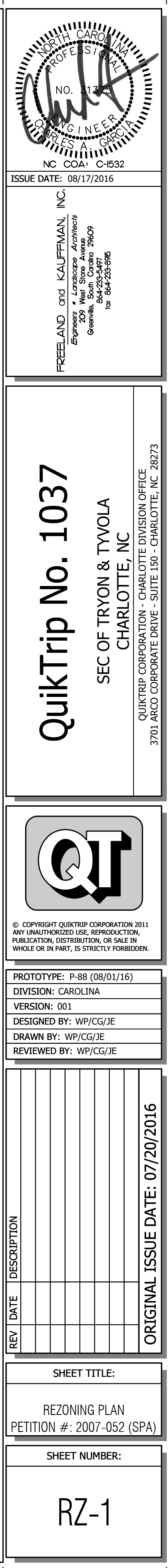


TAX PARCEL ID #:	A PORTION OF 167-042-46
TOTAL SITE / REZONING AREA:	EXISTING (+/-1.851 AC.) PROPOSED (+/-1.819 AC.)
EXISTING ZONING:	B-D (CD), CC
PROPOSED ZONING:	B-D (CD), CC (SPA)
PROPOSED USE:	CONVENIENCE STORE WITH FUEL SALES
DEVELOPMENT STANDARDS:	
SETBACK (S. TRYON ST.)	35'
SETBACK (W. TYVOLL RD.)	35'
SETBACK (SOUTH)	35'
SETBACK (EAST)	5'
BUILDING AREA	MAXIMUM 6,000 SF
BUILDING HEIGHT	MAXIMUM 25' HEIGHT



FILE LOCATION: J:\Drawings\Projects\QuikTrip\1037 (Charlotte, NC)\civil.dwg TAB NAME: Dev Notes USER: wpjlyer SAVED: 8/17/2016 5:31 PM PLOTTED: 8/17/2016 5:44 PM

