

VICINITY PLAN

- Site Development Data:**
- Acreage: ± 10.80 acres
 - Tax Parcel #s: 183-121-10 and 14
 - Existing Zoning: MUDD-O
 - Proposed Zoning: MUDD-O(SPA)
 - Existing Uses: A convenience store and a multi-family complex.
 - Proposed Uses: Retail; Eating, Drinking, Entertainment, Establishments (EDEE); Residential Dwelling units; general and medical office uses; warehousing within an enclosed building for self-storage; and Personal Service Uses as permitted by right, under prescribed conditions, and by the Optional provisions below together with accessory uses, as allowed in the MUDD zoning district (as more specifically described and restricted below in Section 3).
 - Maximum Gross Square feet of Development: Within Permissible Building Areas A, B and C up to 95,000 square feet of gross floor area devoted to: retail, EDEE, general and medical office uses and personal service uses; and within Permissible Building Area C up to 201 residential dwellings units and up to 135,000 square feet of gross floor area of underground warehousing within an enclosed building for self-storage as allowed by right and under prescribed conditions in the MUDD zoning district, (subject to the conversion provisions below) provided, however, a loading docks (open or enclosed), outdoor dining areas and surface and structure parking areas shall not be counted toward the allowed gross floor area (floor area as defined by the ordinance) proposed by this rezoning petition.
 - Maximum Building Height: Buildings developed principally with residential uses will be limited to a maximum building height of six (6) stories, not to exceed 75 feet; buildings developed principally with non-residential uses will be limited to a maximum building height of two (2) stories, not to exceed 45 feet. The maximum building height of 75 feet for the building located within Permissible Building Area C and abutting the existing single-family lots on Columbine Circle will be measured from a grade elevation of 691 feet above sea level.
 - Parking: A minimum of one parking space per 500 square feet of non-residential gross floor area and 1.0 spaces per dwelling unit will be provided. Parking for the warehousing within an enclosed building for self-storage will be provided as required by the Ordinance.

LEVINE PROPERTIES

RALEY & MILLER
PROPERTIES, INC.

Technical Data Sheet

Graphic Scale: 1" = 60'

0' 30' 60' 120'



