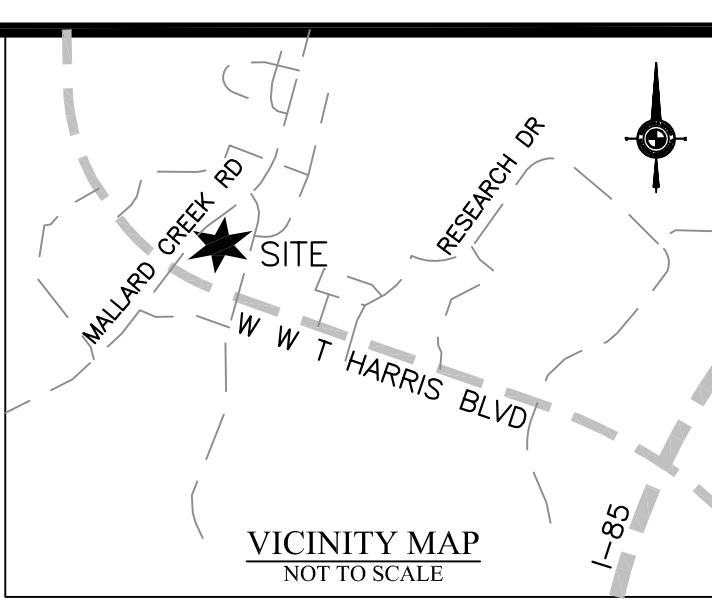
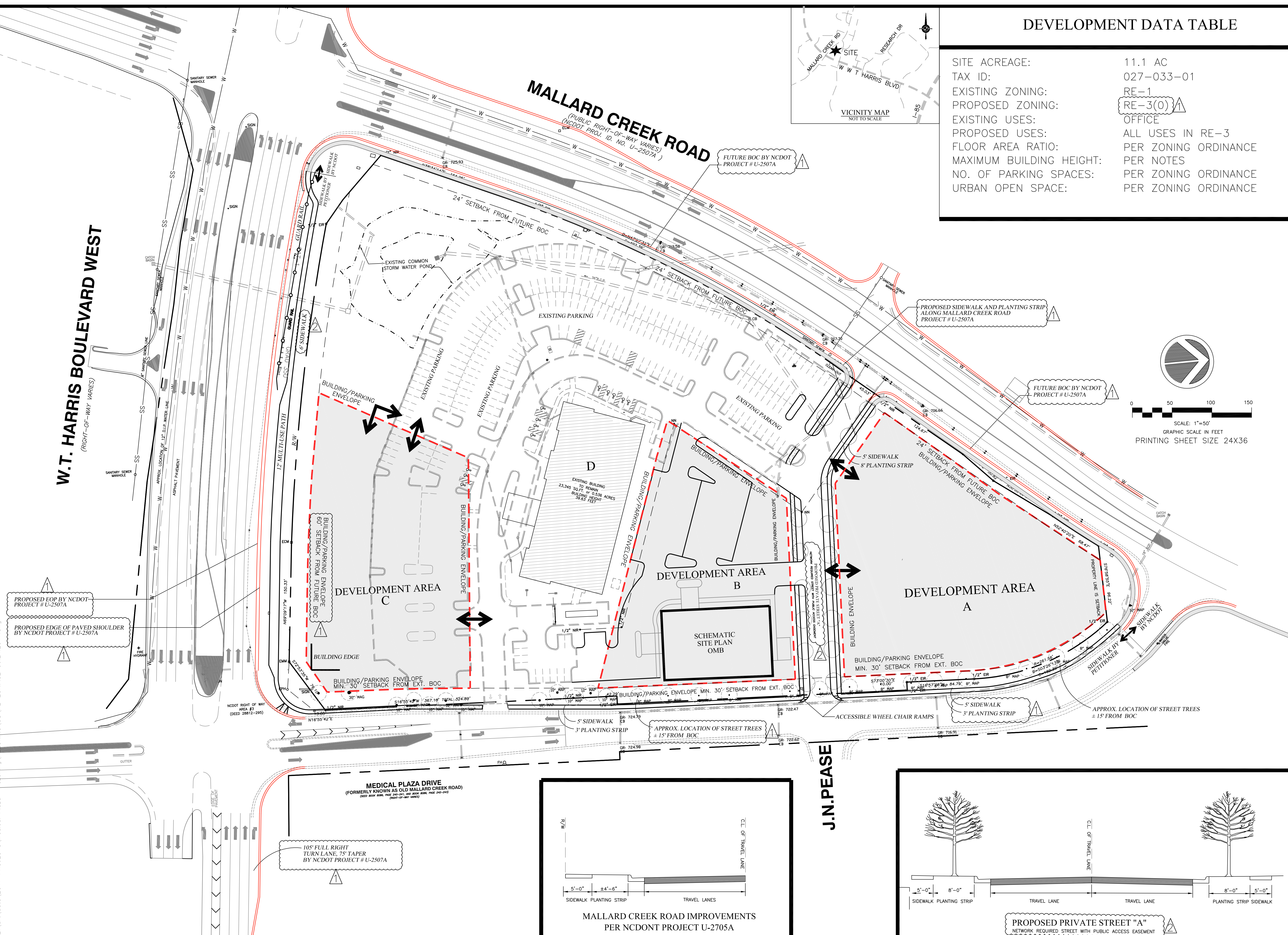
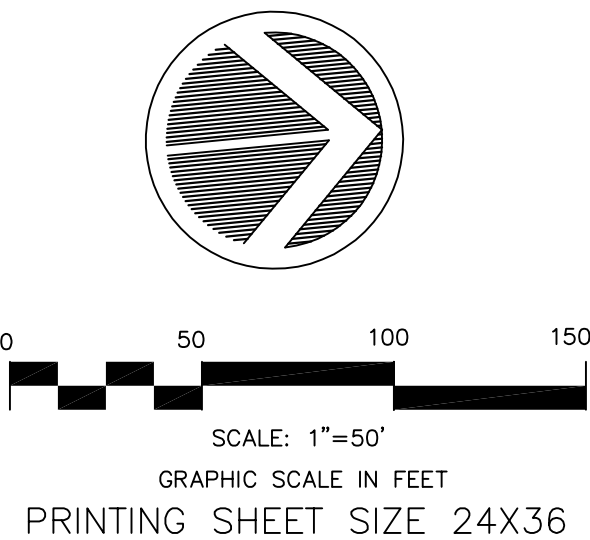


