

UNIVERSITY OF NORTH CAROLINA AT CHARLOTTE CAMPUS



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Land Planning
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**HAVEN
CHARLOTTE**

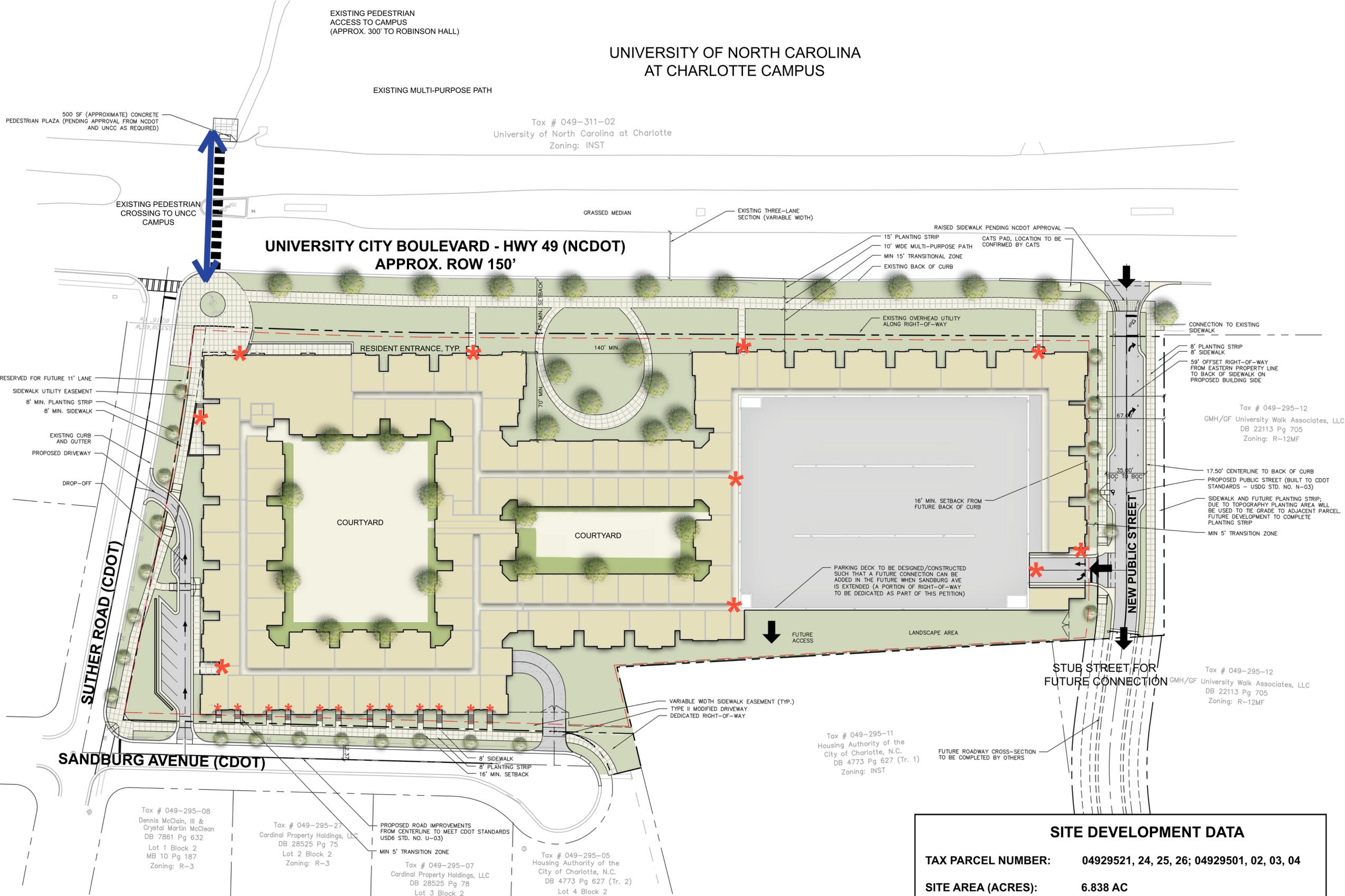
9304 University City Blvd 16
Charlotte
North Carolina 28213