VICINITY PLAN

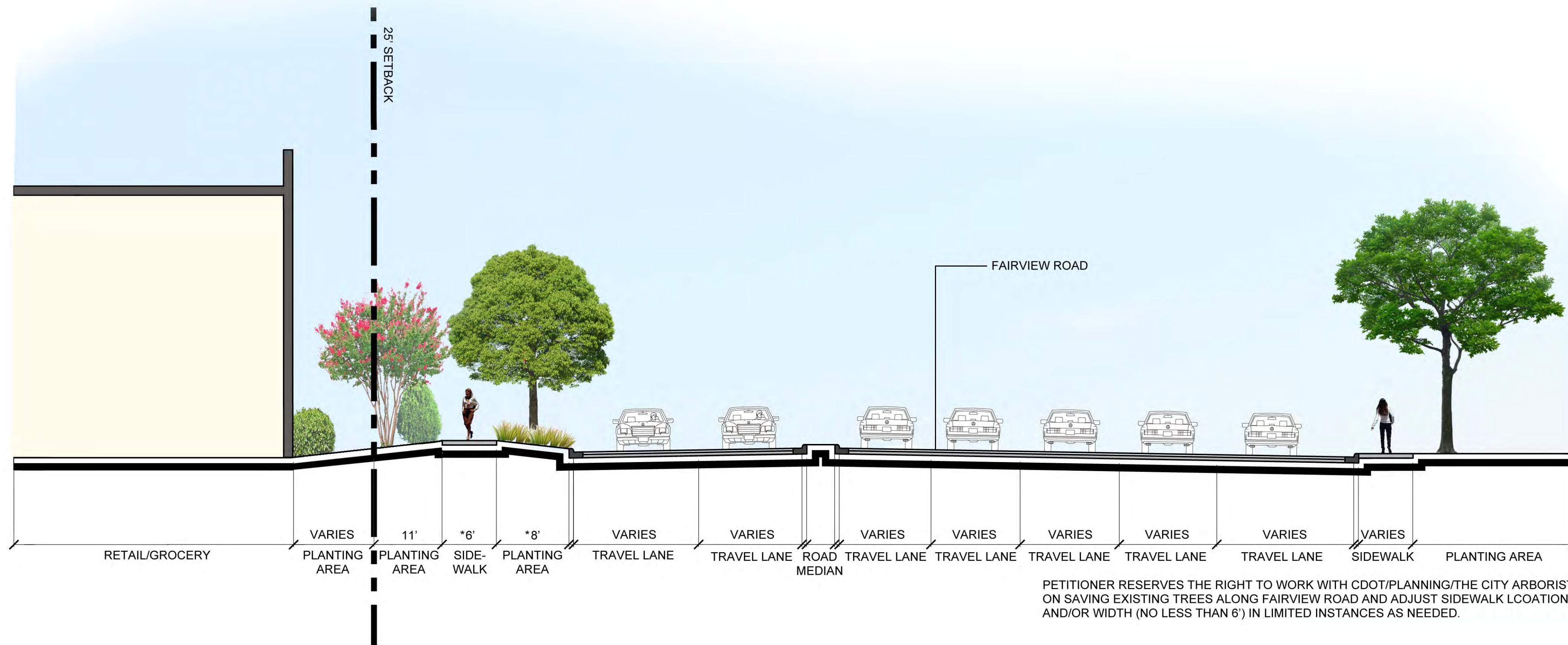

LEVINE PROPERTIES

RALEY MILLER
 PROPERTIES, INC.

Schematic Site Plan



 Graphic Scale: 1" = 60'



VICINITY PLAN



LEVINE PROPERTIES

RALEY MILLER
PROPERTIES, INC.

Schematic Sections

Carmel at Providence, CHARLOTTE, NC

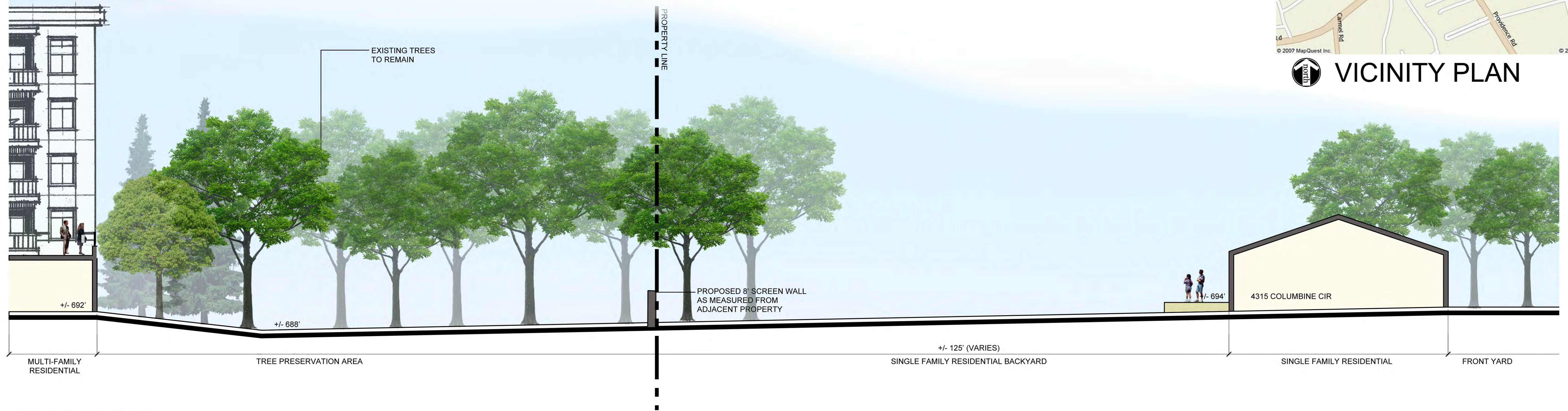
HODGES & ASSOCIATES architecture planning
13642 Omega Dallas, Texas 75244-4514
phone: 972 387-1000 fax: 972 960-1129
www.hodgesusa.com

