



ROBERT JOHNSON
architects
1808 West Morehead St.
Charlotte, NC 28208
T 704 / 342.1058
F 704 / 342.3043



ARBORETUM
MIXED USE
DEVELOPMENT
CHARLOTTE, NC

PROJECT NUMBER	SP 731
ISSUE DATE	
REZONING SUBMITTAL	02.27.17
REZONING SUBMITTAL	05.15.17
REZONING SUBMITTAL	06.12.17
REZONING SUBMITTAL	07.17.17

DRAWING DATA

DRAWN BY: GW
CHECKED BY: RJ
FILE NUMBER:

SHEET TITLE

CONCEPTUAL
SITE PLAN

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SHEET NUMBER

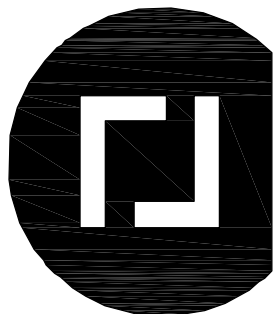
RZ-01



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1
RZ-01
CONCEPTUAL SITE PLAN
SCALE: 1" = 50'



ROBERT JOHNSON
architects
1808 West Morehead St.
Charlotte, NC 28208
T 704 / 342.1058
F 704 / 342.3043

GEORGE SCIENCE
GROUP
Incorporated
500-K Clanton Road
Charlotte, NC 28217
(704) 525-2003

NC FIRM LICENSE: F-0585(ENG)
NC FIRM LICENSE: C-279(LA)



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CHARLOTTE, NC

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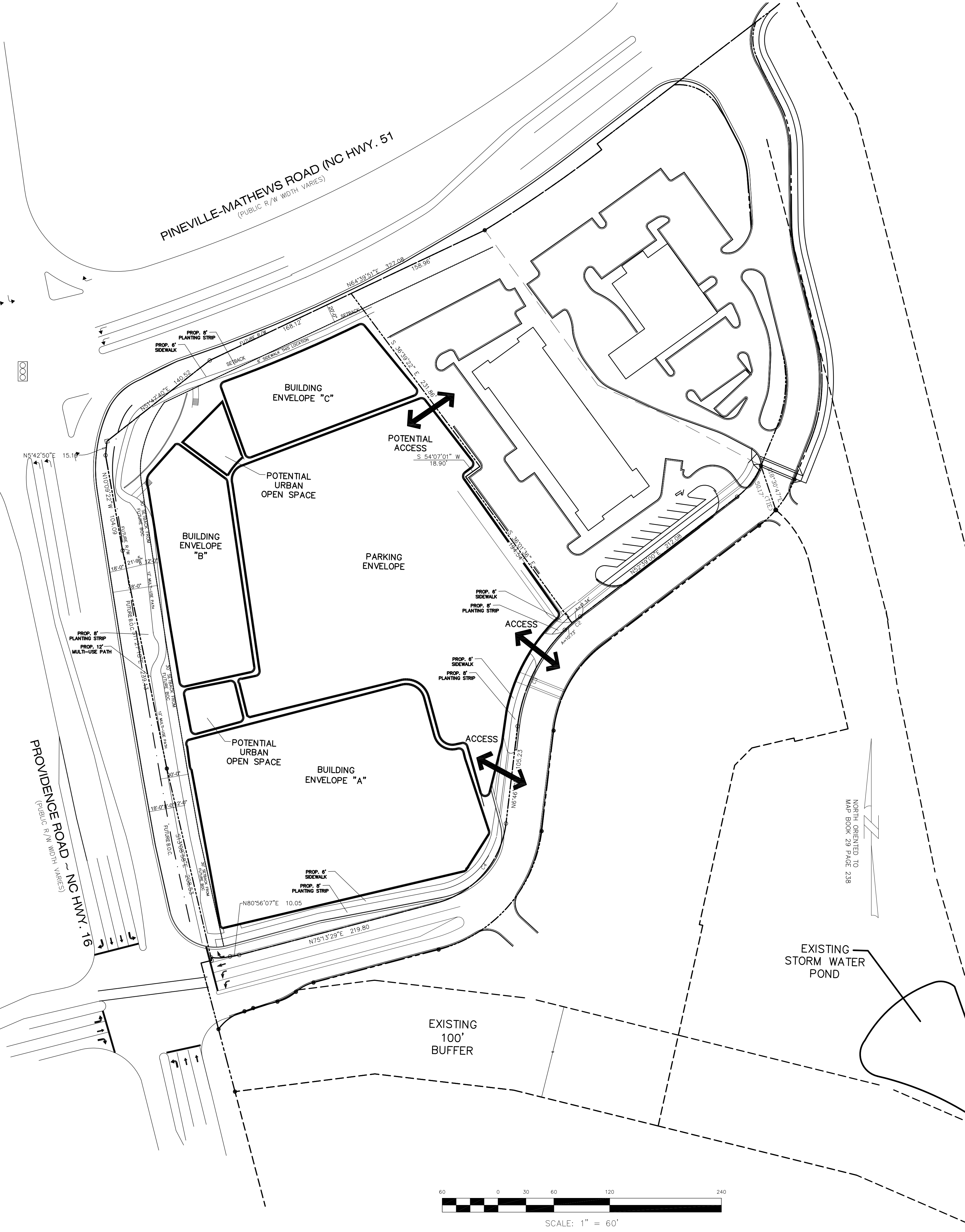
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FILE NUMBER:

SHEET TITLE
TECHNICAL
DATA SHEET

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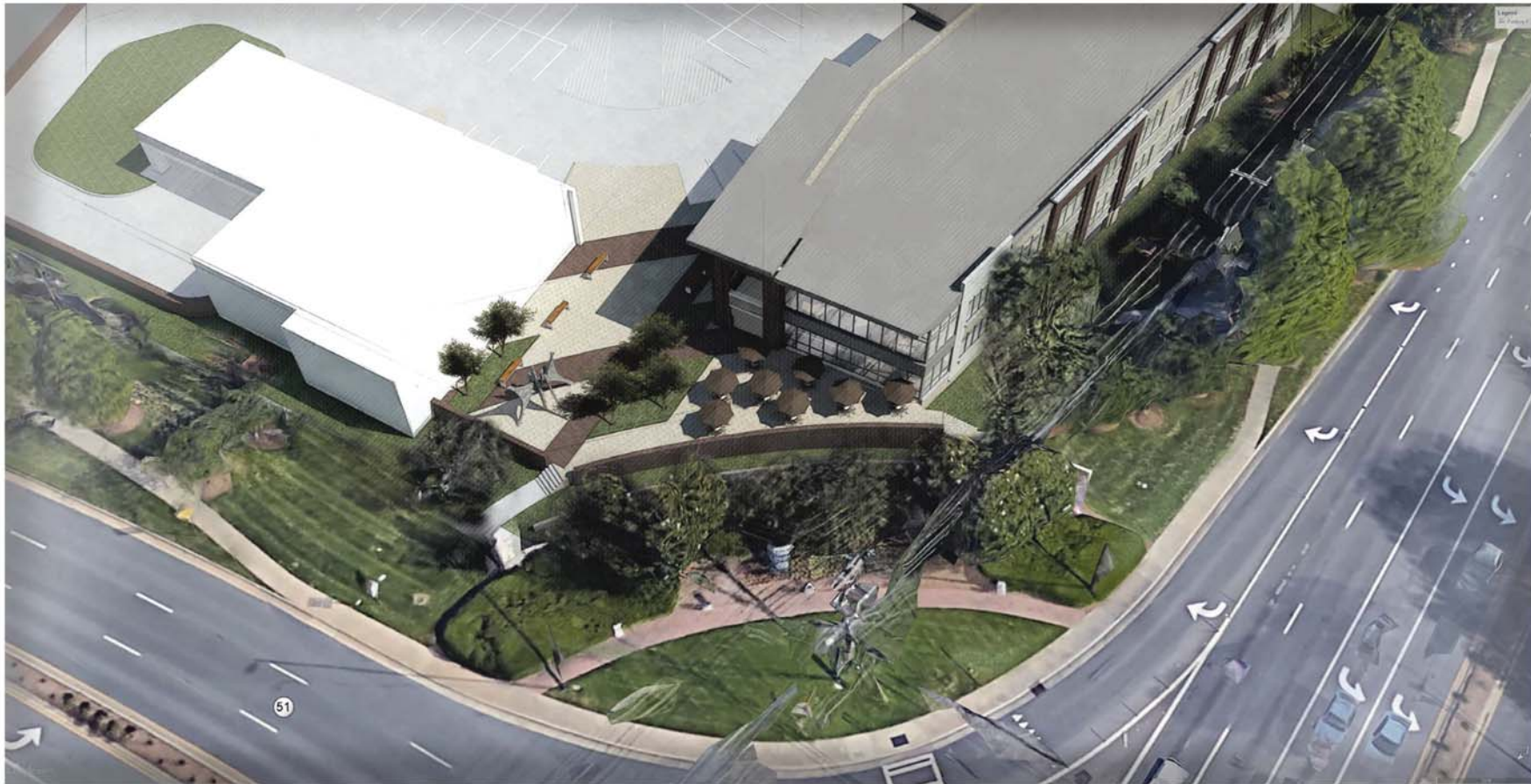
RZ-02