**TECHNICAL
DATA SHEET**

Project No.
4475

Issued
03/28/16

Revised
06/20/16 - PER PLANNING/CDOT COMMENTS
08/22/16 - PER PLANNING/CDOT COMMENTS
09/19/16 - PER PLANNING COMMENTS



SITE DEVELOPMENT DATA

TAX PARCEL NUMBER:	04929521, 24, 25, 26; 04929501, 02, 03, 04
SITE AREA (ACRES):	6.838 AC
EXISTING ZONING:	INST, O-1, R-3
PROPOSED ZONING:	MUDD-O
EXISTING USES:	Single family homes, apartments, office uses
PROPOSED USES:	Residential dwellings units as permitted by right under prescribed conditions. See Site Development Data and Development Standards on RZ-2

LEGEND

-  VEHICULAR ACCESS
-  RESIDENT ENTRANCE
-  BUILDING/PARKING ENVELOPE

SCALE: 1"= 40'



RZ-1

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PET#2016-087

**Haven Campus Communities
Development Standards
#2216-9/19/16
Rezoning Petition No. 2016-087**

Site Development Data:

- Acreage: ± 6.838 acres
- Tax Parcel #: 049-295-21, 049-295-04, 049-295-24, 049-295-25, 040-295-26, 049-295-01, 049-295-02, 049-295-03
- Existing Zoning: R-3, O-1, and INST
- Proposed Zoning: MUDD-O
- Existing Uses: Single Family Homes, Apartments, Office Uses
- Proposed Uses: Residential dwellings units as permitted by right, under prescribed conditions, and by the Optional provisions below, together with accessory uses, as allowed in the MUDD zoning district (all as more specifically described and restricted below in Section 5).
- Maximum Number of Residential Dwelling Units: Up to 349 residential dwelling units as allowed by right and under prescribed conditions in the MUDD zoning district.
- Maximum Building Height: Maximum building height for the residential building portion of the building will vary as follows: (i) four (4) and five (5) stories along University City Boulevard; (ii) four (4) stories along Suther and the new public street; and (iii) three (3) stories along Sandburg Avenue as generally depicted on the Rezoning Plan. The parking facility will have up to six (6) stories. Building height to be measured per the Ordinance.
- Parking: As required by the Ordinance.

I. General Provisions:

a. **Site Location.** These Development Standards, the Technical Data Sheet, Schematic Site Plan and other site plan sheets form this rezoning plan (collectively referred to as the "Rezoning Plan") associated with the Rezoning Petition filed by Haven Campus Communities. ("Petitioner") to accommodate the development of a high quality campus housing on an approximately 6.8 acre site located on the southeast quadrant of the intersection of University City Boulevard and Suther Road (the "Site").

b. **Zoning Districts/Ordinance.** Development of the Site will be governed by the Rezoning Plan as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"). Unless the Rezoning Plan establishes more stringent standards, the regulations established under the Ordinance for the MUDD-O zoning classification shall govern all development taking place on the Site, subject to the Optional Provisions provided below.

c. **Graphics and Alterations.** The schematic depictions of the uses, parking areas, sidewalks, structures and buildings, building elevations, driveways, streets, Permissible Building Areas (as defined below) and other development matters and site elements (collectively the "Development/Site Elements") set forth on the Rezoning Plan should be reviewed in conjunction with the provisions of these Development Standards. The layout, locations, sizes and formulations of the Development/Site Elements depicted on the Rezoning Plan are graphic representations of the Development/Site elements proposed. Changes to the Rezoning Plan not anticipated by the Rezoning Plan will be reviewed and approved as allowed by Section 6.207 of the Ordinance.

Since the project has not undergone the design development and construction phases, it is intended that this Rezoning Plan provide for flexibility in allowing some alterations or modifications from the graphic representations of the Development/Site Elements. Therefore, there may be instances where minor modifications will be allowed without requiring the Administrative Amendment Process per Section 6.207 of the Ordinance. These instances would include changes to graphics if they are:

- i. Minor and don't materially change the overall design intent depicted on the Rezoning Plan.

The Planning Director will determine if such minor modifications are allowed per this amended process, and if it is determined that the alteration does not meet the criteria described above, the Petitioner shall then follow the Administrative Amendment Process per Section 6.207 of the Ordinance; in each instance, however, subject to the Petitioner's appeal rights set forth in the Ordinance.

d. **Number of Buildings Principal and Accessory.** The total number of principal buildings to be developed on the Site will be limited to one (1). Accessory buildings and structures located on the Site shall not be considered in any limitation on the number of buildings on the Site. Accessory buildings and structures will be constructed utilizing similar building materials, colors, architectural elements and designs as the principal building(s) located within the same Development Area as the accessory structure/building.

e. **Exclusions for Calculation of Maximum Development Levels.** For purposes of the development limitations set forth in these Development Standards (but not to be construed as a limitation on FAR requirements), the following items will not be counted as part of the allowed gross floor area (floor area as defined by the Ordinance) for the Site: surface or structured parking facilities, all loading dock areas (open or enclosed); and outdoor dining areas whether on the roof of the building(s) or at street level (parking for outdoor dining areas will be provided as required by the Ordinance or these development standards).