project no.	drawn	date
07107	WX	10-13-15

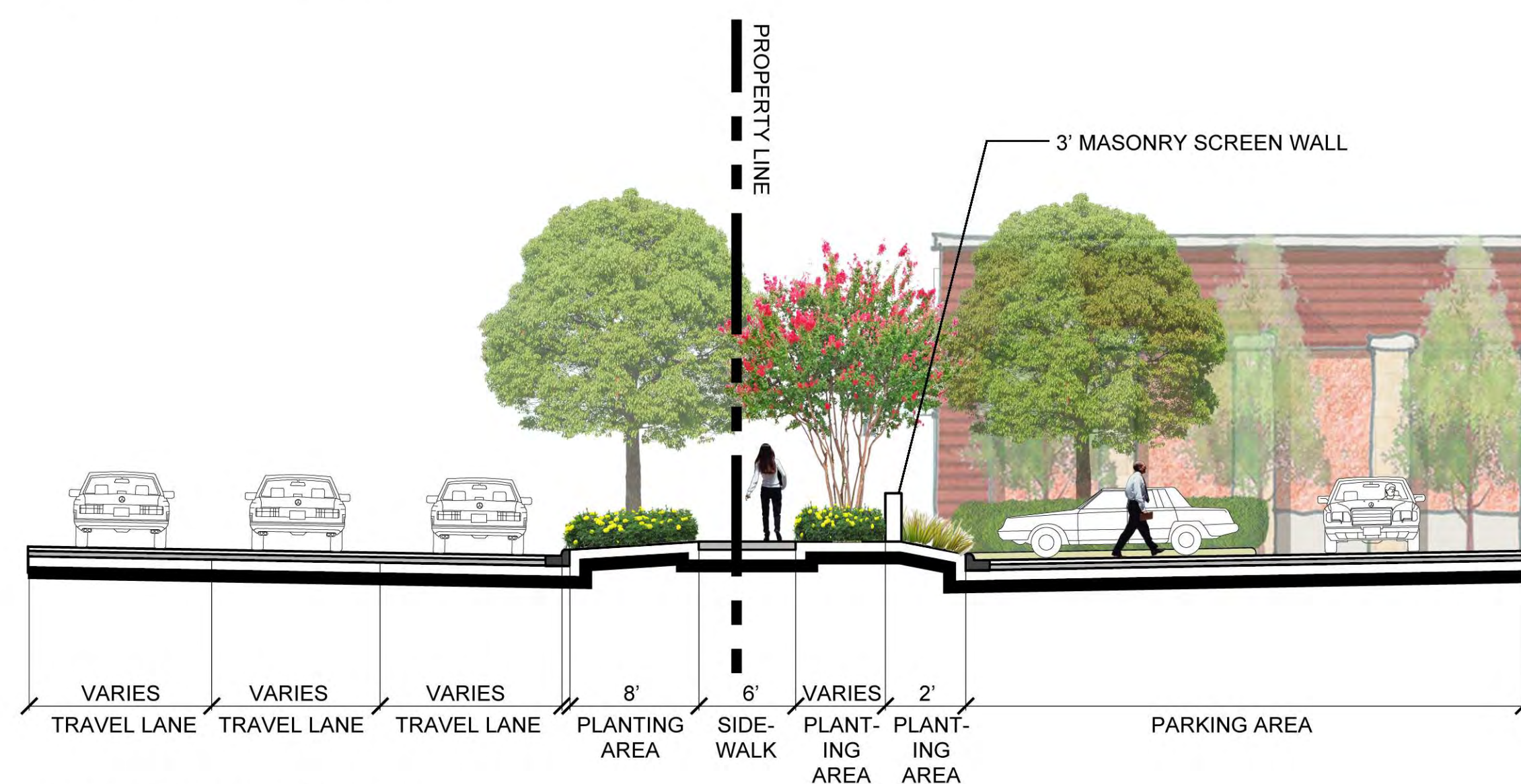
SCHEME
SP-2



VICINITY PLAN



SECTION C 1"=10'



SECTION D 1/8"=1'

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RALEY MILLER
 PROPERTIES, INC.