- Site Development Data:**
- Average: 5.4 acres
 - Tax Parcel No: 227-25-185, 227-25-183 and a portion of 227-25-186
 - Zoning: Zoning O-16(CD)
 - Proposed Zoning: M1 (D-4)
 - Zoning Use: Office and Financial Institutions
 - Proposed Uses: Retail, Eating, Drinking, Entertainment, Establishments (FDEF); general and medical office uses, and Personal Service Uses as permitted by right, under prescribed conditions and per the Optional provisions above together with accessory uses, as allowed in the MUD0 zoning district (as more specifically described and restricted below in Section 7).
 - Maximum Gross Square Foot of Development: Up to 250,000 square feet of gross floor area of proposed uses of which no more than 1,000,000 square feet of gross floor area may be developed in the MUD0 zoning district (as more specifically described and restricted below in Section 7).
 - Maximum Building Height: Buildings will be limited to Maximum building height of 25 feet in Building Envelope A, 25 feet in Building Envelope B, and 20 feet in Building Envelope C, as generally depicted on Sheet RZ-01.
 - Parking: Parking will be provided per Ordinance.
- 1. General Provisions:**
- Site Location:** These Development Standards, the Technical Data Sheet, Schematic Site Plan and other graphics set forth on attached Sheets RZ-01, RZ-02, RZ-03, and RZ-04 form this rezoning plan (collectively referred to as the "Rezoning Plan") associated with the Rezoning Petition filed by Childress Klein Properties, ("Petitioner") to accommodate the development of a high quality mixed use development on an approximately 5.4 acre site located on the southeast quadrant of the intersection of Providence Road and Pineville-Matthews Road (the "Site"). The Site is a portion of the development, known as Arboretum Office Park, located at the corner of each intersection.
 - Zoning District/Ordinance:** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the MUD00 zoning classification shall govern all development taking place on the Site, subject to the Optional Provisions provided below.
 - Graphics and Alterations:** The schematic depiction of the uses, parking areas, sidewalks, structures and buildings, building elevations, driveways, streets, and other development matters and site elements (collectively the "Development Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and orientations of the Development Site Elements are graphic representations of the Development Site Elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance. Since the project has not undergone the design development and construction phases, it is intended that this Rezoning Plan provide for flexibility in allowing some alterations or modifications from the graphic representations of the Development Site Elements. Therefore, there may be instances where minor modifications will be allowed without requiring the Administrative Amendment Process per Section 6.207 of the Ordinance. These instances would include changes to graphics if they are:
 - expressly permitted by the Rezoning Plan (it is understood that if a modification is expressly permitted by the Rezoning Plan it is deemed a minor modification for the purposes of these Development Standards); or
 - minor and don't materially change the overall design intent depicted on the Rezoning Plan; or
 - modifications to move structures graphically depicted on the Rezoning Plan closer to adjacent properties but no closer than the "external building line" (in this case the external setbacks, side or rear yards) indicated on Sheet RZ-01; or
 - modifications to alter minor increases or decreases in the mass of the buildings that do not materially change the design intent depicted on or described in the Rezoning Plan.
- The Planning Director will determine if such minor modifications are allowed per this amended process, and if it is determined that the alteration does not meet the criteria described above, the Petitioner shall then follow the Administrative Amendment Process per Section 6.207 of the Ordinance; in each instance, however, subject to the Petitioner's appeal rights set forth in the Ordinance.
- Number of Buildings: Principal and Accessory.** The total number of principal buildings to be developed on the Site will be limited to three (3). Accessory buildings and structures located on the Site shall not be considered an any limitation on the number of buildings on the Site. Accessory buildings and structures will be constructed utilizing similar building materials, colors, architectural elements and designs as the principal buildings).
 - Gross Floor Area.** For purposes of the development limitations set forth in these Development Standards (but not be construed as a limitation on FAR requirements), the following items will not be counted as part of the allowed gross floor area (floor area as defined by the Ordinance) for the Site: surface or structured parking facilities, all loading dock areas (open or enclosed), and outdoor dining areas (whether on the roof of the building) or at street level (parking for outdoor dining areas will be provided as required by the Ordinance or these development standards).
 - Permitted Services.** Personal Service uses will be defined as uses that primarily provide or sell a service to customers versus the selling of goods. A personal service use may also sell products or merchandise but the sale of products and merchandise is typically ancillary. Examples of Personal Service uses include but are not limited to: beauty salons and barber shops, Spas, Yoga and exercise studios, nail salons, massage shops, martial art training studios, dry cleaning establishments, locksmiths, and others.
 - Unified Development for entire Outparcel.** The Site, together with the adjacent site located adjacent to the Site and being the outparcel of the Adjacent Office Park as generally depicted on the Rezoning Plan (the "Adjacent Site") shall be viewed in the aggregate as a planned unified development as to the elements and portions of the Site generally depicted on the Rezoning Plan and these existing agreements of the Adjacent Site. As such, to internalize and coordinate the development of the Site and the Adjacent Site and within the Site side and rear yards, buffers, building height separation standards, FAR requirements, and other similar zoning standards will not be required internally between improvements and other site elements (but all such standards shall apply) from the exterior boundary of this Site and the Adjacent Site. The Petitioner and/or owners of the Site reserve the right to subdivide portions or all of the Site to create lots within the interior of the Site without regard to any internal separation standards, public/private street frontage requirements and FAR requirements, provided, however, all such standards along the exterior boundary of the Site shall be adhered to and all FAR requirements will be regulated by any development limitations set forth herein as to the Site.
- 2. Optional Provisions**
- The following optional provisions shall apply to the Site:
- To allow wall signs to have up to 200 square feet of sign surface area per wall or 10% of the wall area to which they are attached, whichever is less.
 - To allow one detached ground mounted sign per street front with a maximum height of 3 feet and containing up to 150 square feet of sign area.
 - To allow, free-standing single-story buildings, to have a detached sign up to four (4) feet high with up to 32 square feet of sign area.
 - To allow up to 400 sq ft with accessory drive-through windows (associated with a financial institution) in the configuration and with vehicular storage in generally depicted on Sheet RZ-01 of the Rezoning Plan. The allowed accessory window(s) use will be designed so that it does not circulate between the proposed building and Pineville-Matthews Road as generally depicted on the Rezoning Plan.
 - To not require driveways to be recessed into the face of the building(s) when the width of the sidewalk is at least 10 feet and/or when it is an emergency exit.
 - To allow alternative "blank wall" standards, including but not limited to the use of opaque and spandrel glass per Section II 6.c. of these Development Standards.
- Note: The optional provision regarding signs is an addition/modification to the standards for signs in the MUD0 district and is to be used with the remainder of MUD0 standards for signs not modified by these optional provisions.*
- 3. Permitted Uses, Development Area Limitations:**