2. Optional Provisions

The following optional provisions shall apply to the Site:

- a. To allow a small surface parking area between the building and Suther Road as generally depicted on the Rezoning Plan.

3. Permitted Uses, Development Area Limitations:

a. The principal buildings constructed on the Site may be developed with up to 349 multi-family residential dwellings units as permitted by right, under prescribed conditions and per the Optional provisions above together with accessory uses allowed in the MUDD-O zoning district.

4. Transportation Improvements and Access:

I. Proposed Improvements:

Improvements. The Petitioner plans to provide or cause to be provided on its own or in cooperation with other parties who may implement portions of the improvements, the improvements set forth below to benefit overall traffic patterns throughout the area in accordance with the following implementation provisions.

- a. The Petitioner will construct a raised crosswalk at the intersection of the new public street and the proposed 10 foot multi-use trail as generally depicted on the Rezoning Plan subject to NCDOT approval.

b. The Petitioner will widen Suther Road so that new curb line is located 12.5 feet from the existing centerline. The Petitioner will also provide a sidewalk and utility easement along the Site's frontage along Sandburg Avenue if needed for the proposed sidewalk and required utilities as generally depicted on the Rezoning Plan. The Petitioner will also dedicate additional right-of-way at the end of Sandburg Avenue to allow for its future extension as generally depicted on the Rezoning Plan. Recessed or street portions will not be provided along Sandburg Avenue.

c. The Petitioner will widen Sandburg Avenue so that new curb line is located 12.5 feet from the existing centerline. The Petitioner will also provide a sidewalk and utility easement along the Site's frontage along Sandburg Avenue if needed for the proposed sidewalk and required utilities as generally depicted on the Rezoning Plan. The Petitioner will also dedicate additional right-of-way at the end of Sandburg Avenue to allow for its future extension as generally depicted on the Rezoning Plan. Recessed or street portions will not be provided along Sandburg Avenue.

- d. The Petitioner will construct the proposed north/south public street to meet the requirements of a residential wide street section.

e. The Petitioner will construct the required roadway improvements and provide any required sidewalk and utility easements needed for these improvements prior to the issuance of a certificate of occupancy. The Petitioner reserves the right to post a bond for any roadway improvements not finalized at the time of the issuance of the certificate of occupancy.

II. Standards, Phasing and Other Provisions.

a. **CDOT/NCDOT Standards.** All of the foregoing public roadway improvements will be subject to the standards and criteria of CDOT as applicable. It is understood that such improvements may be undertaken by the Petitioner on its own or in conjunction with other development or roadway projects taking place within the area, by way of a private/public partnership effort or other public sector project support.

b. **Substantial Completion.** Reference to "substantial completion" for certain improvements as set forth in the provisions of Section 4.I. above shall mean completion of the roadway improvements in accordance with the standards set forth in Section 4.II.a above provided, however, in the event all roadway improvements are not completed at the time that the Petitioner seeks to obtain a certificate of occupancy for building(s) on the Site in connection with related development phasing described above, then the Petitioner will work with City Staff to determine a process to allow the issuance of certificates of occupancy for the applicable buildings, and in such event the Petitioner may be asked to post a letter of credit or a bond for any improvements not in place at the time such a certificate of occupancy is issued to secure completion of the applicable improvements.

c. **Right-of-way Availability.** It is understood that some of the public roadway improvements referenced in subsection a. above may not be possible without the acquisition of additional right of way. If after the exercise of diligent good faith efforts over a minimum of a 60 day period, the Petitioner is unable to acquire any land necessary to provide for any such additional right of way upon commercially reasonable terms and at market prices, then CDOT, the City of Charlotte Engineering Division or other applicable agency, department or governmental body agree to proceed with acquisition of any such land. In such event, the Petitioner shall reimburse the applicable agency, department or governmental body for the cost of any such acquisition proceedings including compensation paid by the applicable agency, department or governmental body for any such land and the expenses of such proceedings. Furthermore, in the event public roadway improvements referenced in subsection a. above are delayed because of delays in the acquisition of additional right-of-way as contemplated herein and such delay extends beyond the time that the Petitioner seeks to obtain a certificate of occupancy for building(s) on the Site in connection with related development phasing described above, then the Petitioner will work with City Staff to determine a process to allow the issuance of certificates of occupancy for the applicable buildings; provided, however, Petitioner

continues to exercise good faith efforts to complete the applicable road-way improvements; in such event the Petitioner may be asked to post a letter of credit or a bond for any improvements not in place at the time such a certificate of occupancy is issued to secure completion of the applicable improvements.

d. **Alternative Improvements.** Changes to the above referenced roadway improvements can be approved through the Administrative Amendment process upon the determination and mutual agreement of Petitioner, CDOT, and the Planning Director as applicable, provided, however, the proposed alternate transportation improvements provide (in the aggregate) comparable transportation network benefits to the improvements identified in this Petition.