Schematic Sections

Carmel at Providence, CHARLOTTE, NC

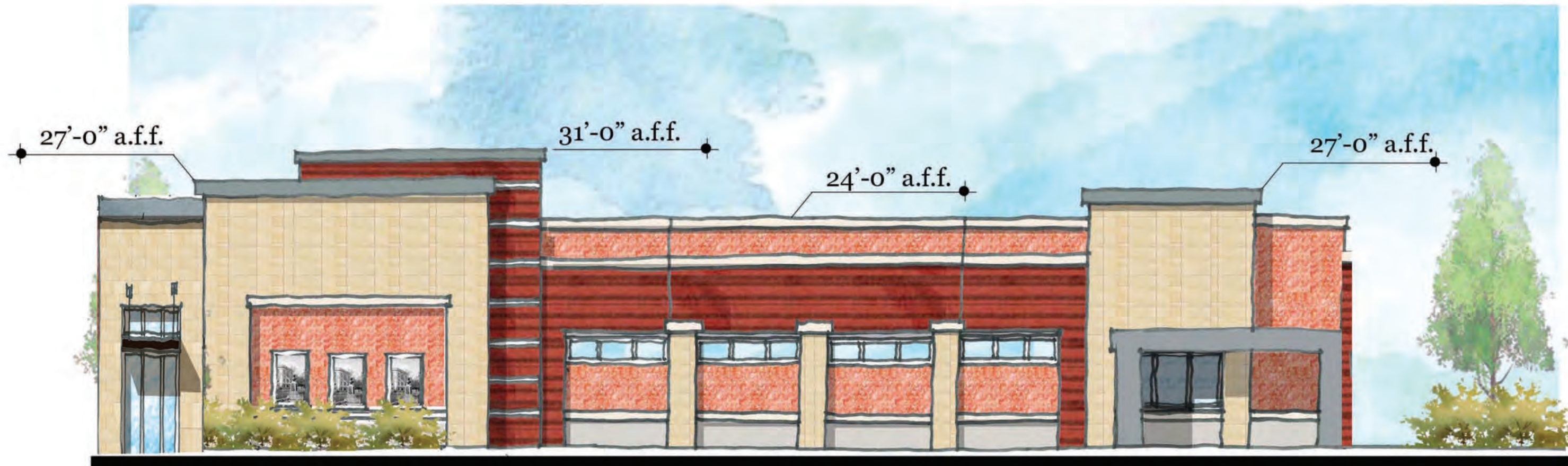
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project no.	drawn	date
07107	DW	8-19-16