	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15
Q	<u>1. General Provisions</u>														
P	1.1 This Site Plan Amendment to Rezoning Petition 2007–52 relates to 2.60 acres of land to be subdivided from the total 12.246 acres associated with the City Crossing rezoning plan at the corner of South Tryon Street and West Tyvola Road in Charlotte, NC. This amendment is filed by QuikTrip Corporation to accommodate the development of a convenience store with gasoline sales and any incidental or accessory uses relating thereto on that approximately 2.60 acre site, which site is more particularly depicted on the Rezoning Plan (the “Site”). The Site is comprised of a portion of Tax Parcel No. 167–042–46.														
N	1.2 Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the “Ordinance”).														
M	1.3 Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the CC zoning district shall govern all development taking place on the Site.														
L	1.4 Future amendments to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance. Alterations to the Rezoning Plan are subject to Section 6.207 of the Ordinance.														
K	<u>2. Permitted Uses/Development Limitations</u>														
J	2.1 The Site may only be devoted to a convenience store with gasoline sales and to any incidental or accessory uses associated therewith that are permitted under the Ordinance in the CC zoning district. Incidental and accessory uses may include, without limitation, an eating, drinking and entertainment use.														
H	2.2 Accessory drive through service windows shall not be permitted on the Site.														
G	2.3 A car wash shall not be permitted on the Site.														
F	2.4 One single tenant building may be located on the Site as allowed in section 3.4 of the development standards of Rezoning Petition 2007–52.														
E	2.5 The proposed convenience store with gasoline sales is located on Building Envelopes 1, 2 and a portion of Envelope 3 as allowed in Rezoning Petition 2007–52.														
D	2.6 As depicted on the Rezoning Plan, the minimum setbacks along South Tryon Street and West Tyvola Road shall be 35 feet as set forth in section 5.3 of Rezoning Petition 2007–52 for development with vehicular circulation and/or parking located in front of the building.														
C	2.7 As depicted on the Rezoning Plan, the minimum setbacks along the interior property lines shall be 5 feet including the portion of the property extending into the B–D (CD) zoned portion of Rezoning Petition 2007–52.														
B	2.8 Dedications of right–of–way for South Tryon Street and West Tyvola Road as set forth in section 5.1 of Rezoning Petition 2007–52 have already been granted and no further dedications are required.														
A	<u>3. Maximum Gross Floor Area</u>														
	3.1 The maximum gross floor area of any building located on the Site shall be 6,000 square feet. The area under the canopy over the gas pumps associated with the convenience store and outdoor dining areas shall not be included in the calculation of the maximum gross floor area. As set forth in section 3.1 of Rezoning Petition 2007–52 this is within the maximum single tenant use of 50,000 sf and there will remain 104,000 sf of retail use for the remainder of Rezoning Petition 2007–52.														
	<u>4. Transportation</u>														
	4.1 Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. These access points include the two full access driveways as indicated in section 4 of the original Rezoning Petition 2007–52 with an additional right–in off of South Tryon Street and an additional right–in off of West Tyvola Road. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.														
	4.2 The alignments of the internal drives to be located on the Site are subject to any minor modifications or alterations required during the construction permitting process.														
	4.3 As depicted on the Rezoning Plan, Pedestrian access is provided from the site to South Tryon Street, West Tyvola Road, and the internal private drive.														
	4.4 As depicted on the Rezoning Plan, bicycle facilities will be provided which are safe and secure in accordance with the guidelines provided in the Charlotte–Mecklenburg Bicycle Transportation Plan.														
	4.5 As set forth in section 4.7 of Rezoning Petition 2007–52, a transit waiting pad was constructed at the existing bus stop located on West Tyvola Road. CATS shall be responsible for the installation and maintenance of any bench or shelter that may be located on the waiting pad.														
	<u>5. Architectural Standards</u>														
	5.1 The maximum height of the building to be constructed on the Site shall be 25 feet.														
	5.2 Attached to the Rezoning Plan are schematic architectural renderings of the building to be constructed on the Site that are intended to depict the general conceptual architectural style and character of this building. Accordingly, the building to be constructed on the Site shall be designed and constructed so that it is substantially similar in appearance to the attached schematic architectural renderings with respect to architectural style, character and primary building materials. Notwithstanding the foregoing, changes and alterations to the elevations of the building which do not materially change the overall conceptual architectural style and character shall be permitted.														
	5.3 The exterior building materials for the building to be constructed on the Site are designated on the attached schematic architectural renderings.														
	5.4 Pedestrian pathways will be clearly differentiated from vehicular traffic as depicted on the Rezoning Plan.														
	5.5 All utility meters to be located as depicted on the Rezoning Plan facing South Tryon Street and West Tyvola Road.														
	<u>6. Streetscape and Landscaping</u>														
	6.1 Screening will conform to the applicable standards of Section 12.303 of the Charlotte Zoning Ordinance along with section 11.405(5) of the Commercial Center District design standards.														
	6.2 Landscaping along the Site's frontage on both South Tryon Street and West Tyvola Road shall meet or exceed the requirements of the City of Charlotte Tree Ordinance.														
	6.3 The 10% tree save area as set forth in section 6.5 of Rezoning Petition 2007–52, for the 2.60 acre parcel of this amendment will be planted/replanted along the rear property lines in the tree save area as depicted in the Rezoning Petition 2007–52 Tree Save Plan.														
	6.4 An 8’–0” wide planting strip and 6’–0” sidewalk planted with large maturing trees will be provided along South Tryon Street and West Tyvola Road as set forth in section 6.7 of Rezoning Petition 2007–52. The large maturing trees shall be planted in the first 8’–0” of buffer area located on the “site” side of the sidewalk or as close as possible to the road as applicable if existing overhead utilities or underground utilities prohibit.														
	6.5 The minimum 6 foot wide sidewalk, or portions thereof, shall be located within a sidewalk utility easement rather than in public right of way where necessary as generally depicted on the Rezoning Plan.														
	6.6 Internal sidewalks shall be provided on the Site as generally depicted on the Rezoning Plan.														
	<u>7. Environmental Features</u>														
	7.1 Development of the Site shall comply with the City of Charlotte Tree Ordinance.														
	7.2 The proposed site will have best management practices (BMP’s) to achieve 85% Total Suspended Solid (TSS) removal for the entire post–development runoff volume for the first 1 inch of rainfall, control the entire runoff volume for the 1 year, 24 hour storm with a minimum drawdown time of 24 hours, but not more than 120 hours, and control the peak runoff rates to match the predevelopment runoff rates for the 10–yr and 25–yr, 6–hours storms. The BMP’s must be designed and constructed in accordance with the NC Department of Environmental and Natural Resources (NCDENR) Best Management Practices Manual, latest edition. The location, size and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.														
	<u>8. Signage</u>														
	8.1 All signs installed on the Site shall comply with the requirements of the Ordinance.														
	8.2 Notwithstanding paragraph 1 above, one detached outparcel sign shall be permitted on the Site, as set forth in section 10.3 of Rezoning Petition 2007–52. The sign permitted shall be limited to 32 square feet.														
	<u>9. Lighting</u>														
	9.1 Any freestanding lighting fixtures installed on Site shall have a maximum height of 30 feet including base, and all such freestanding lighting fixtures shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site, as set forth in section 9.2 and 9.5 of Rezoning Petition 2007–52.														
	9.2 Lighting on the site to be 24–foot candle at the ground and fixtures to be mounted flush with canopy overhead as set forth in section 9.4 of Rezoning Petition 2007–52.														
	<u>10. Binding Effect of the Rezoning Documents and Definitions</u>														
	10.1 If this Rezoning Petition amendment is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.														
	10.2 Throughout these Development Standards, the term “Petitioner” shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.														
	10.3 Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.														
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15