W.T. HARRIS BOULEVARD WEST
(RIGHT-OF-WAY VARIES)



DEVELOPMENT DATA TABLE

SITE ACREAGE:	11.1 AC
TAX ID:	027-033-01
EXISTING ZONING:	RE-1
PROPOSED ZONING:	RE-3(0) ⚠
EXISTING USES:	OFFICE
PROPOSED USES:	ALL USES IN RE-3
FLOOR AREA RATIO:	PER ZONING ORDINANCE
MAXIMUM BUILDING HEIGHT:	PER NOTES
NO. OF PARKING SPACES:	PER ZONING ORDINANCE
URBAN OPEN SPACE:	PER ZONING ORDINANCE



MANSOUR

EDLIN

CONSULTING

1515 MOCKINGBIRD LANE
SUITE 802 Charlotte, N. C. 28209
Phone 704/672-1560
Fax 704/672-1562

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THE KEITH CORPORATION

Real Estate Development
Brokerage/Property Management
5935 Carnegie Blvd.
Charlotte, North Carolina 28209
704.365.6000 (f)704.365.0733

PROJECT NUMBER	02.23.2017 RE-Z
DESIGN By	ME-PE
APPROVED By	ME-PE
DRAWN By	HAR
Date	04.06.2017
DIGITAL FILE	Z:2017P 02.23.2017 RE-Z