- Subject to the restrictions and limitations listed below, the principal buildings constructed on the Site may be developed with up to 250,000 square feet of gross floor area devoted to: retail, EDEF, general and medical office uses, and Personal Service uses as permitted by right, under prescribed conditions and per the Optional provisions above together with accessory uses allowed in the MUD00 zoning district (as more specifically described and restricted below in Section 7).
 - Up to one (1) use with an accessory drive through window(s) (associated with a financial institution) will be permitted on the Site as generally depicted on the Rezoning Plan.
 - The following uses will not be allowed: gasoline service stations with or without a convenience store; and an accessory drive through facility associated with an EDEF or Limited Service Restaurant.
- 4. Transportation Improvements and Access:**
- I. Proposed Improvements:**
- The Petitioner plans to provide or cause to be provided on its own or in cooperation with other parties who may implement portions of the improvements, the improvements set forth below to benefit overall traffic patterns throughout the area in accordance with the following implementation provisions at Providence Road (NC 16) & Arboretum Shopping Center Drive (Arboretum SE Access) (regardless):
 - Construct a southbound right turn lane on Providence Road (NC 16) with 300' of storage and 175' of taper.
 - Modify the westbound lane on Arboretum Shopping Center Drive Access to provide:
 - Dual left turn lanes with approximately 225' of the inside turn lane and 175' on the outside left turn lane and appropriate bay taper
 - A right turn lane with 125' of storage and appropriate bay taper
 - Cover the existing through-right combination lane to a through only lane
 - Provide a median to separate the westbound dual left turn lane from the eastbound through lane with a width to be determined to maximize separation while minimizing any effects through the intersection
 - The above-referenced improvements shall be substantially completed prior to the issuance of the first certificate of occupancy for the first new building constructed on the Site except with respect to redevelopment of the financial institution use located within Building Envelope C, which can be developed prior to the completion of such improvements.
 - The Petitioner will provide and install a traffic signal at the intersection of Pineville-Matthews Road (NC 51) and Beckstone Place, contingent upon the written approval of CDOT and NCDOT.
 - [If after the exercise of good faith reasonable efforts for a reasonable duration of time (which shall be no less than a period of 18 months from the approval of this rezoning), the Petitioner is unable to obtain such approval for the above-referenced traffic signal improvement or other improvements, the Petitioner shall be relieved of any commitment to provide the above-referenced improvement.]
- II. Standards, Planning and Other Provisions:**
- CDOT/CDOT Standards.** All of the foregoing public roadway improvements will be subject to the standards and criteria of CDOT as applicable. It is understood that such improvements may be undertaken by the Petitioner on its own or in conjunction with other development or roadway projects taking place within the area, by way of a private/public partnership effort or other public sector project support.
 - Substantial Completion.** Reference to "substantial completion" or "substantially completed" after certain improvements as set forth in the provisions of Section 4.1 above shall mean completion of the roadway improvements in accordance with the standards set forth in Section 4.1A above and provided, however, in the event all roadway improvements are not completed at the time that the Petitioner seeks to obtain a certificate of occupancy for buildings on the Site in connection with the development planning described above, then the Petitioner will work with City Staff to obtain a process to allow the issuance of certificates of occupancy for the applicable buildings, and in such event the Petitioner may be asked to post a letter of credit or a bond for any improvements not in place at the time such a certificate of occupancy is issued to secure completion of the applicable improvements.
 - Highway Availability.** It is understood that some of the public roadway improvements referenced in subsection a. above may not be possible without the acquisition of additional right of way. If after the exercise of diligent good faith efforts over a minimum of a 60 day period, the Petitioner is unable to acquire any land necessary to provide for any such additional right of way upon commercially reasonable terms and at market prices, then CDOT, the City of Charlotte Engineering Division or other applicable agency, department or governmental body agree to proceed with acquisition of any such land. In such event, the Petitioner shall reimburse the applicable agency, department or governmental body for the cost of any such acquisition, proceedings including compensation paid to the applicable agency, department or governmental body for any such land and the expenses of such proceedings. Furthermore, in the event public roadway improvements referenced in subsection a. above are delayed because of delay in the acquisition of additional right of way as contemplated herein and such delay extends beyond the time that the Petitioner seeks to obtain a certificate of occupancy for buildings on the Site in connection with related development planning described above, then the Petitioner will work with City Staff to determine a process to allow the issuance of certificates of occupancy for the applicable buildings; provided, however, the Petitioner continues to exercise good faith efforts to complete the applicable roadway improvements, in such event the Petitioner may be asked to post a letter of credit or a bond for any improvements not in place at the time such a certificate of occupancy is issued to secure completion of the applicable improvements.
 - Alternative Improvements.** Changes to the above referenced roadway improvements can be approved through the Administrative Amendment process upon the determination and mutual agreement of Petitioner, CDOT, and the Planning Director as applicable; provided, however, the proposed alternate transportation improvements provide (in the aggregate) comparable transportation network benefits to the improvements identified in this Petition.
- III. Access and Internal Private Street:**
- Access to the Site will be from Providence Road and Arboretum Drive as generally depicted on the Rezoning Plan, subject to adjustments as set forth below.
 - The Petitioner as part of the development of Site will re-construct Arboretum Drive as a Private Street through the Site from the access point on Providence Road to the limits of the Site as generally depicted on the Rezoning Plan.
 - The alignment of the vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by the Charlotte Department of Transportation (CDOT) in accordance with published standards so long as the street network set forth on the Rezoning Plan is not materially altered.
 - The Site's internal private street will be designed to include sidewalks and planting strips as generally depicted on the Rezoning Plan except as provided for in section 5 below.
- 5. Streetscape, Buffer, Landscaping Open Space and Screening:**
- A 30-foot setback for buildings in Building Envelope A and a 45-foot setback for buildings in Building Envelope B, each as measured from the future back of curb along Providence Road will be provided as generally depicted on the Rezoning Plan. Detached signs will be allowed within the setback established along Providence Road.
 - A 20-foot setback as measured from the future back of curb along Pineville-Matthews Road will be provided all as generally depicted on the Rezoning Plan. Detached signs, and a low masonry wall used to screen the parking area will be allowed within the foot setback established along Pineville-Matthews Road.
 - Consistent efforts will be made to ensure that trees (other than existing trees fronting Providence Road and at the intersection with Pineville-Matthews Road) in the area generally depicted on RZ-01.
 - A continuous low masonry wall (3.0 foot high) will be used to screen the parking, circulation and/or maneuvering located along Pineville-Matthews Road as generally depicted on the Rezoning Plan. This low wall will be constructed of masonry materials that match the masonry materials used on the primary buildings.