III. Access.

- a. Access to the Site will be from University City Boulevard, by way of a new public street, and from Sandburg Avenue as generally depicted on the Rezoning Plan, subject to adjustments as set forth below. The access from Sandburg Avenue will be a fire access limited service access.

- b. The Petitioner shall provide for a future access from the proposed parking deck to the future extension of Sandburg Avenue.

c. The alignment of the vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by the Charlotte Department of Transportation (CDOT) in accordance with published standards so long as the street network set forth on the Rezoning Plan is not materially altered.

d. The Petitioner reserves the right to request a reduction in the width of the existing right-of-way along University City Boulevard. NCDOT has indicated a willingness to allow a portion of the existing right-of-way along University City Boulevard to be reclaimed. If the right-of-way is reclaimed the proposed building will be allowed shift forward toward the new right-of-way line. The proposed building will be set back 45 foot setback (measured) from the future existing back of curb must be maintained.

5. Streetscape, Buffer, Landscaping Open Space and Screening:

- a. A 45 foot setback as measured from the future back of curb along University City Boulevard will be provided as generally depicted on the Rezoning Plan.

b. The building setback along Suther Road will vary from 16 feet at the intersection of Suther Road and University City Boulevard to 75 feet at the intersection of Suther Road and Sandburg Avenue as generally depicted on the Rezoning Plan. Parking as allowed by the Optional provisions and an outdoor patio will be allowed within the building setback along Suther Road as generally depicted on the Rezoning Plan. The building setback will be measured from the proposed back of curb. Additional right-of-way to accommodate the construction of a right turn lane on Suther Road will be reserved and the setbacks will take into account this future turn lane.

- c. Along Sandburg Avenue a 16 foot setback as measured from the future back of curb will be provided as generally depicted on the Rezoning Plan.

- d. Along the new public street a 16 foot setback will be provided as measured from the proposed back of curb.

e. A variable width 13 foot wide planting strip and a ten (10) foot wide multi-use path which will not be located closer than 10 feet to the back of curb will be provided along University City Boulevard and an 8 foot wide planting strip and an eight (8) foot sidewalk will be provided along Suther Road, Sandburg Avenue and on one side of the new public street, within the required setbacks as generally depicted on the Rezoning Plan.

- f. Meter banks will be screened where visible from public view at grade level.

6. General Design Guidelines:

a. The building materials used on the principal buildings constructed on Site will be a combination of portions of the following: brick, stone, precast stone, precast concrete, synthetic stone, cementitious fiber board, stucco, EIFS, decorative block and/or wood. Vinyl or aluminum as a building material may only be used on windows, soffits and on handrails/railings.

b. The attached illustrative building elevations are included to reflect an architectural style and a quality of the buildings that may be constructed on the Site (the actual buildings constructed on the Site may vary from these illustrations provided that the design intent is preserved).

c. Building street walls will meet or exceed the MUDD requirements for blank walls. At the corner of Suther Road and University City Boulevard the building will be designed to have active ground floor uses such as; a leasing office, club house, and other amenity areas associated with the planned residential community.

d. The area between building face and the back of the sidewalk located along University City Boulevard will be used as a 15 foot transition zone. The transition zone may be used for enhanced landscaping, and will have a minimum width of 15 feet. Along Suther Road, Sandburg Avenue and the new public street a five (5) foot transition zone will be provided when possible, generally depicted on the Rezoning Plan. Stairs and stoops may encroach into this transition zone along Suther Avenue will start a few feet away from the corner of Suther and University City Boulevard as generally depicted on the Rezoning Plan. Along Sandburg Avenue a four (4) foot transition zone will be provided. Stairs, landscaping, and stoops may be located in the transition zone zones.

e. The scale and massing of buildings longer than 150 feet along a street shall be minimized by utilizing a combination of the following options: (i) varied roof lines through the use of slopes, modulated buildings heights, gables, dormers or innovative architectural solutions; (ii) building corners to provide visual interest at the pedestrian level as well as to differentiate roof lines or highlight ground floor uses; (iii) horizontal and vertical variations in wall planes that represent a change in architectural style; and/or (iv) architectural protrusion of 6" inches or greater to accentuate enclosed balconies.