2. PER SECOND CYCLE REVIEW COMMENTS 06.23.2017

1. PER FIRST CYCLE REVIEW COMMENTS 05.12.2017

REVISION

TKC CLIV, LLC

5935 Carnegie Blvd.
Charlotte, North Carolina 28209
704.365.6000 (f)704.365.0733

FOR PUBLIC HEARING

PETITION NUMBER

2017-058

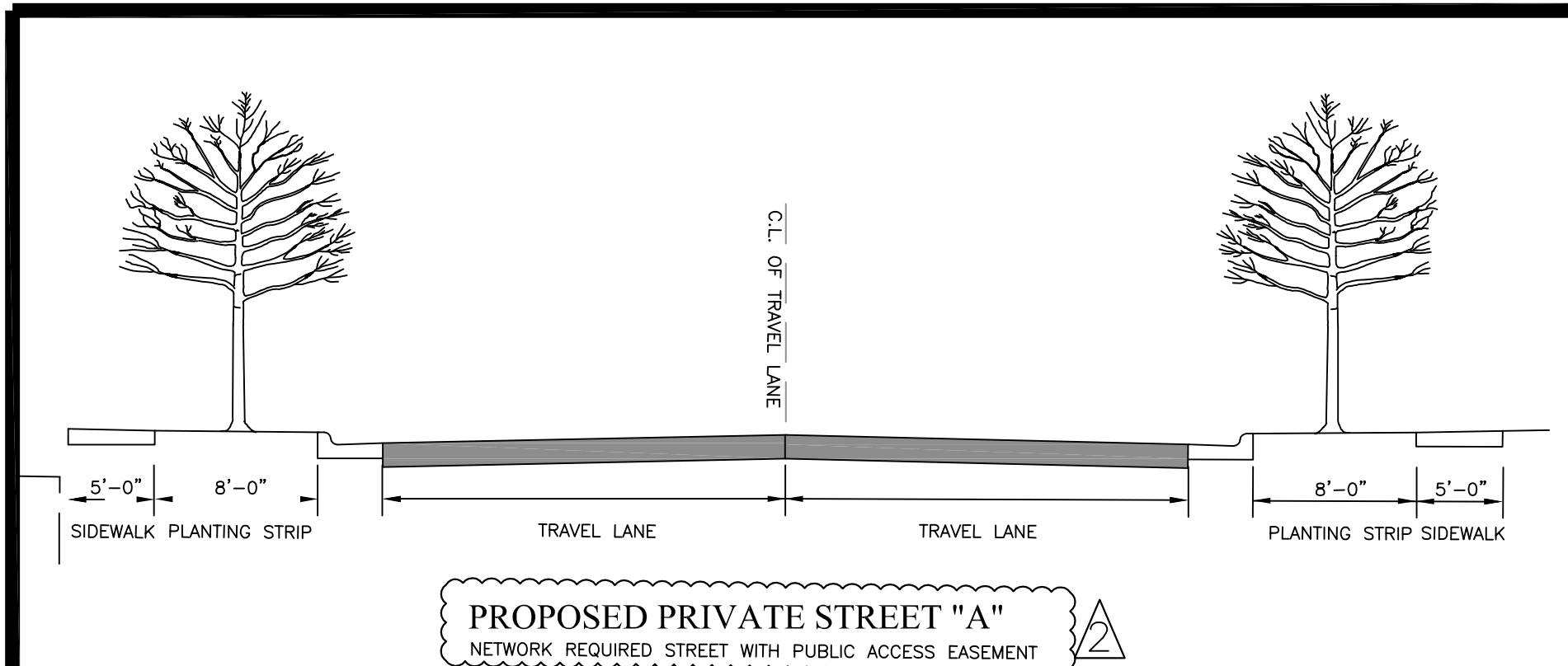
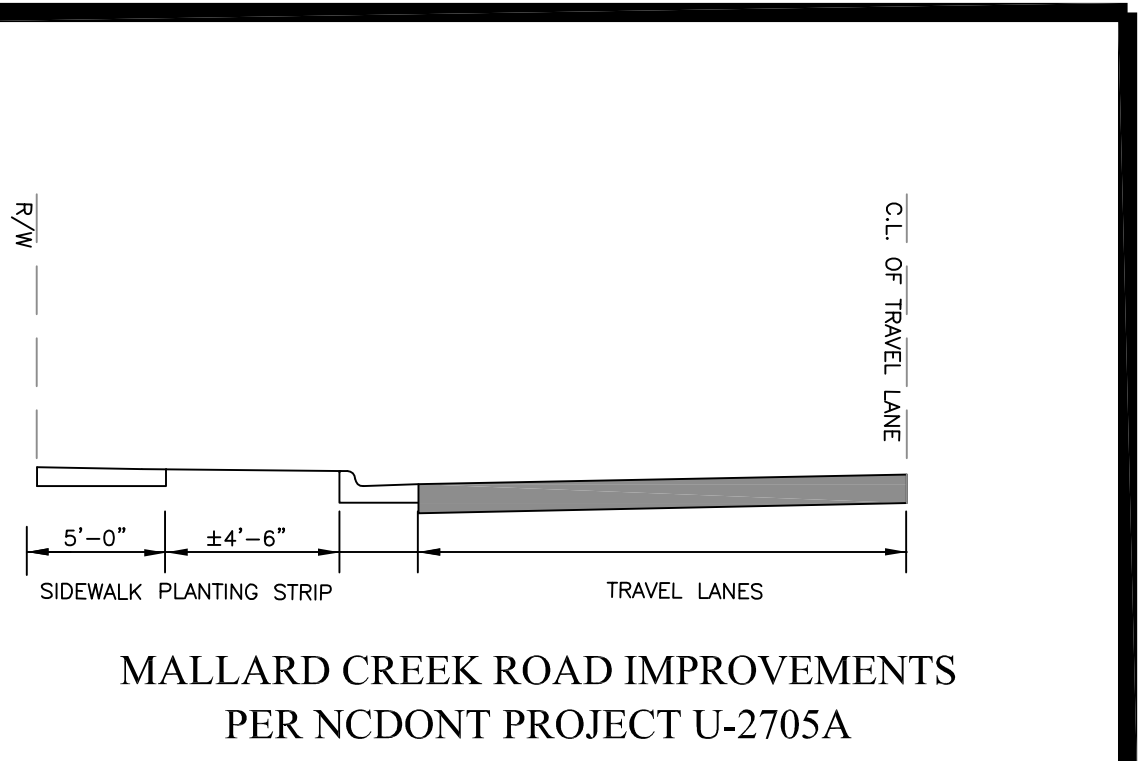
8401
MEDICAL PLAZA
DRIVE