SCHEME SP-3



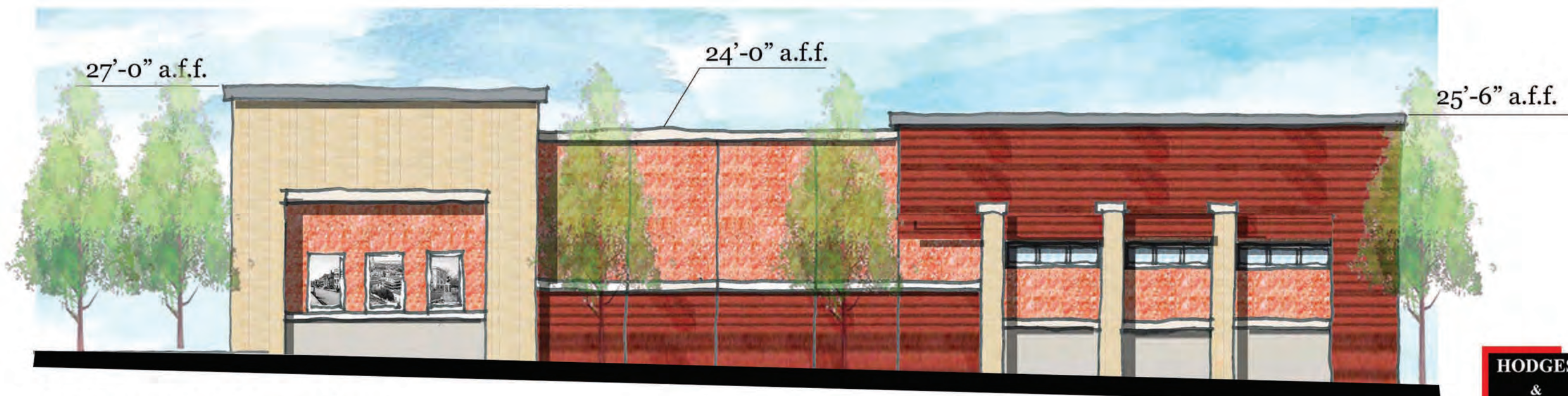
01 West Elevation



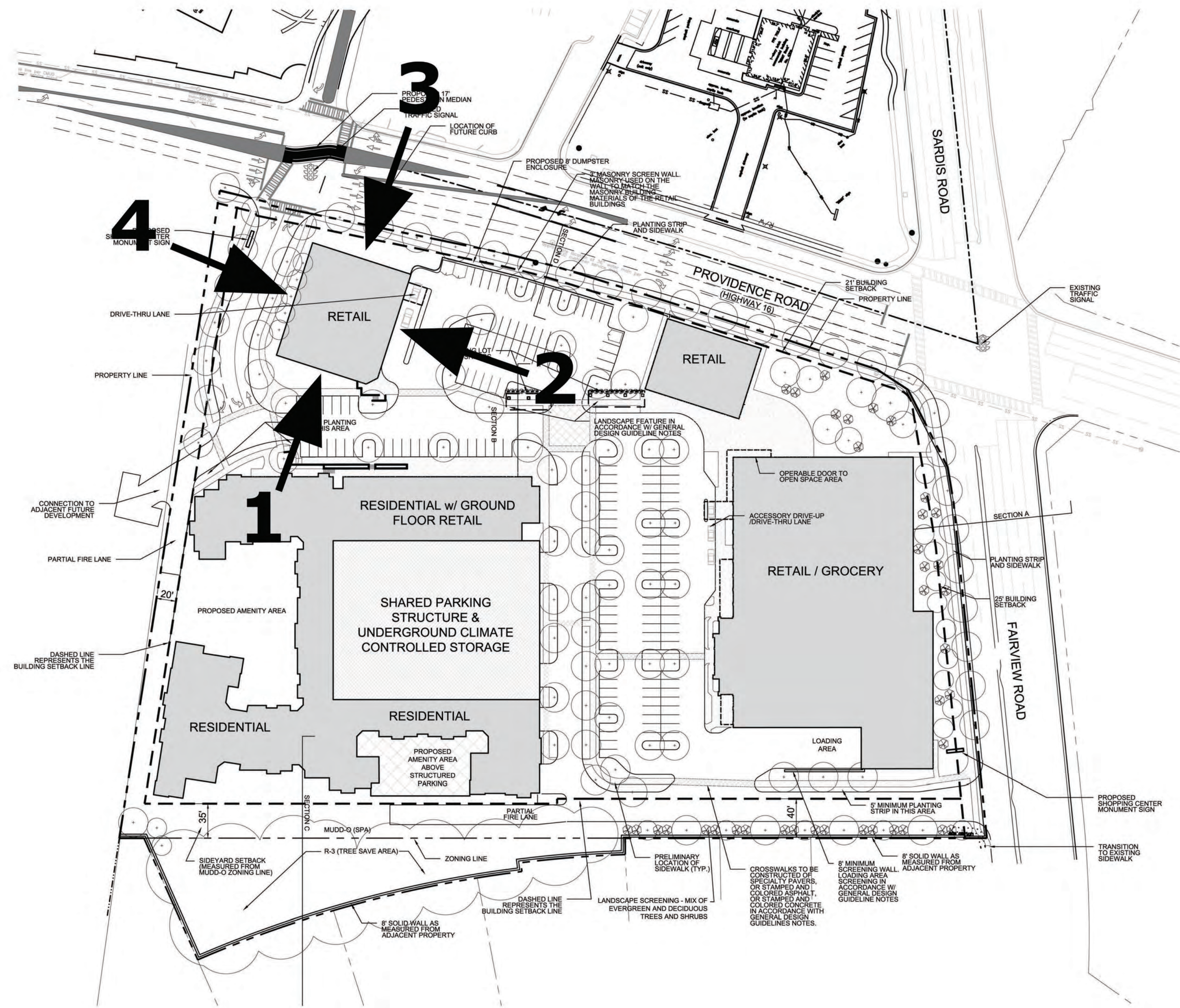
02 South Elevation



03 East Elevation



