE
- POWER LINE
- POWER LINE (UNDERGROUND)
- SANITARY SEWER PIPE
- STORM DRAIN PIPE
- STORM DRAIN PIPE >12"
- TELEPHONE LINE
- TELEPHONE LINE (UNDERGROUND)
- WATER LINE
- WOOD FENCE

SYMBOL LEGEND	
	POWER POLE (P.P.)
	SEWER MAN HOLE
	DRAINAGE MAN HOLE
	ELECTRIC LINE
	LIGHT POLE (L.P.)
	WELL
	U.G. PIPE
	N.I.R. NEW IRON REBAR
	E.I.R. EXISTING IRON REBAR
	E.I.P. EXISTING IRON PIPE
	FIRE HYDRANT
	U.G. FIBER OPTIC CABLE
	CURB INLET



NOT FOR CONSTRUCTION DRAWINGS

PRINTING SHEET SIZE 24X36

**MANSOUR EDLIN CONSULTING**  
1515 MOCKINGBIRD LANE  
SUITE 802 Charlotte, N. C. 28209  
Phone 704/672-1560  
Fax 704/672-1562

This drawing and design shown are the property of Mansour Edlin Consulting. The reproduction, editing or other use of this drawing without written consent is prohibited and infringement will be subject to legal action.

**THE KEITH CORPORATION**  
Real Estate Development  
Brokerage/Property Management  
5935 Carnegie Blvd.  
Charlotte, North Carolina 28209  
704.365.6000 (f)704.365.0733