CHARLOTTE
NORTH CAROLINA

ILLUSTRATIVE
SITE PLAN

RZ-1

PRINTING SHEET SIZE 24X36



a. Buildings fronting on Medical Plaza Drive and W.T. Harris Boulevard will be articulated such that expanses of solid walls exceeding 20 linear feet will be avoided with either horizontal and vertical variations in wall planes, materials and/or building color.

The Petitioner plans to provide or cause to be provided on its own or in cooperation with other parties who may implement portions of the improvements, the improvements set forth below to benefit overall traffic patterns throughout the area in accordance with the following implementation provisions on the Site:

The above referenced improvements shall be substantially completed prior to the issuance of the first certificate of occupancy for the first new building constructed on the Site.

a. **CDOT/NCDOI Standards.** All of the foregoing public roadway improvements will be subject to the standards and criteria of CDOT as applicable. It is understood that such improvements may be undertaken by the Petitioner on its own or in conjunction with other development or roadway projects taking place within the area, by way of a private/public partnership effort or other public sector project support.

b. **Phasing.** Roadway improvements referenced in Section 4.I above shall be completed in coordination with Development Area B.

d. **Number of Buildings Principal and Accessory.** Notwithstanding the number of buildings shown on the Rezoning Plan, the total number of principal buildings to be developed on the Site shall not exceed five (5). The Petitioner reserves the right to combine or split building so as to have a greater number of buildings than is illustrated on the Schematic Site Plan. Accessory building and structures shall not be considered in any limitation on the number of buildings on each of the Parcels.