 - An eight (8) foot planting strip and a minimum six (6) foot sidewalk will be provided along Pineville-Matthews Road within the required setbacks as generally depicted on the Rezoning Plan.
 - An eight (8) foot planting strip and a minimum six (6) foot sidewalk will be provided along Arboretum Shopping Center Drive on one side as generally depicted on the Rezoning Plan. Minor modifications of the planting strip and/or sidewalk widths are permitted for limited distances so long as the sidewalk is a minimum of 5' when buffered by a planting strip or 8' when at back of curb.
 - An eight (8) foot planting strip and a twelve (12) foot multi-use path will be provided along Providence Road between Arboretum Shopping Center Drive and Pineville-Matthews Road within the required setbacks as generally depicted on the Rezoning Plan provided that the width of the trail may be reduced in segments to preserve existing trees. New street trees shall be planted in the right of way upon approval from NCDOT. Otherwise, new street trees will be provided outside of the right of way.
 - An internal network of sidewalks (minimum of six (6) feet wide) will be provided on the interior of the Site linking each of the buildings and open space areas on the Site. Where crosswalks are required to link the proposed sidewalk network to the proposed uses on the Site the crosswalks will be designed with either pavers or stamped asphalt to help create a clear pedestrian path to the buildings within the Site.
 - A minimum of 7,000 square feet of urban open space will be provided on the Site; the open space areas will be landscaped with trees, shrubs, and groundcover. The open space areas will not include, private outdoor dining areas, areas located in buffers or the building setbacks/yard as generally indicated on the Rezoning Plan. The urban open space at the corner of Providence Road and Pineville-Matthews Road shall be a minimum of 3,000 square feet. The urban open space located between the proposed grocery use and the multi-story building shall be a minimum of 4,000 square feet.
 - Motor banks will be screened where visible from public view at grade level.
 - Roof top HVAC and related mechanical equipment will be screened from public view at grade level.
- 6. General Design Guidelines:**
- The attached illustrative building elevations are included to reflect an architectural style and a quality of the buildings that may be constructed on the Site (the actual buildings constructed on the Site may vary from these illustrations provided that the design intent is preserved. The use of colors (red hues) that are typically associated with brick materials on the attached elevations does not imply that the material illustrated is a brick material).
 - The building materials used on the principal buildings constructed on Site will be a combination of portions of the following: brick, stone, precast stone, precast concrete, synthetic stone, cementitious fiber board, stucco, EPS, decorative block and wood. Vinyl or aluminum as a building material may only be used on windows, soffits and on handrails/railings. The use of decorative block will be limited to a maximum of 25% of any building elevation.
 - The building constructed on the Site will be constructed so that 40% of the exterior building facade of each building containing the following materials: brick, stone, precast stone, precast concrete, synthetic stone, and decorative block.
 - The facade of first ground floor of the buildings along public streets shall incorporate a minimum of 30% masonry materials such as brick or stone.
 - Building Street Walls will meet or exceed the MUD0 requirements for brick walls. The attached building elevations are representative of the Street Wall treatments proposed along Providence Road and Pineville-Matthews Road as well as along the Site's internal private street. These building elevations reflect combinations of materials, material changes, building offsets and window boxes that will be used to meet or exceed the MUD0 requirements for street walls. Blank walls will be treated with a combination of the following features: (i) windows with light-colored grilles; (ii) decorative lighting elements; (iii) decorative lighting elements; (iv) heavy landscaped areas composed of a combination of large and small maturing evergreen and deciduous trees, evergreen and deciduous shrubs and seasonal color; and (v) windows with interesting, opaque or spandrel glass (on building or additions, and/or (vi) other architectural features).
 - Facades fronting public streets shall include a combination of windows and operable doors for a minimum of 60% of each frontage elevation with transparent, opaque or spandrel glass between 2' and 10' on the first floor. Up to 20% of this requirement may be comprised of display windows. These display windows must maintain a minimum of 3'-0" clear depth between window and rear wall. Windows within this zone shall not be screened by film, decals, or window treatments. The maximum sill height for required glass shall not exceed 4'-6" above adjacent street sidewalks.
 - Building elevations shall be designed with vertical bays or articulated architectural features which shall include a combination of at least three of the following: a combination of exterior wall offsets (projections and recesses), columns, pilasters, change in materials or colors, awnings, arcades, or other architectural elements.
 - Buildings should be a minimum height of twenty (20) feet.
 - The proposed loading service area of the proposed grocery use located adjacent to the internal private street will be screened from the internal private street with either: a wall a minimum of eight (8) feet tall, or tall evergreen landscaping; or a combination of a wall and landscaping as generally depicted on the Rezoning Plan.
 - A pedestrian arcade will be provided at the corner of Arboretum Shopping Center Drive and Providence Road to provide direct public entry into the grocery store as generally depicted on the Rezoning Plan.
 - Ground floor leasable space shall be provided in the multi-story building oriented to the urban open space as generally depicted on Sheets RZ-01 and RZ-02.
 - The two proposed stairways from the upper level of the proposed parking deck to the urban open space and proposed grocery use shall be open air stairways as generally depicted on RZ-01.
 - A pedestrian connection shall be provided between the Site and the adjacent parcel to the east of the proposed drive-through use as generally depicted on Sheet RZ-01.
- 7. Optional and Miscellaneous Provisions:**
- In order to minimize possible impact on the adjacent neighborhood, the Petitioner makes the following commitments regarding uses on its own or in cooperation with other parties in accordance with and subject to the following provisions:
- The hours of operations for all principal uses on the Site shall be from 6:00AM to 11:00PM.
 - Outdoor live music performances are prohibited. However, outdoor speakers that provide music as part of the experience or background music that is audible on-site, but not from the adjacent neighborhood, is permitted.
 - Trash removal shall be limited to the period from 7:00AM to 9:00PM.
- 8. Environmental Features:**
- The Site shall comply with the Charlotte City Council approved and adopted Post Construction Control Ordinance.
 - The Site will comply with the Tree Ordinance.
- 9. Signs:**
- Signage as allowed by the Ordinance and by the Optional Provisions listed above may be provided.
 - Notwithstanding signs shall be permitted on the portions of the building fronting Arboretum Shopping Center Drive in Building Envelope A, as generally depicted on the Rezoning Plan.
- 10. Lighting:**
- All new attached and detached lighting shall be fully shielded downwardly directed and full cut off fixture type lighting excluding lower, decorative lighting that may be installed along the drive-ways, sidewalks, and parking areas.
 - Detached lighting on the Site, except street lights located along public streets, will be limited to 40 feet in height.
- 11. Amendments to the Rezoning Plan:**
- Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable portion of the Site affected by such amendment in accordance with the provisions herein and of Chapter 6 of the Ordinance.
- 12. Binding Effect of the Rezoning Application:**
- If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site or Development Areas, as applicable, and their respective heirs, devisees, personal representatives, successors in interest or assigns.