6. Streetscape and Landscaping

- 6.1 Screening will conform to the applicable standards of Section 12.303 of the Charlotte Zoning Ordinance along with section 11.405(5) of the Commercial Center District design standards.
- 6.2 Landscaping along the Site’s frontage on both South Tryon Street and West Tyvola Road shall meet or exceed the requirements of the City of Charlotte Tree Ordinance.
- 6.3 The 10% tree save area as set forth in section 6.5 of Rezoning Petition 2007–52, for the 2.60 acre parcel of this amendment will be planted/replanted along the rear property lines in the tree save area as depicted in the Rezoning Petition 2007–52 Tree Save Plan.
- 6.4 An 8’–0” wide planting strip and 6’–0” sidewalk planted with large maturing trees will be provided along South Tryon Street and West Tyvola Road as set forth in section 6.7 of Rezoning Petition 2007–52. The large maturing trees shall be planted in the first 8’–0” of buffer area located on the “site” side of the sidewalk or as close as possible to the road as applicable if existing overhead utilities or underground utilities prohibit.
- 6.5 The minimum 6 foot wide sidewalk, or portions thereof, shall be located within a sidewalk utility easement rather than in public right of way where necessary as generally depicted on the Rezoning Plan.
- 6.6 Internal sidewalks shall be provided on the Site as generally depicted on the Rezoning Plan.

7. Environmental Features

- 7.1 Development of the Site shall comply with the City of Charlotte Tree Ordinance.
- 7.2 The proposed site will have best management practices (BMP’s) to achieve 85% Total Suspended Solid (TSS) removal for the entire post–development runoff volume for the first 1 inch of rainfall, control the entire runoff volume for the 1 year, 24 hour storm with a minimum drawdown time of 24 hours, but not more than 120 hours, and control the peak runoff rates to match the predevelopment runoff rates for the 10–yr and 25–yr, 6–hours storms. The BMP’s must be designed and constructed in accordance with the NC Department of Environmental and Natural Resources (NCDENR) Best Management Practices Manual, latest edition. The location, size and type of storm water management systems depicted on the Rezoning Plan are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

8. Signage

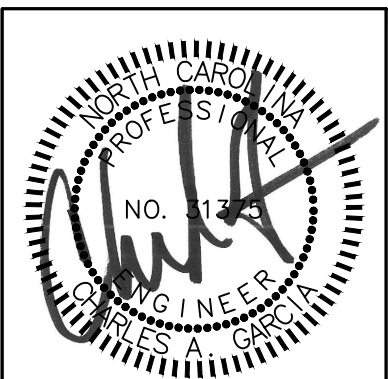
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- 8.2 Notwithstanding paragraph 1 above, one detached outparcel sign shall be permitted on the Site, as set forth in section 10.3 of Rezoning Petition 2007–52. The sign permitted shall be limited to 32 square feet.

9. Lighting

- 9.1 Any freestanding lighting fixtures installed on Site shall have a maximum height of 30 feet including base, and all such freestanding lighting fixtures shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site, as set forth in section 9.2 and 9.5 of Rezoning Petition 2007–52.
- 9.2 Lighting on the site to be 24–foot candle at the ground and fixtures to be mounted flush with canopy overhead as set forth in section 9.4 of Rezoning Petition 2007–52.

10. Binding Effect of the Rezoning Documents and Definitions

- 10.1 If this Rezoning Petition amendment is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
- 10.2 Throughout these Development Standards, the term “Petitioner” shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
- 10.3 Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.