e. **Gross Floor Area.** For purposes of the development limitations set forth in these Development Standards (but not to be construed as a limitation on FAR requirements), the following items will not be counted as part of the allowed gross floor area (floor area as defined by the Ordinance) for the Site: surface or structured parking facilities, all loading dock areas (open or enclosed), and outdoor dining areas whether on the roof of the building(s) or at street level (parking for outdoor dining areas will be provided as required by the Ordinance or these development standards)

f. **Planned/Unified Development.** The Site may be considered a unified development plan and as such internal separation standards such as buffers, side and/or rear yards may be eliminated, subject to the normally required Staff review and approval process.

g. **Personal Services.** The terms "personal service uses" and/or "personal services" (whether capitalized or not) will mean and refer to uses that primarily provide or sell a service to customers versus the selling of goods together with associated accessory uses. A personal service use may also sell products or merchandised but the sale of products and merchandise is typically ancillary. Examples of Personal Service uses include but are not limited to: beauty salons and barber shops, artist studios and galleries, Yoga and exercise studios, fitness and wellness facilities, nail salons, martial art training studios, laundries and dry cleaning establishments, locksmiths, funeral homes and the like.

h. **Limited Service Restaurant/EDEE.** A “Limited Service Restaurant” or “limited service restaurant” (whether capitalized or not) shall mean a restaurant with no more than 3,000 square feet of gross floor area serving primarily items such as coffee, ice cream, yogurt, juices, bagels, muffins, pastries, sandwiches and similar foods that do not require on-premise cooking of food (other than heating and the baking of premixed dough), together with associated accessory uses.

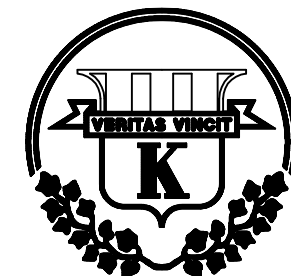
a. The Petitioner seeks the Optional Provision to allow service lanes associated with a drive-through window to be located to the side of the building and to abut public or private streets as set forth in Section 7.

b. The Petitioner seeks the Optional Provision to provide a twenty-four (24') foot setback as measured from the future back of curb along Mallard Creek Road, as generally depicted on the Rezoning Plan, in response to existing site conditions.

c. The Petitioner seeks the Optional Provision to provide a thirty (30') foot setback as measured from the future back of curb along Medical Plaza Drive, as generally depicted on the Rezoning Plan, to preserve existing mature trees and in response to site conditions.

d. The Petitioner seeks the Optional Provision to provide a three (3') foot planting strip and five (5') foot sidewalk along Medical Plaza Drive as generally depicted on the Rezoning Plan to preserve existing mature trees and in response to site conditions. If the development on this