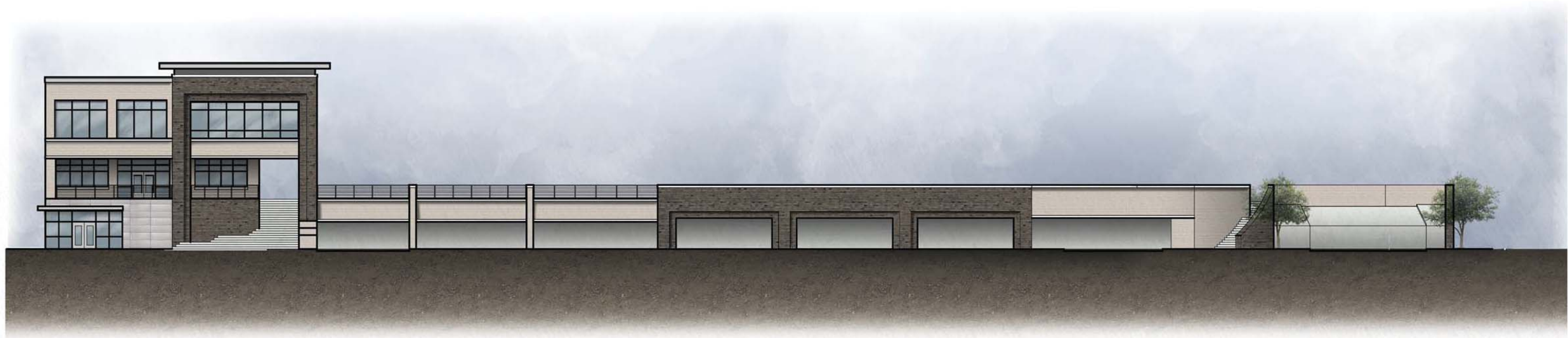
1 SCHEMATIC INTERSECTION VIEW
RZ-03 SCALE: NTS



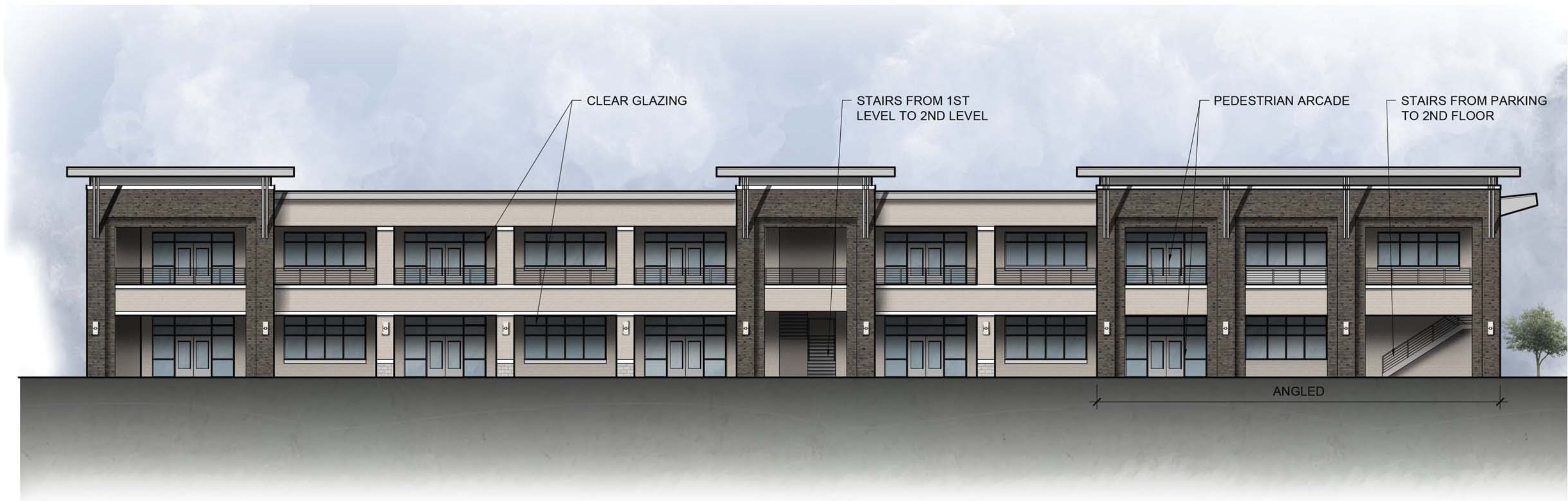
2 SCHEMATIC INTERSECTION VIEW
RZ-03 SCALE: NTS



3 SCHEMATIC GROCERY PLAZA VIEW
RZ-03 SCALE: NTS



4 SCHEMATIC INTERNAL PARKING DECK ELEVATION
RZ-03 SCALE: 3/32" = 1'-0"



5 SCHEMATIC MIXED USE BUILDING ELEVATION
RZ-03 SCALE: 1/16" = 1'-0"



6 SCHEMATIC MIXED USE BUILDING PROVIDENCE ELEVATION
RZ-03 SCALE: 1/16" = 1'-0"

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NOTE
THESE SCHEMATIC ELEVATIONS ARE ILLUSTRATIVE FOR THE PROPOSED BUILDINGS AND ARE INCLUDED TO REFLECT AN ARCHITECTURAL STYLE AND QUALITY OF THE BUILDINGS THAT WILL BE CONSTRUCTED ON THE SITE. THESE SCHEMATIC ELEVATIONS ARE ILLUSTRATING THE USE OF VARIED MATERIALS AND