04 North Elevation



Carmel at Providence

Charlotte, NC, 07107-01, 08-17-2016





01 West Elevation



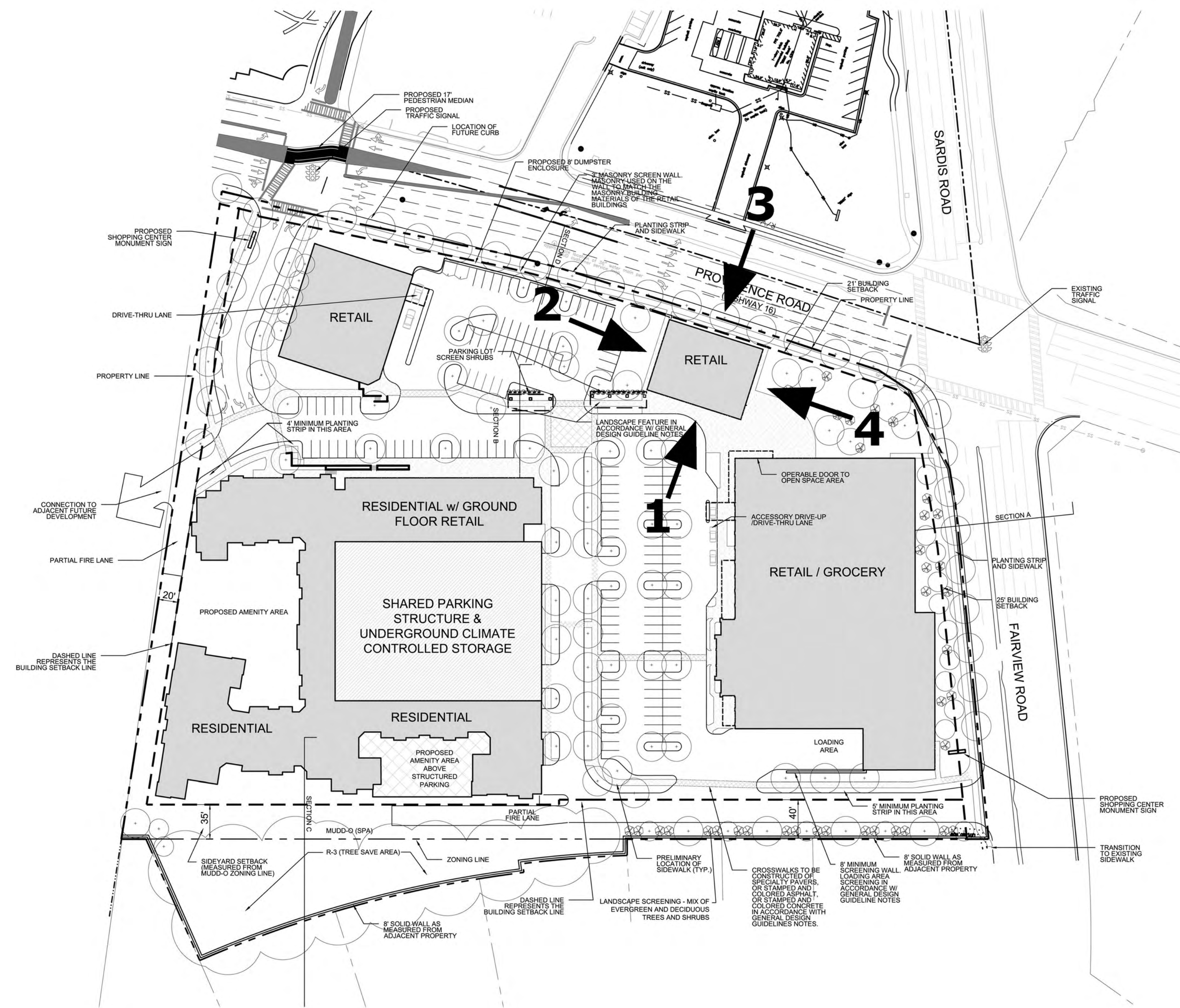
02 North Elevation