f. The maximum contiguous area without windows or doors on any floor shall not exceed 20 feet in length. Where blank or unarticulated walls 20' or greater cannot be addressed principally with doors or windows, they shall be treated with a combination of the following options: (i) a higher level of transparency on the ground floor (exaggerated or larger windows indicative of living areas); (ii) horizontal and vertical variations in wall planes and/or architectural protrusion. If the final architectural design cannot meet the design standards for blank wall articulation, alternative innovative design solutions may be considered for approval by the Planning Director.

g. Residential building entrances shall be at or slightly above grade and shall be highly visible and architecturally treated as prominent pedestrian entrances through a combination of at least five (5) of the following features: (i) decorative pedestrian lighting/sofcones; (ii) architectural details carried through to upper stories; (iii) covered porches, canopies, awnings or sunshades; (iv) archways; (v) transom windows; (vi) terraced or raised planters that can be utilized as seat walls; (vii) common outdoor seating enhanced with specialty details, paving, landscaping or water features; (viii) double doors; (ix) stoops or stairs; and/or (x) contrasting pavement from primary sidewalk.

h. Building entrances will be provided every a minimum of every 270 linear feet along the Site's frontage along University City Boulevard. A minimum of two entrances will be provided along the Site's frontage on Suther Road as generally depicted on the Rezoning Plan. The building entrance at the corner of Suther Road and University City Boulevard will be allowed to count toward the building entrance requirement for one (1) of these two streets. The units with frontage on Sandburg Avenue will have individual entrances to Sandburg Avenue as generally depicted on the Rezoning Plan.

- i. All facades shall incorporate windows, arches or other architectural details along with varying build materials, or roof lines or building offsets.

- j. The ground floor of the proposed building will not be more than five (5) feet above the grade of the proposed sidewalks and the multi-use trail located along the adjoining public streets.

k. The ground floor of the proposed building will be taller than, or have the appearance of being taller than the upper floors through the use or architectural treatments and details.

- l. A public courtyard will be provided along University City Boulevard as generally depicted on the Rezoning Plan. This courtyard will be improved with landscaping, hardscape elements, seating and lighting.

m. Along Sandburg Avenue the portion of the building taller than three (3) stories will be setback an additional 15 feet behind the proposed third floor.

7. Environmental Features:

a. The location, size, and type of storm water management systems are subject to review and approval as part of the full development plan submittal and are not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.

- b. The Site will comply with the Tree Ordinance.

8. Lighting:

- a. All new attached and detached lighting shall be fully shielded downwardly directed and full cut off fixture type lighting excluding lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas.

- b. Detached lighting on the Site, except street lights located along public streets, will be limited to 22 feet in height.

- c. Detached lighting on the upper floors of the parking structure will not exceed 22 feet.

d. The Petitioner will install pedestrian scale lighting along the proposed sidewalks and the proposed multi-use trail.

9. CATS Passenger Shelter Concrete Pad:

- a. The Petitioner will provide a pad for a bus shelter, per CMLDS standard 60.08A, along University City Boulevard. The location to be determined by the Petitioner in consultation with CATS during the land development permitting process for the Site.

10. Amendments to the Rezoning Plan:

a. Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable development area or portion of the Site affected by such amendment in accordance with the provisions herein and of Chapter 6 of the Ordinance.

11. Binding Effect of the Rezoning Application:

a. If this Rezoning Petition is approved, all conditions applicable to the development of the Site imposed under the Rezoning Plan will, unless amended in the manner provided herein and under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site or Development Areas, as applicable, and their respective heirs, devisees, personal representatives, successors in interest or assigns.



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DEVELOPMENT STANDARDS

Project No.
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RZ-2

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PET#2016-087



SANDBURG AVENUE -
TOWNHOUSES CONCEPTUAL PERSPECTIVE



UNIVERSITY CITY BOULEVARD -
SECONDARY ENTRANCE CONCEPTUAL PERSPECTIVE



UNIVERSITY CITY BOULEVARD / SUTHER ROAD -
CORNER ENTRY CONCEPTUAL PERSPECTIVE



UNIVERSITY CITY BOULEVARD -
VIEW OF RECESSED COURTYARD CONCEPTUAL PERSPECTIVE

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**ARCHITECTURAL
RENDERINGS**

Project No.
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Revised
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RZ-3

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