ROOFLINES, GLASS (EITHER OPAQUE OR CLEAR), WALL PLANE VARIATION, AND MASSING. THE ACTUAL BUILDINGS CONSTRUCTED ON THE SITE MAY VARY FROM THESE ILLUSTRATIONS PROVIDED THAT THE DESIGN INTENT IS PRESERVED.



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architects
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SCHEMATIC MIXED
USE BUILDING &
PARKING
ELEVATIONS

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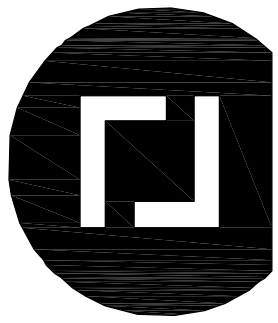
RZ-03

NOTICE

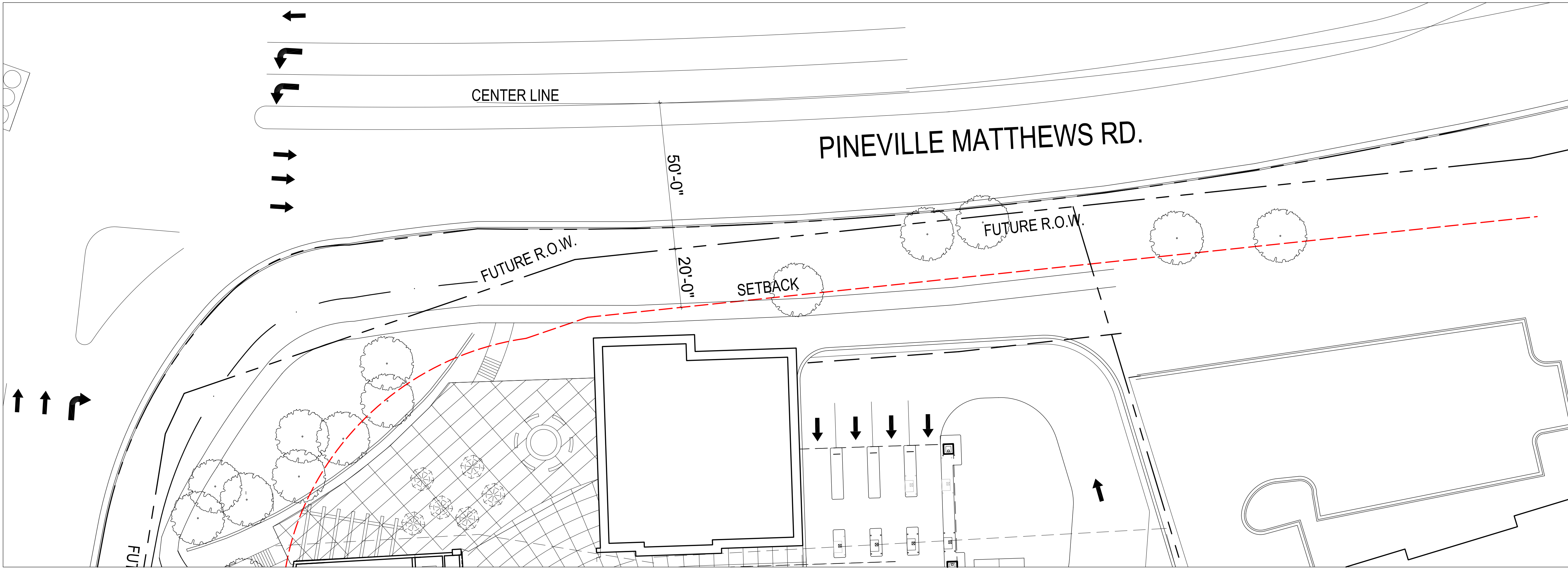
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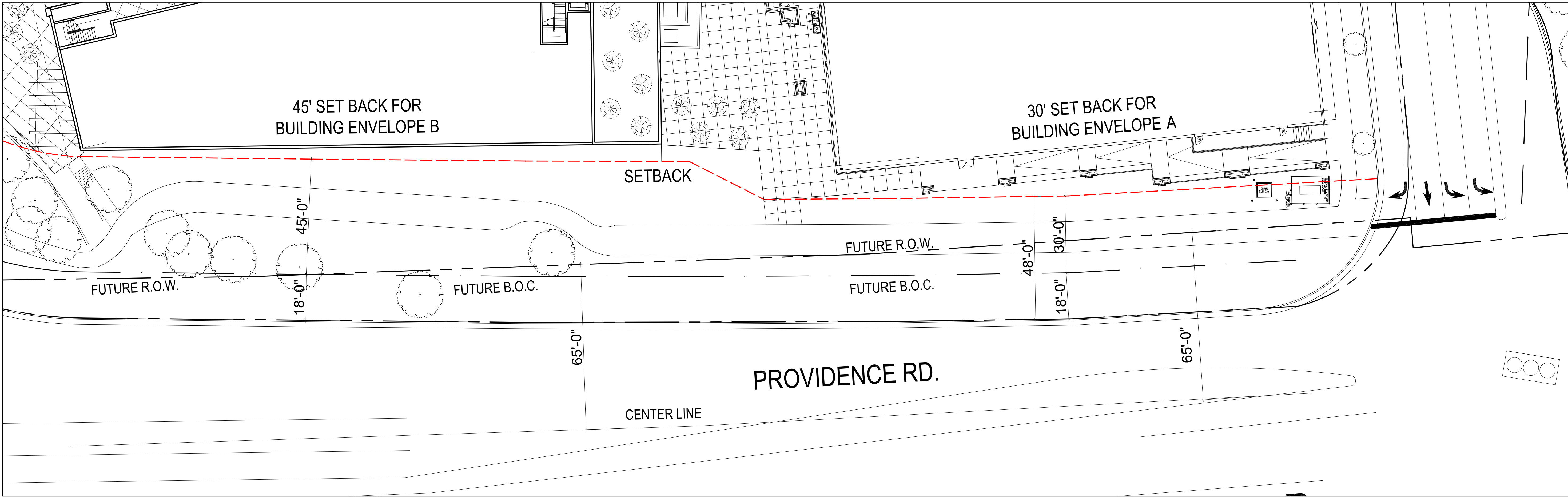
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PINEVILLE MATTHEWS RD. ENLARGED FRONTAGE PLAN
SCALE: 1" = 20'-0" EXISTING B.O.C AND FUTURE BACK OF CURB ARE THE SAME