03 East Elevation

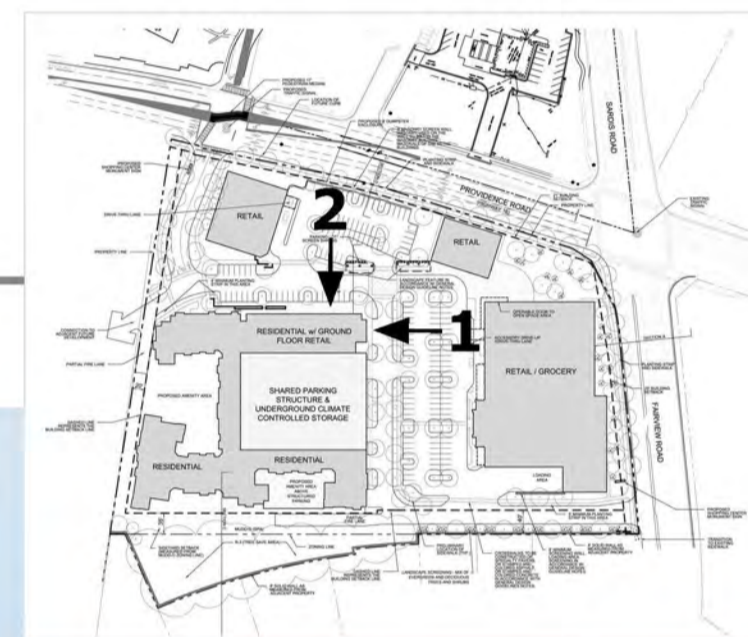


04 South Elevation





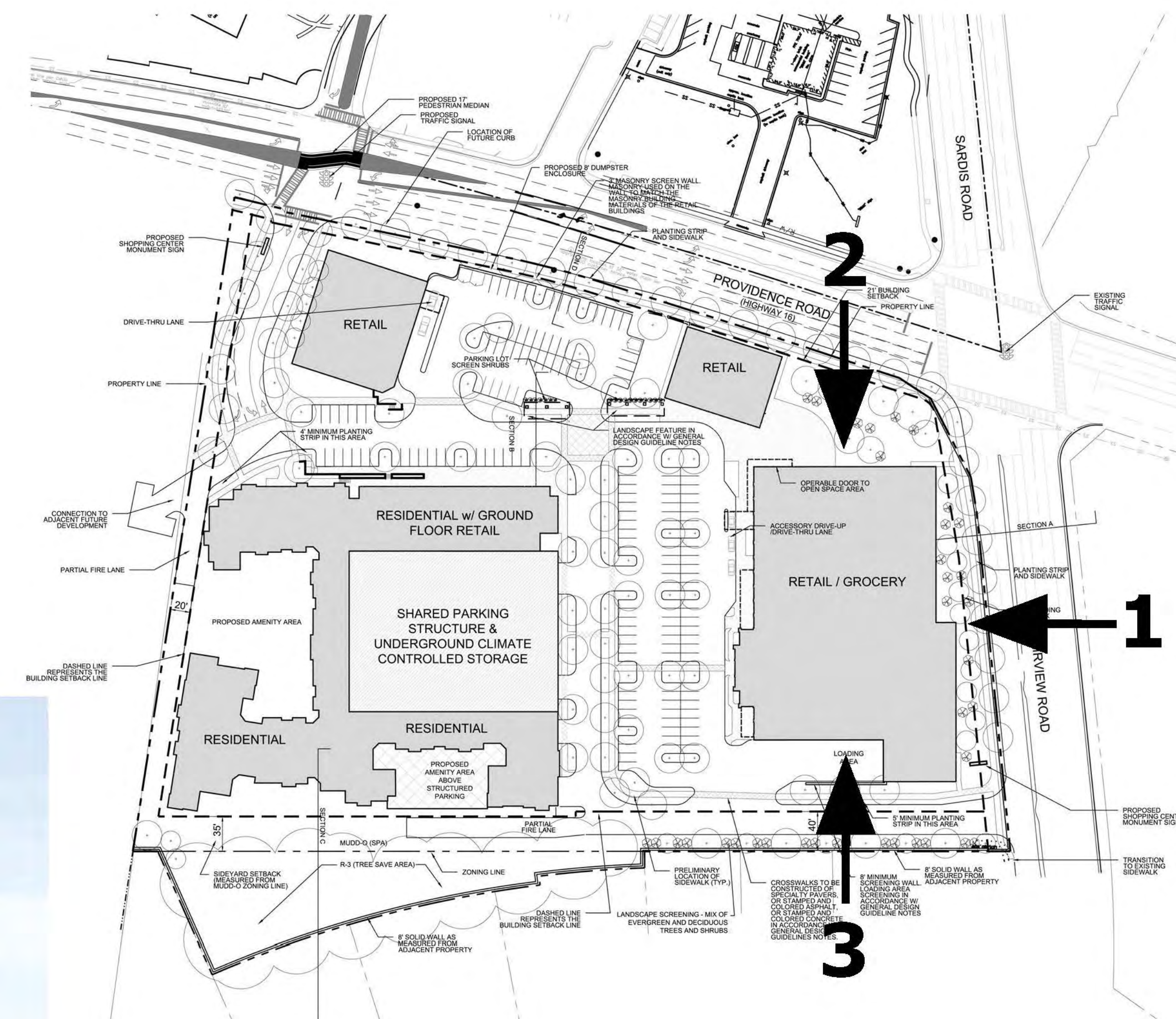
01 SCHEMATIC ELEVATION DESIGN (FAIRVIEW ROAD)



