

DEVELOPMENT STANDARDS

A. Context/Overview: Rezoning of Existing School Site & Eighth Street Addition Site:

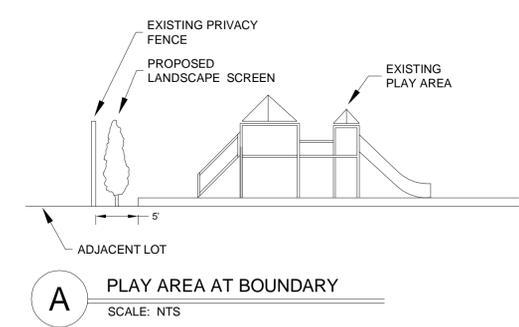
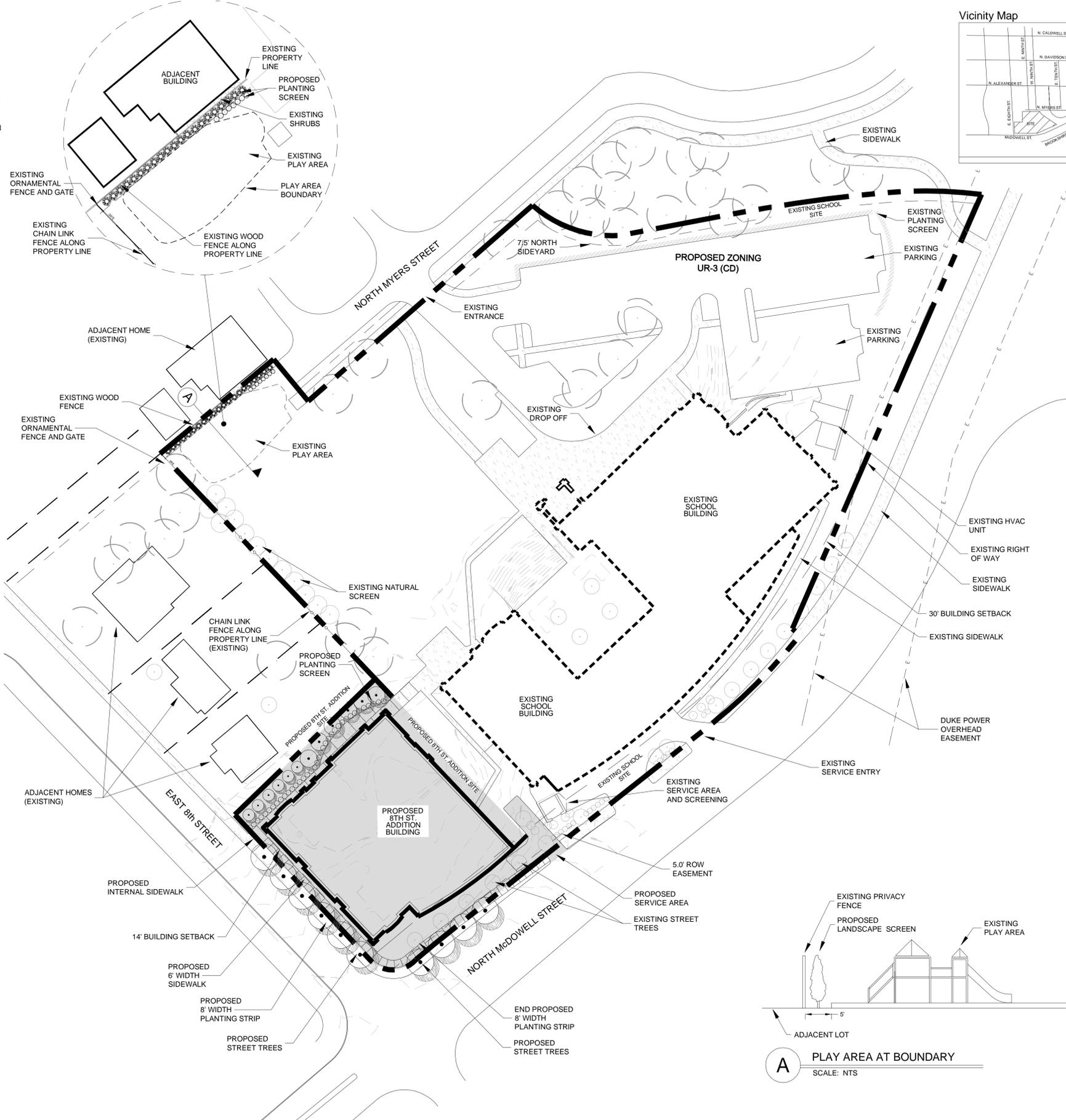
- Existing Rezoning Petition #2001-158.** Reference is made to that certain conditional rezoning plan for Trinity Episcopal School approved as Petition #2000-158 by Charlotte City Council as of January 1, 2001, as amended by administrative site plan amendment approved by Martin R. Crampton, Jr., as Planning Director, on April 5, 2002 (the "Existing Rezoning Plan"). The Existing Rezoning Plan applied only to the existing Trinity Episcopal School property shown thereon.
- Proposed Rezoning to Supersede & Replace Existing Rezoning.** This rezoning petition (the "Rezoning Petition") and the accompanying rezoning plan (the "Rezoning Plan", which consists of Sheets RZ-1, Technical Data Sheet and these Development Standards; Sheet RZ-2, Conceptual Plan; and Sheet RZ-3 Illustrative/Conceptual Elevations) includes the existing Trinity School Property, upon which the existing Trinity Episcopal School facility is located, generally depicted on the Rezoning Plan as the "Existing School Site," and additional property located at the corner of Eighth Street and McDowell Street generally depicted on the Rezoning Plan as the "Eighth Street Addition Site" (and together with the Existing School Site referred to herein as the "Rezoning Site"). Upon approval by Charlotte City Council of this rezoning Petition, this Rezoning Petition and the Rezoning Plan will supersede and replace the Existing Rezoning Petition and Existing Rezoning Plan.