PROVIDENCE RD. ENLARGED FRONTAGE PLAN
SCALE: 1" = 20'



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REZONING SUBMITTAL	05.15.17
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REZONING SUBMITTAL	07.17.17

DRAWING DATA

DRAWN BY: GW
CHECKED BY: RJ
FILE NUMBER:

SHEET TITLE

**ENLARGED
FRONTAGE
PLAN**

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SHEET NUMBER

RZ-05



ROBERT JOHNSON
architects
1808 West Morehead St.
Charlotte, NC 28208
T 704 / 342.1058
F 704 / 342.3043



1
RZ-04
SCHEMATIC MAIN ENTRY ELEVATION
SCALE: 1/16" = 1'-0"



2
RZ-04
SCHEMATIC PROVIDENCE RD. ELEVATION
SCALE: 1/16" = 1'-0"



3
RZ-04
SCHEMATIC INTERNAL STREET ELEVATION
SCALE: 3/64" = 1'-0"



4
RZ-04
SCHEMATIC LOADING ELEVATION
SCALE: 1/16" = 1'-0"



5
RZ-04
SCHEMATIC PEDESTRIAN ENTRY VIEW
SCALE: NTS



6
RZ-04
SCHEMATIC LOADING VIEW
SCALE: NTS

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NOTE
THESE SCHEMATIC ELEVATIONS ARE ILLUSTRATIVE FOR THE PROPOSED BUILDINGS AND ARE INCLUDED TO REFLECT AN ARCHITECTURAL STYLE AND QUALITY OF THE BUILDINGS THAT WILL BE CONSTRUCTED ON THE SITE. THESE SCHEMATIC ELEVATIONS ARE ILLUSTRATING THE USE OF VARIED MATERIALS AND ROOFLINES, GLASS (EITHER OPAQUE OR CLEAR), WALL PLANE VARIATION, AND MASSING. THE ACTUAL BUILDINGS CONSTRUCTED ON THE SITE MAY VARY FROM THESE ILLUSTRATIONS PROVIDED THAT THE DESIGN INTENT IS PRESERVED.

NOTE: DOES NOT REFLECT ROADWAY IMPROVEMENTS OR FUTURE STREETSCAPE CONDITIONS

CK Childress Klein

ARBORETUM
MIXED USE
DEVELOPMENT
CHARLOTTE, NC

PROJECT NUMBER	SP 731
ISSUE DATE	
REZONING SUBMITTAL	02.27.17
REZONING SUBMITTAL	05.15.17
REZONING SUBMITTAL	06.12.17
REZONING SUBMITTAL	07.17.17

DRAWING DATA

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FILE NUMBER:

SHEET TITLE

SCHEMATIC
GROCERY
ELEVATIONS

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RZ-04