

A. General Provisions

1. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by CapRock, LLC ("Petitioner") to accommodate the development of a residential community on that approximately 5.81 acre site located on the west side of Ashley Road north of Joy Street, and is more particularly depicted on the Rezoning Plan (the "Site"). The Site is comprised of Tax Parcel No. 061-092-02.
2. Development of the Site will be governed by the Rezoning Plan, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance").
3. Unless the Rezoning Plan or these Development Standards establish more stringent standards, the regulations established under the Ordinance for the UR-2 zoning district shall govern the development and use of the Site.
4. Future amendments or modifications to the Rezoning Plan and/or these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Chapter 36 of the Ordinance. All such modifications to the Rezoning Plan are subject to Section 6.207 of the Ordinance.

B. Permitted Uses

1. The Site may be devoted only to a residential community containing a maximum of 180 multifamily units and 80 age restricted units and to any incidental and accessory uses relating thereto that are allowed in the UR-2 zoning district. Incidental and accessory uses may include, without limitation, amenities for the residents, such as a clubhouse and fitness center.
2. A clubhouse building may be constructed on the Site in the general location depicted on the Rezoning Plan. The clubhouse building may contain, among other things, a leasing and management office and amenities such as a fitness center, a recreation room and meeting space.

C. Transportation

1. Vehicular access to the Site shall be as generally depicted on the Rezoning Plan. The placement and configuration of the vehicular access points are subject to any minor modifications required to accommodate final site and construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.
2. The maximum number of parking spaces allowed on the Site shall be limited to the maximum allowed in the UR-2 zoning district. The on-street parking spaces located on the new local public street to be constructed and installed on the Site shall not be considered or counted when determining the maximum number of parking spaces located on the Site.
3. Internal sidewalks and pedestrian connections shall be provided on the Site as generally depicted on the Rezoning Plan.
4. Petitioner shall construct the extension of Heywood Avenue through the Site as generally depicted on the Rezoning Plan. This local public street shall be built to the local residential wide typical street section as specified in the Charlotte Land Development Standards.

D. Architectural Standards

1. The maximum height in feet of each building shall be 40 feet as measured from the average grade at the base of each building.

E. Streetscape/Landscaping

1. A 8 foot wide planting strip and a 8 foot wide sidewalk shall be installed along the west side of Ashley Road as generally depicted on the Rezonning Plan.
2. Curb and gutter along with an 8 foot wide planting strip and 8 foot wide sidewalk shall be installed along the frontage of Bullard Street as generally depicted on the Rezonning Plan.
3. An 8 foot wide planting strip and an 8 foot wide sidewalk shall be installed along the frontage of Joy Street as generally depicted on the Rezonning Plan.

F. Environmental

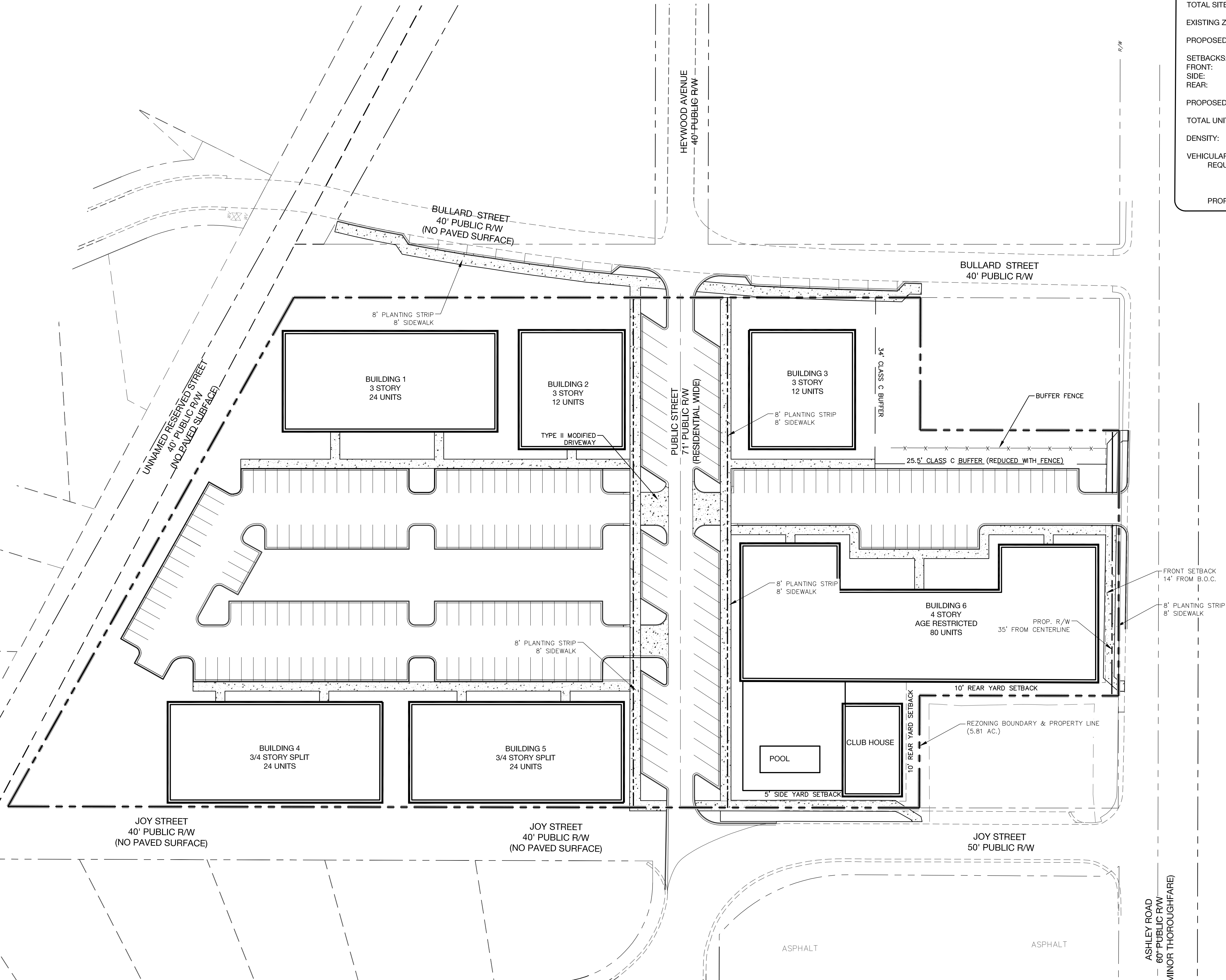
1. Development of the Site shall comply with the requirements of the City of Charlotte Tree Ordinance.