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PROJECT NUMBER
DESIGN BY
APPROVED BY
DRAWN BY
Date
DIGITAL FILE

1. PER FIRST CYCLE REVIEW COMMENTS 05.12.2017
REVISION

TKC CLIV, LLC

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FOR PUBLIC HEARING

PETITION NUMBER

2017-058

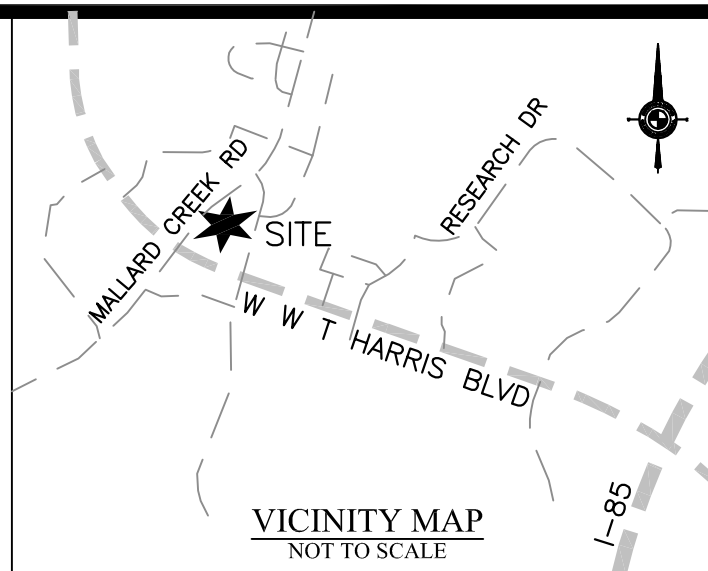
8401
MEDICAL PLAZA
DRIVE
CHARLOTTE
NORTH CAROLINA

EXISTING
CONDITION

RZ-3

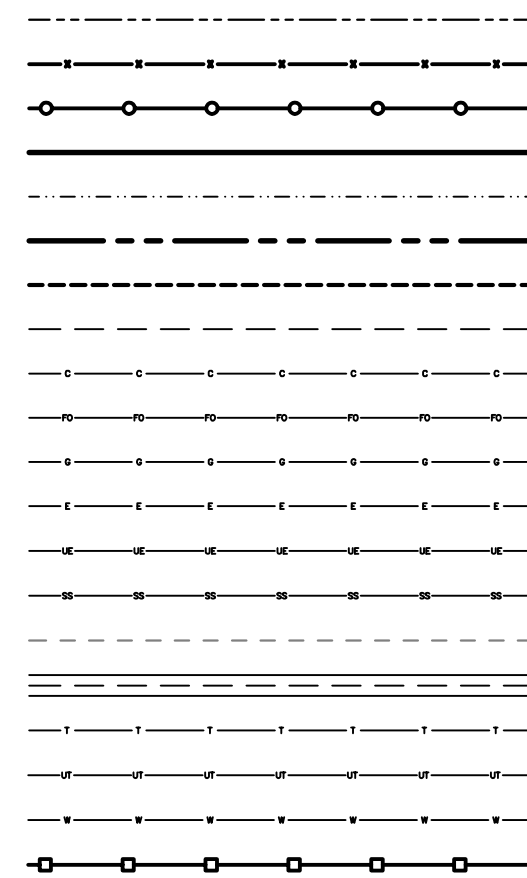
PRINTING SHEET SIZE 24X36

NOT FOR CONSTRUCTION DRAWINGS



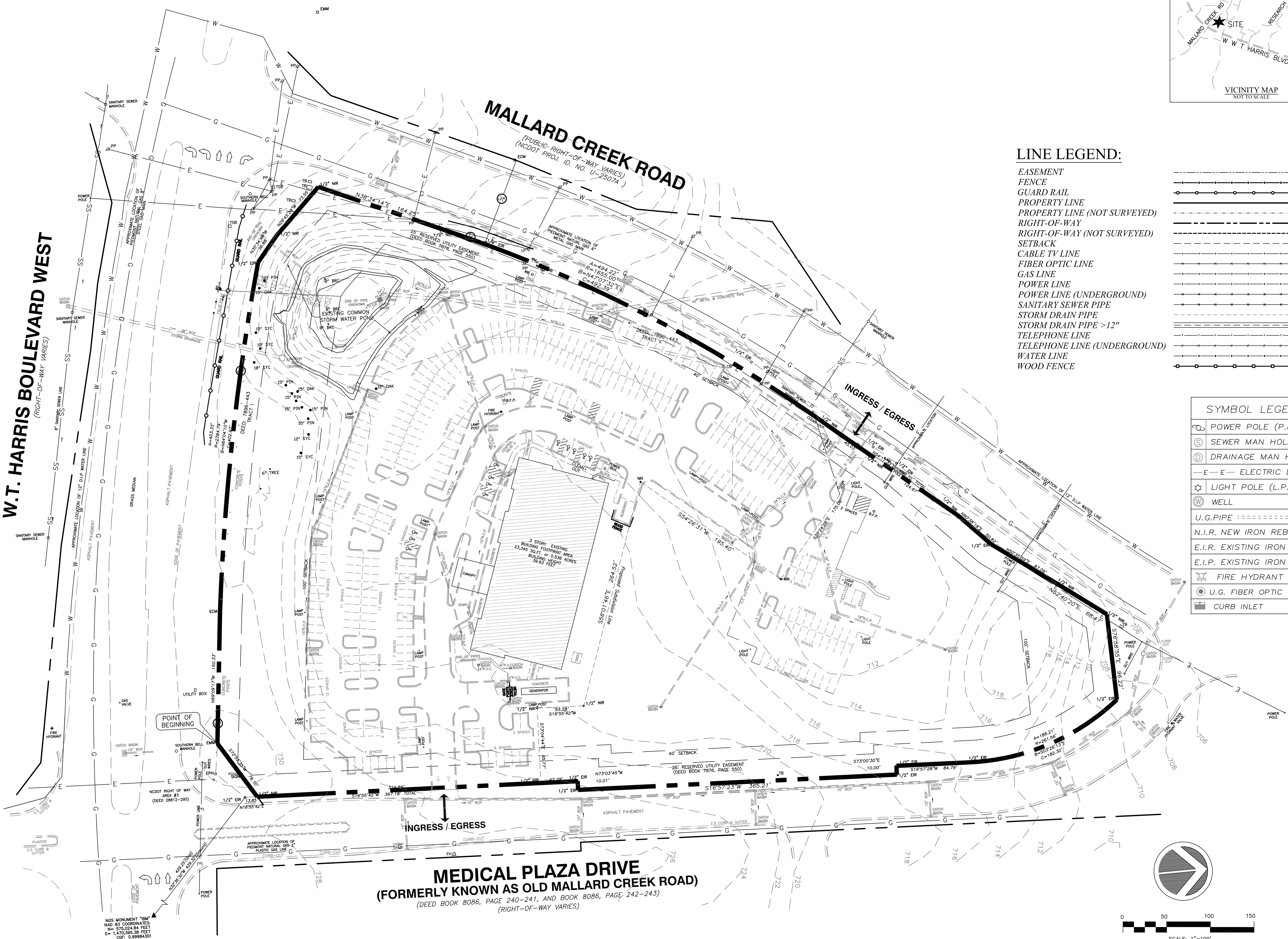
LINE LEGEND:

EASEMENT
FENCE
GUARD RAIL
PROPERTY LINE
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETBACK
CABLE TV LINE
FIBER OPTIC LINE
GAS LINE
POWER LINE
POWER LINE (UNDERGROUND)