02 SCHEMATIC ELEVATION DESIGN (PROVIDENCE ROAD)



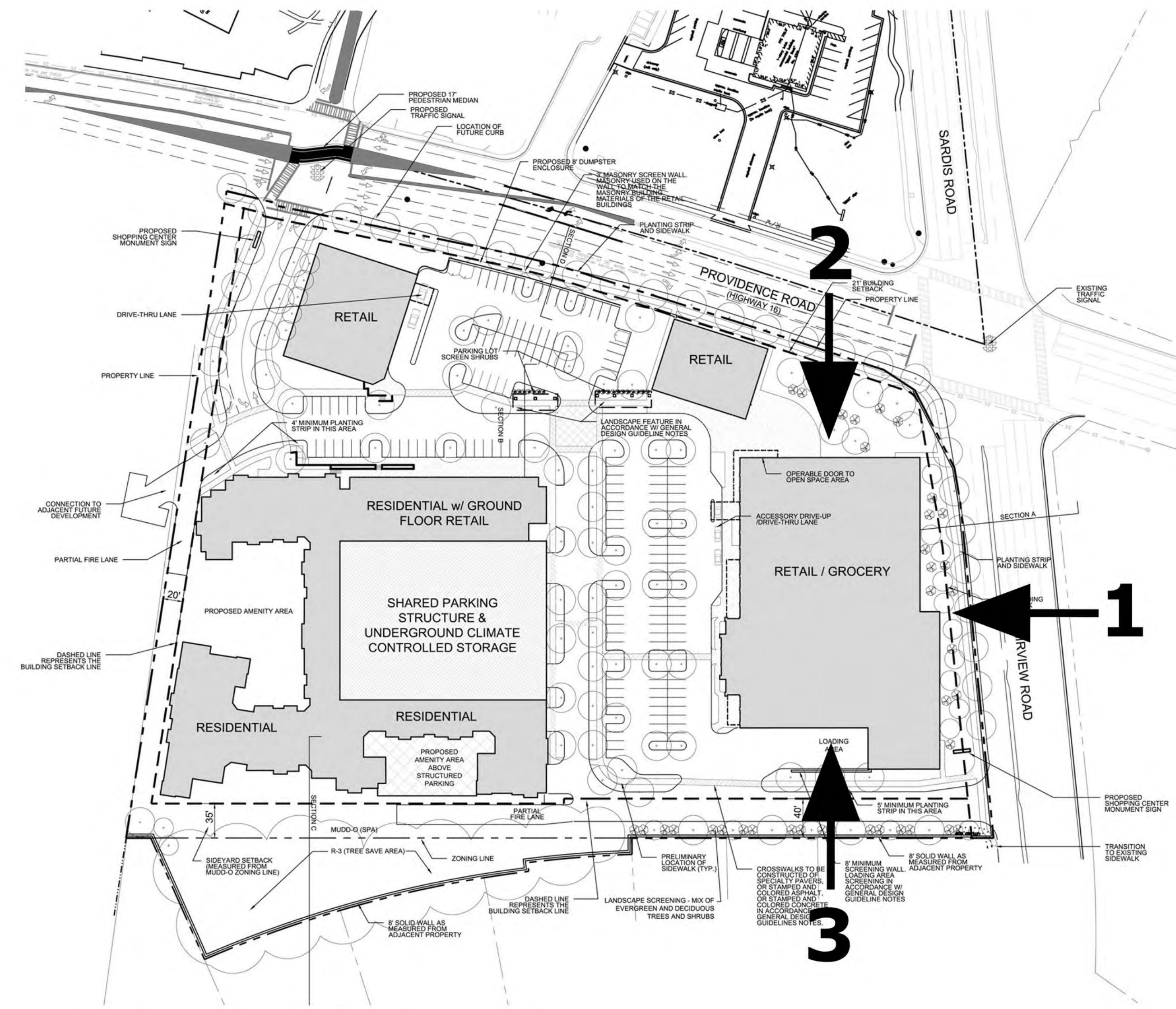
VICINITY MAP



2 - LEFT SIDE ELEVATION



1 - REAR ELEVATION



3 - RIGHT SIDE ELEVATION