G. Lighting

1. All freestanding lighting fixtures installed on the Site (excluding lower, decorative lighting that may be installed along the driveways and sidewalks and landscaping lighting) shall be fully capped and shielded and the illumination downwardly directed so that direct illumination does not extend past any property line of the Site.
2. The maximum height of any pedestrian scale, freestanding lighting fixture installed on the Site, including its base, shall not exceed 22 feet.
3. Any lighting fixtures attached to the buildings to be constructed on the Site shall be decorative, capped and downwardly directed.

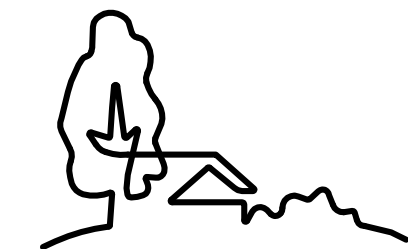
H. Binding Effect of the Rezoning Documents and Definitions

1. If this Rezoning Petition is approved, all conditions applicable to the use and development of the Site imposed under these Development Standards and the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and the current and subsequent owners of the Site and their respective successors in interest and assigns.
2. Throughout these Development Standards, the term "Petitioner" shall be deemed to include the heirs, devisees, personal representatives, assigns, successors in interest and assigns of Petitioner or the owner or owners of the Site from time to time who may be involved in any future development thereof.
3. Any reference to the Ordinance herein shall be deemed to refer to the requirements of the Ordinance in effect as of the date this Rezoning Petition is approved.



DEVELOPMENT SUMMARY

TAX PARCEL ID #:	061-092-02
TOTAL SITE AREA:	5.81 ACRES
EXISTING ZONING:	R-12MF
PROPOSED ZONING:	UR-2
SETBACKS:	
FRONT:	14' FROM BACK OF CURB
SIDE:	5'
REAR:	10'
PROPOSED USE:	MULTI-FAMILY (APARTMENTS)
TOTAL UNITS:	176
DENSITY:	30.29 UNITS/ACRE
VEHICULAR PARKING:	
REQUIRED:	
MULTI-FAMILY:	144 (1.5 SPACES/UNIT)
MULTI-FAMILY ELDERLY:	20 (0.25 SPACES/UNT)
TOTAL:	164 SPACES
PROPOSED:	226 SPACES



URBAN
DESIGN
PARTNERS

1318-e6 central ave. P 704.334.3303
charlotte, nc 28205 F 704.334.3305
urbandesignpartners.com
nc firm no: P-0418
sc coa no: C-03044

Ashley Road Apartments

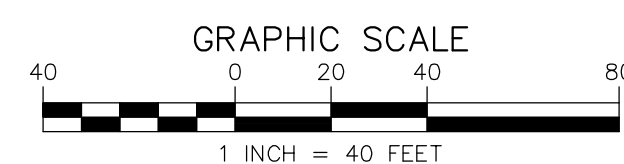
Rezoning Plan

Charlotte, North Carolina

NO. DATE: BY: REVISIONS:

Project No: 16-075
Date: August 9, 2016
Designed by: udp
Drawn By: udp
Scale: 1"=40'
Sheet No:

RZ-1.0



1. CALVARY BAPTIST CHURCH INC.
DB 6556 PG 655
TAX ID 06109206

2. CALVARY BAPTIST CHURCH INC.
DB 6556 PG 655
MB 3 PG 235
TAX ID 06109205

3. CALVARY BAPTIST CHURCH INC.
DB 6556 PG 659
MB 3 PG 235
TAX ID 06109202

4. THE RIVER CATHEDRAL OF CHARLOTTE
DB 29554 PG 500
MB 3 PG 235
TAX ID 06109201

5. SERINA MARIE KILLIAN
DB 27929 PG 899
MB 3 PG 235
TAX ID 06109203

6. LOIS BELLE
DB 27205 PG 95

7. ALVACOR BUILDERS
DB 16396 PC 438

- TAX ID 06111101
8. ANGELA LAVET BROOKS
DB 29372 PG 370
MR 3 PG 235

- TAX ID 06109104
9. ANIBAL GODOY GARCIA
DB 26590 PG 806
MR 3 PC 235

16. THE RIVER CATHEDRAL OF CHARLOTTE
DB 29554 PG 500

17. CYNTHIA HOWELL
DB 22517 PG 523
MB 7 PG 287
TAX ID 06100617

18. THOMAS & MARY HOL
DB 1806 PG 75
MB 7 PG 287

19. PETER PESSINA
DB 28336 PG 222
MR 3 PG 283 061

20. IVEY MASSEY
DB 21209 PG 972
MR 7 PG 287

21. ALMA KATTA, YVONNE
DB 5507 DC 26

- 22 JERMAINE & MICHELLE

- DB 7939 PG 711
MB 7 PG 287
TAX ID 06109612

23. CHARLES WITHERSPOO
DB 6381 PG 410
MB 34 PG 567
TAX ID 06109307

24. ISREAL PARADA, AVEL
DB 25190 PG 3
MB 3 PG 234
TAX ID 0610930

25. ISREAL PARADA, AVEL
DB 21833 PG 2
MB 3 PG 234

26. RHONDA KEE
DB 22069 PG 29

27. VS RESIDENTIAL PROP

- DB 29171 PG 56
MB 32 PG 326
TAX ID 6111401

28. ARTHUR, LEO HOLSHO
DB 23542 PG 69
TAX ID 06111326


EOP - EDGE OF PAVEMENT
 CSW - CONCRETE SIDEWALK
 MB - MAP BOOK
 PG - PAGE
 DB - DEED BOOK
 R/W - ROIGHT OF WAY
 RF - REBAR FOUND
 RS - REBAR SET
 PF - PIPE FOUND
 PKF - PK NAIL FOUND
 SSMH - SANITARY SEWER MANHOL
 WV - WATER VALVE
 CB - CATCH BASIN
 SF - SQUARE FEET
 DW - DRIVEWAY
 OHU - OVERHEAD UTILITY

(26)

BULLARD STREET
40' PUBLIC R/W

BULLARD STREET
40' PUBLIC R/W
(NO PAVED SURFACE)

HEYWOOD AVENUE




PHYSICAL & BOUNDARY & TOPO SURVEY FOR:
ASHLEY ROAD HOLDINGS, LLC
 TAX: 061092005
 TAX: 061092005
 TAX: 061092002
 CURRENT OWNER REF: DB: 6556 PG 655-659
CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC
 Scale: 1" = 30'
 Date: MARCH 11, 2016
 300 SOUTH CRAIG STREET, CHESTERFIELD SC 29709
 Office: 704-399-3299
 James@McWulfeeLandSurveying.com PLS#43352
 Draw File: J:\SINQ_BDGL\12420201\ASH_EXP020220\TOPG.DWG

	Rev.

LINE TABLE		
LINE	LENGTH	BEARING
L1	10.07	N62°16'58"E
L2	10.07	N62°16'32"E
L3	76.89	S31°12'53"W

SCALE : 1" = 30'



A horizontal graphic scale bar with alternating black and white segments. Below the bar, numerical labels indicate distances: 30' at the left end, 0 in the middle, 15' at the first major tick to the right of 0, 30' at the second major tick to the right of 0, and 60' at the far right end.

PLATTED R/W MB 3 PG 235

BULLARD STREET
40' PUBLIC R/W

ASHLEY ROAD
60' PUBLIC R/W

~~5.809 ACRES~~
~~253,046 SF~~

JOY STREET

JOY STREET

SITE BENCH MARK
MH RIM = 756.08
NAVD - 1988

PARKING LOT
ASPHALT