- General Purpose of Rezoning.** Trinity Episcopal School, as the Petitioner, seeks to rezone the entire Rezoning Site for the purpose, among others, of (i) adding the Eighth Street Addition Site and the proposed building addition to the existing school facilities as generally depicted on the Rezoning Plan, and (ii) changing the overall zoning district for the entire Rezoning Site to UR-3 to facilitate overall FAR compliance and to present a uniform school facility development.
- Existing School Site Related Notes.** The following Development Standards include Section B, which references, with a few changes, the "notes" that were contained in the Existing Rezoning Plan. The matters contained in Section B apply to the entire Rezoning Site (i.e. both the Existing School Site and the Eighth Street Addition Site). It is noted that the development and site elements on the Existing School Site are existing and therefore received applicable land use and regulatory approvals as part of the School's opening and operations. A few modifications to the prior notes have been made including for example elimination of the references to temporary school building facilities, among others, but other notes are set forth to confirm compliance and to govern as well, except as stated otherwise, development of the Eighth Street Addition Site. Section C sets forth certain provisions that only apply to the Eighth Street Addition Site.
- Changes to Graphics from Existing Rezoning Plan.** It is noted that certain changes have been made (and are reflected on this Rezoning Plan) to the graphics portion of the Existing Rezoning Plan in order to reflect existing site and adjacent property conditions. One such alteration includes the elimination of a reference to "Decorative Fence" along certain lots along the common boundary with the Existing School Site.