PROJECT NUMBER
DESIGN BY
APPROVED BY
DRAWN BY
Date
DIGITAL FILE

REVISION

TKC CLIV, LLC

5935 Carnegie Blvd.  
Charlotte, North Carolina 28209  
704.365.6000 (f)704.365.0733

FOR PUBLIC HEARING

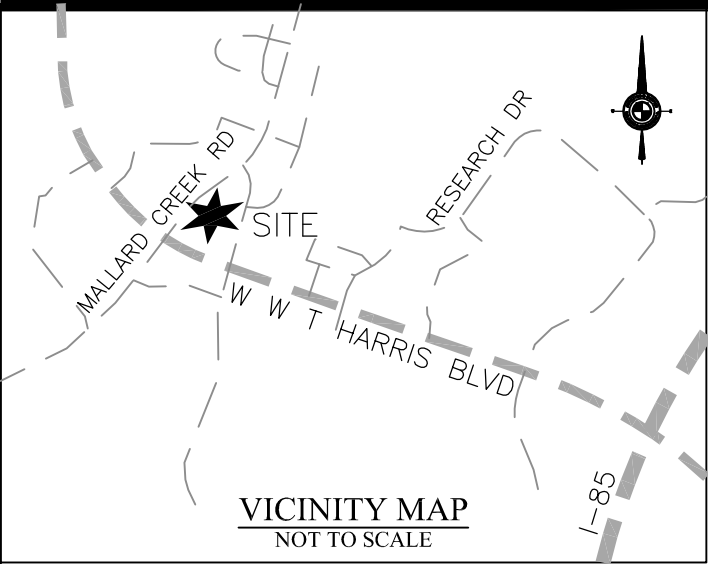
PETITION NUMBER

8401  
MEDICAL PLAZA  
DRIVE  
CHARLOTTE  
NORTH CAROLINA

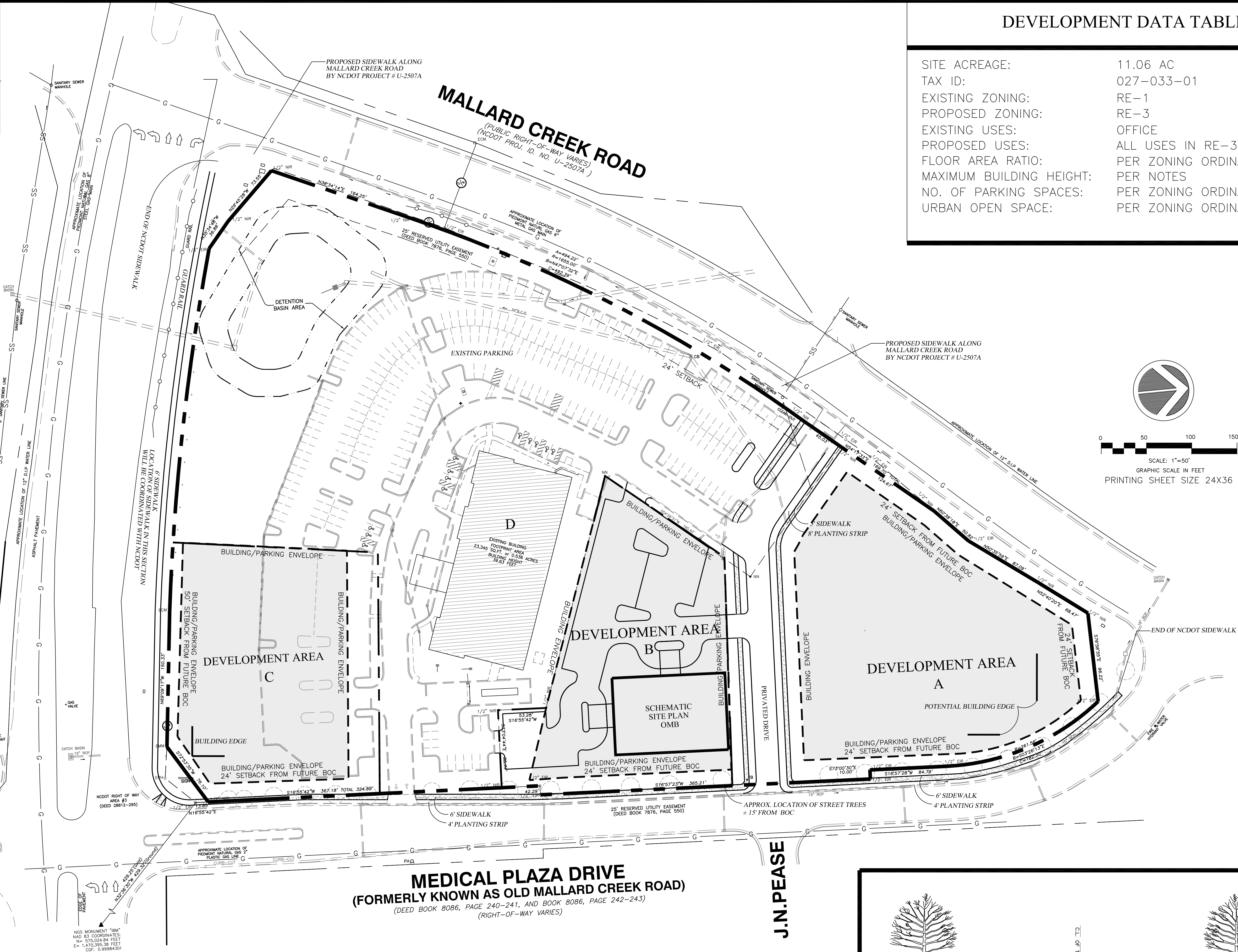
EXISTING  
CONDITION

RZ-1



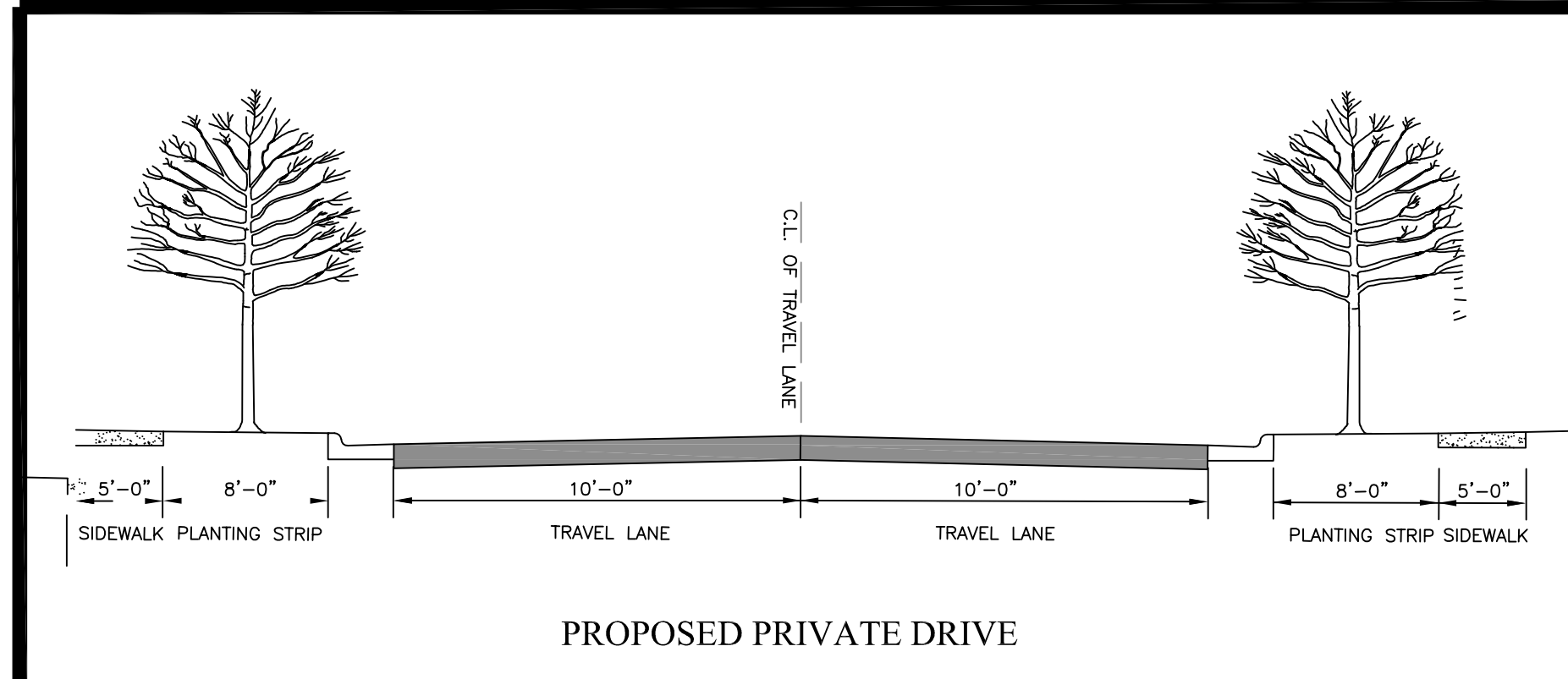


W.T. HARRIS BOULEVARD WEST  
(RIGHT-OF-WAY VARIES)



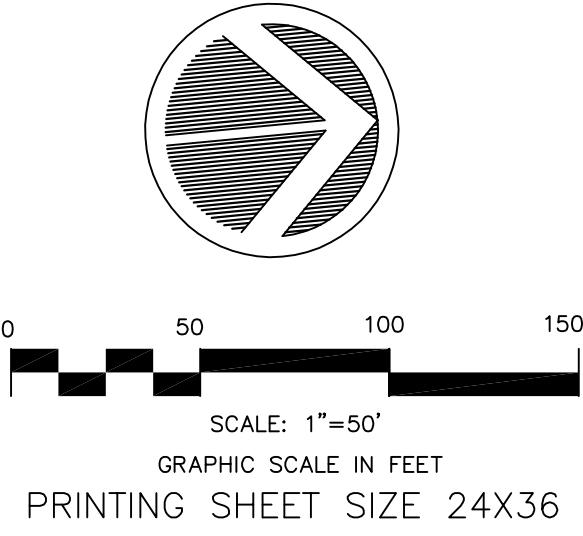
**MEDICAL PLAZA DRIVE**  
(FORMERLY KNOWN AS OLD MALLARD CREEK ROAD)  
(DEED BOOK 8086, PAGE 240-241, AND BOOK 8086, PAGE 242-243)  
(RIGHT-OF-WAY VARIES)

J.N. PEASE



DEVELOPMENT DATA TABLE

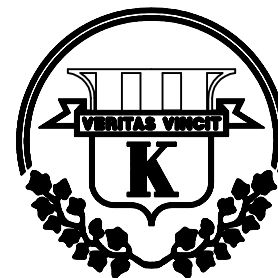
SITE ACREAGE:	11.06 AC
TAX ID:	027-033-01
EXISTING ZONING:	RE-1
PROPOSED ZONING:	RE-3
EXISTING USES:	OFFICE
PROPOSED USES:	ALL USES IN RE-3
FLOOR AREA RATIO:	PER ZONING ORDINANCE
MAXIMUM BUILDING HEIGHT:	PER NOTES