SANITARY SEWER PIPE
STORM DRAIN PIPE
STORM DRAIN PIPE >12"
TELEPHONE LINE
TELEPHONE LINE (UNDERGROUND)
WATER LINE
WOOD FENCE



SYMBOL LEGEND

	POWER POLE (P.P.)
	SEWER MAN HOLE
	DRAINAGE MAN HOLE
	E—E— ELECTRIC LINE
	LIGHT POLE (L.P.)
	WELL
	U.G. PIPE
	N.I.R. NEW IRON REBAR
	E.I.R. EXISTING IRON REBAR
	E.I.P. EXISTING IRON PIPE
	FIRE HYDRANT
	U.G. FIBER OPTIC CABLE
	CURB INLET



0 50 100 150
SCALE: 1"=100'
GRAPHIC SCALE IN FEET
PRINTING SHEET SIZE 24X36

W.T. HARRIS BOULEVARD WEST
(RIGHT-OF-WAY VARIES)

MEDICAL PLAZA DRIVE
(FORMERLY KNOWN AS OLD MALLARD CREEK ROAD)
(DEED BOOK 8086, PAGE 240-241, AND BOOK 8086, PAGE 242-243)
(RIGHT-OF-WAY VARIES)

MALLARD CREEK ROAD
(PUBLIC RIGHT-OF-WAY VARIES)
(NCDOT PROJ. ID. NO. U-2507A)