NC COA C-1532
ISSUE DATE: 08/17/2016

FREELAND and KAUFFMAN, INC.
Engineers and Architects
205 West Stone Creek Avenue
Charlotte, North Carolina 28209
Tel: 844-228-9196

QuikTrip No. 1037

SEC OF TRYON & TYVOLA
CHARLOTTE, NC

QUIKTRIP CORPORATION - CHARLOTTE DIVISION OFFICE
3701 ARCO CORPORATE DRIVE - SUITE 150 - CHARLOTTE, NC 28273






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DIVISION: CAROLINA
VERSION: 001
DESIGNED BY: WP/CG/JE
DRAWN BY: WP/CG/JE
REVIEWED BY: WP/CG/JE

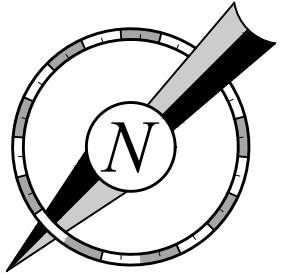
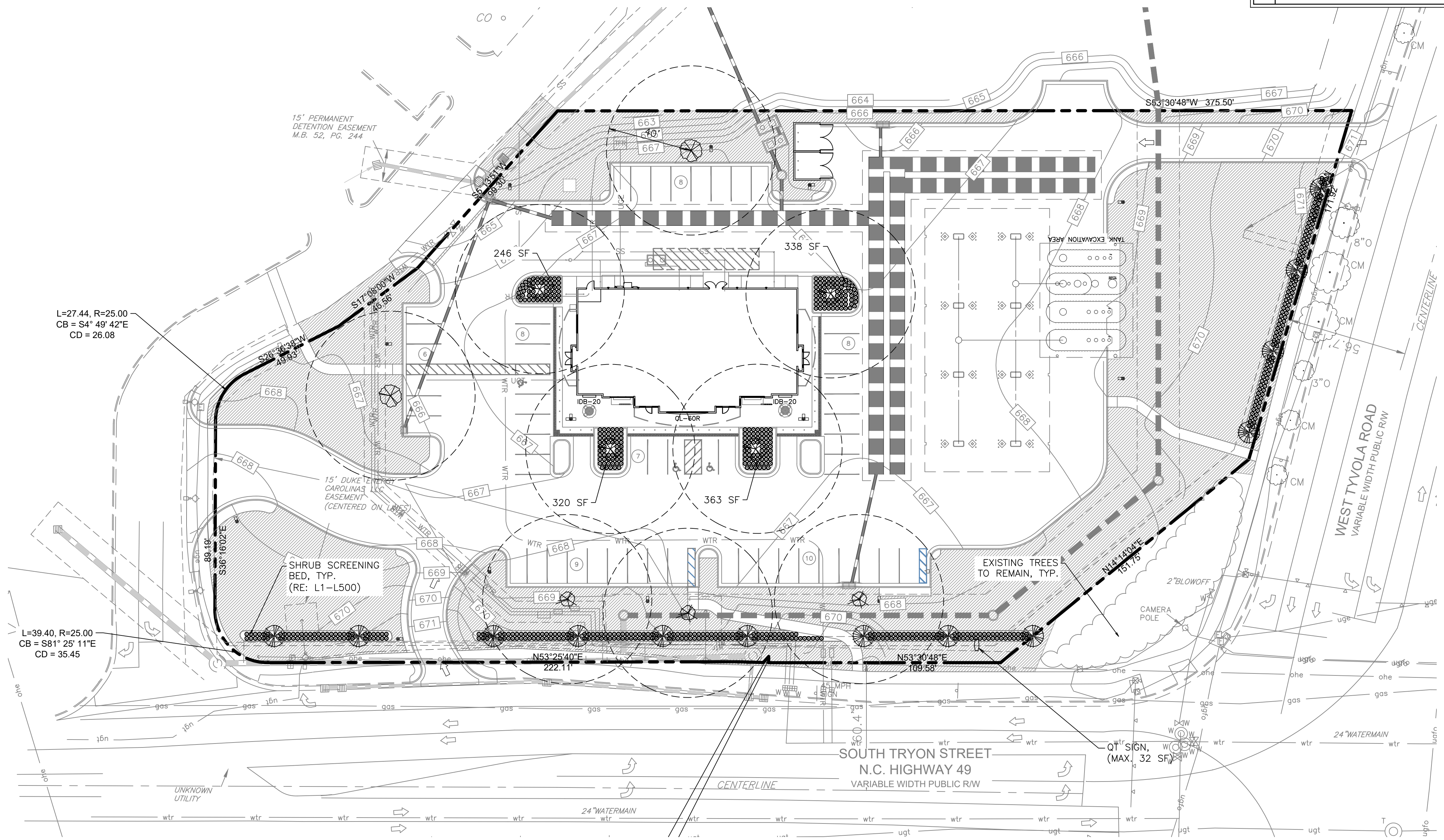
REV	DATE	DESCRIPTION