B. General Provisions Applicable to Entire Rezoning Site (Except Where Noted):

- Reference survey prepared by the Survey Company, Inc. dated March 12, 2001.
- All yards required and other criteria for the UR-3(CD) zoning district shall meet or exceed the minimum standards of the City of Charlotte zoning ordinance.
- All parking shall conform to the City of Charlotte zoning ordinance for UR-3(CD).
- All signage shall conform to the City of Charlotte zoning ordinance for UR-3(CD). No billboards shall be located on the site.
- No part of the regulatory flood plain is within the property. Storm drainage shall conform to the City Post Construction System Ordinance.
- Storage of hazardous waste shall not be permitted on the property.
- Existing trees in the tree protection zone to remain and/or proposed planting shall conform to the City of Charlotte Tree Ordinance.
- Fire hydrants shall be located a minimum of 750 feet as the truck travels from the most remote and accessible point.
- All proposed trees, berms, walls, fences, and/or identification signs must not interfere with sight distance triangles at the entrance.
- Locations of proposed access points may be adjusted based upon field conditions and internal transportation requirements. All connections shall meet City of Charlotte Department of Transportation requirements and standards.
- The site design must be consistent with the following principles:
 - A formal front to the school must face Myers Street as extended, emphasizing the school's location at the terminus of the linear space along Ninth Street.
 - The site plan must create an appropriate edge with adjacent residential along Eighth Street by way of vegetation that has been designed to fully screen (at maturity) adjacent uses from the school. Lighting must be directed away from the adjacent residences. Height of the buildings shall comply with the Ordinance. The Service entries must not be located along the property line with adjacent residences because of the potential negative impact on adjacent residences.
 - Except as described in Section B below regarding the Eighth Street Addition Site, the building face of the building on the Existing School Site along McDowell Street must provide a setback of at least 30' from the back of the existing curb and must have a highly articulated facade with windows and doors; large expanses of blank walls are not appropriate.
 - The service entries must be designated as separate entrances from the visitor traffic.
 - The character and material used must reinforce the character of the surrounding First Ward neighborhood and as such shall be generally keeping with the existing buildings on the Existing School Site. Buildings must be limited to 3 stories. The building will consist of predominantly masonry construction. No blank building walls shall be allowed. All major roof lines must be pitched with a 3:1 slope or designed as a turret, dome, steeple, or the like; provided, however, above ground terraces are permitted.
 - Utilities must be placed underground.
 - Except as described in C, below regarding the Eighth Street Addition Site, Streetscape improvements of a sidewalk (6' wide) and street trees (in a 6' wide planting strip) must be provided along public streets except along McDowell Street.
 - Intentionally Deleted/Inapplicable reference to Temporary Structures.
 - Other issues that must be fully addressed in the conditional development plan include locations of any pedestrian circulation system, landscaping and tree protection, location and types of walls/fences, treatment of exterior walls, including use of windows and building articulation and exterior lighting.
- Intentionally Deleted.
- The height of detached lights will be limited to 20'.
- Storm water detention shall not occur between the existing building and the streets.
- Access by the general public shall be permitted to the school grounds.
- Site plan is shown for illustrative purposes only and is subject to change dependent upon site conditions, design considerations, etc.
- The maximum number of students is 500.
- The Planning Commission shall review the final building elevations for compliance prior to building permit issuance, but such approval shall not be unreasonably delayed or withheld if such elevations are substantially consistent with the existing school building elevations on the Existing School Site and/or the proposed elevations for the Eighth Street Addition Site as generally depicted on Sheet RZ-3.
- Exposed walls as a result of Phase I construction will be brick or E.I.F.S.

Additional Provisions Applicable to Eighth Street Addition Site:

- The setback of the building located on the Eighth Street Addition Site along Eighth Street and McDowell Street shall be fourteen (14) feet back of existing curb. An eight (8) foot planting strip and a six (6) foot sidewalk shall be installed along Eighth Street in front of the building on the Eighth Street Addition Site such that (i) this streetscape treatment will stop at the terminus of the Eighth Street Addition Site along Eighth Street and (ii) the streetscape treatment will continue at the corner of Eighth Street's intersection with McDowell Street for a distance of ten (10) feet, but thereafter the existing sidewalk/streetscape condition along McDowell Street will be retained.
- Landscaping along the common boundary with the property adjacent to the Eighth Street Addition Site shall be installed as generally depicted on the Rezoning Plan.



DEVELOPMENT DATA

(INCLUDES BOTH EXISTING SCHOOL SITE AND 8TH STREET ADDITION SITE)

Site Acreage:	6.16 Acres
Existing Zoning (School Site):	UR-2(CD)
Proposed Zoning (8th Street Addition):	UR-3(CD)
Building Setback Along McDowell Street:	30.0' (14' For Proposed Addition)
Building Setback Along East Eighth Street:	14.0'
Existing Use:	School (Up to 500 Students)
Proposed Use:	School (Up to 500 Students; no change)
F.A.R.:	2.0
Building Height:	To Comply with Ordinance Requirements

Trinity Episcopal School

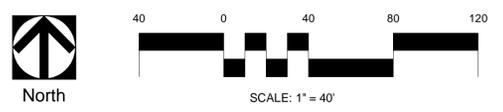
Charlotte, NC 10/19/16

RZ-1 Data Sheet and Development Standards

Prepared for:
Trinity Episcopal School
750 E. 9th St.
Charlotte, NC 28202

Project #: 16-176

Prepared by:



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Trinity Episcopal School

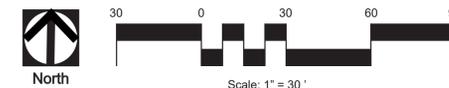
Charlotte, NC October/19/2016

RZ-2
Conceptual Plan

Prepared for:
Trinity Episcopal School
750 E. 9th St.
Charlotte, NC 28202

Project #: 16-176

Prepared by:





Existing Front Entrance



Existing Front Entrance



Existing McDowell St. Elevation



Preliminary Image from McDowell and 8th

Trinity Episcopal School

Charlotte, NC

October/19/2016

RZ-3

Illustrative/Conceptual Elevations

Prepared for:
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750 E. 9th St.
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Prepared by:



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