NO. OF PARKING SPACES:	PER ZONING ORDINANCE
URBAN OPEN SPACE:	PER ZONING ORDINANCE



**MANSOUR EDLIN CONSULTING**

1515 MOCKINGBIRD LANE  
SUITE 802 Charlotte, N.C. 28209  
Phone 704/672-1560  
Fax 704/672-1562

This drawing and design shown are the property of Mansour Edlin Consulting. The reproduction, editing or other use of this drawing without written consent is prohibited and infringement will be subject to legal action.



**THE KEITH CORPORATION**  
Real Estate Development  
Brokerage/Property Management  
5935 Carnegie Blvd.  
Charlotte, North Carolina 28209  
704.365.6000 (f)704.365.0733

PROJECT NUMBER
DESIGN By
APPROVED By
DRAWN By
Date
DIGITAL FILE

REVISION

TKC CLIV, LLC

5935 Carnegie Blvd.  
Charlotte, North Carolina 28209  
704.365.6000 (f)704.365.0733

FOR PUBLIC HEARING

PETITION NUMBER

8401  
MEDICAL PLAZA  
DRIVE  
CHARLOTTE  
NORTH CAROLINA

ILLUSTRATIVE  
SITE PLAN

RZ-2

PRINTING SHEET SIZE 24X36