SHEET TITLE:
DEVELOPMENT STANDARDS
AND NOTES
SITE PLAN

SHEET NUMBER:
RZ-2

Landscape Schedule					
USE	SYMBOL	COMMON NAME <i>Botanical Name</i>	MINIMUM SIZE / HEIGHT/SPREAD	QUANTITIES	COMMENTS
SHRUBS		NEEDLE POINT HOLLY <i>Ilex Cornuta "Needle Point"</i>		631 EA.	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR LANDSCAPE BED LOCATIONS AND SHRUB SPACING
		LACEBARK ELM <i>Ulmus Parvifolia</i>	3" CALIPER 12' HT	13 EA.	SEE LANDSCAPE PLAN AND ASSOCIATED DETAILS FOR TREE PLACEMENT, AND PLANTING SPECIFICATIONS CONTRACTOR TO VERIFY TREE TYPE, LOCATION, SIZE, HEIGHT, AND SPREAD WITH OT REPRESENTATIVE PRIOR TO INSTALLATION
		WILLOW OAK <i>Quercus Phellos</i>	3" CALIPER 12' HT	6 EA.	
	GRAPE MYRTLE <i>Lagerstroemia Indica</i>	3" CALIPER (TOTAL) 6' HT	3 EA.		
MISC		TIFWAY 419 BERMUDA SOD		39,800 S.F.	

LANDSCAPE REQUIREMENTS		
	REQUIRED ORIGINANCE	PROVIDED
PERIMETER (SEC. 21-96(e)(2))	(1) MINIMUM 8' WIDE PLANTING STRIP (2) ORNAMENTAL TREE (2" CAL.) PER 40 LF STREET FRONTAGE (30 LF OVERHEAD ELECTRIC) <u>S. TRYON</u> - ±350 LF/40= 8.75 (9) TREES <u>W. TRYON</u> - ±172 LF/40= 4.3 (4) TREES	TREES WITHIN 8' INSIDE 20' PARKING BUFFER 9 LACEBARK ELM (40' O.C.) (OUTSIDE OF 8' PLANTING STRIP DUE TO ELECTRIC EASEMENT) 4 LACEBARK ELM (40' O.C.)
INTERNAL (SEC. 21-96(f)(1) & (2))	(1) PLANTING AREA EQUAL TO 10% OF THE TOTAL IMPERVIOUS SURFACE MUST BE PROVIDED FOR LANDSCAPE PURPOSES AND TREE PLANTING ±72,000 X 10% = <u>7,200 S.F.</u> (2) ONE LARGE TREE PER 10,000 SQ FEET OF IMPERVIOUS COVER ±72,000 / 10,000 = <u>7.2 (7) SHADE TREES</u> -EA. PARKING SPACE MUST BE LOCATED WITHIN 40' OF A TREE. -75% OF TREES MUST BE LARGE, MATURING SHADE TREES -MINIMUM PLANTING AREA PER TREE SHALL BE 274 S.F. WITH MIN. WIDTH OF 8'. (200 S.F. FOR SMALL TREE)	±X S.F. 6 WILLOW OAK 3 CRAPE MYRTLE
PARKING LOT (SEC. 12-2A(3))	(1) EVERGREEN SHRUBS, ATLEAST 2-2.5' TALL WITH MINIMUM SPREAD OF 2' AND SPACED NO FURTHER THAN 5'.	386 NEEDLEPOINT HOLLY
TREE SAVE AREA (SEC. 21-94)	(1) 10% OF COMMERCIAL SITE MUST BE PRESERVED AS TREE SAVE AREA TOTAL AREA- 113,108 X 10% = 0.260 AC TOTAL TREE SAVE AREA PROVIDED= 0.260 AC	10% ALREADY ACCOUNTED FOR IN OVERALL DEVELOPMENT



NC COA# C-1532
ISSUE DATE: 08/17/2016

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[illegible]

SHEET TITLE:

LANDSCAPE PLAN

SHEET NUMBER:

RZ-3