

Development Data:

- Rezoning Site Acreage: 0.11 ACRES
- Tax Parcels included in Rezoning: 049-31-113
- Existing Zoning (including overlays and vesting): NST
- Proposed Zoning (including overlays and vesting): TOD-M (O)
- Number of Residential Units by Housing Type: N/A
- Residential Density: N/A
- Square footage of Non-Residential Uses by Type (retail, office, industrial, etc.): 1090 SF Transit stations (rail)
- Floor Area Ratio: Certain principal uses are exempt from meeting the minimum FAR requirements: Transit stations (rail)
- Maximum Building Height: 120'
- Maximum Number of Buildings: N/A
- Number and/or Ratio of Parking Spaces: N/A
- Amount of open space: N/A - < 20,000 sf lot

General Provisions:

- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of the individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases as allowed under the provisions of Section 6.2 of the Zoning Ordinance.
- The Petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, bicycle parking, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plan, unless specifically noted in the conditions for this site plan. These other standard development requirements will be applied to the development of this site as defined by those other City Ordinances.
- Throughout this rezoning petition, the terms "Owner", "Owners", "Petitioner", or "Petitioners" shall, with respect to the site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the site who may be involved in its development from time to time.

Purpose:

- The purpose of this rezoning application is to allow signage to exceed TOD allowable area. The signage will serve as a wayfinding and identification tool directing pedestrians between Carolinas Medical Center (University), UNC Charlotte and the JW Clay/UNC Charlotte light rail station.

Optional Provisions:

- Section 9.1207(7a), option to exceed TOD allowable area.

Permitted uses:

- Allowed uses or prohibited uses: Transit stations and associated parking facilities
- Other Use Restrictions: The sign, banner, flags, and pennant requirements of Section 9.1209(2) shall apply.
- Required setbacks and yards that have been met per Sheet RZN-2:
 - o Minimum Front Setback = 24'
 - o Minimum Side and Rear Yards = 5'
- The urban design standards of Section 9.1209(1) through (4) shall apply to the new façade improvements. See Sheet RZN-4 for more information.

Transportation:

- Dedication and reservation of street right-of-way to City/NCDOT. See Sheet RZN-1 and 2 for more information.

Architectural Standards:

- Building Materials: Curtain wall, standing seam roof, steel framing
- Building Scale: See Sheet RZN-3
- Treatment of urban design and architectural elements, such as street walls, building entrances, canopies and balconies: See Sheet RZN-3
- Fence/Wall standards: N/A

Streetscape and Landscaping:

- Streetscape (sidewalk and planting strip) standards: Streetscape along N. Tryon Street has been upgraded as part of the Blue Line Extension project
- Special landscape, buffer, screening treatment: Perimeter plantings are not desired in this location to provide pedestrian view and access on all sides of facility.

Environmental Features:

- Tree save areas: N/A
- PCCO treatment: N/A
- Environmental provisions per Environmental General Development Policies (reference the EGDP in packet): N/A

Parks, Greenways, and Open Space:

- Reservation/Dedication of park and/or greenway: N/A
- Park and/or greenway improvements: N/A
- Connections to park and/or greenway: N/A
- Privately constructed open space: N/A

Fire Protection:

- Fire lane treatment: N/A

Signage:

- Sign limitations: size, type, location if different from ordinance requirements: Fritted sign to be provided within the glass on two sides (North and South) of the tower. See Sheet RZN-4 and 5.

Lighting:

- See Sheet RZN-3 for more lighting information.

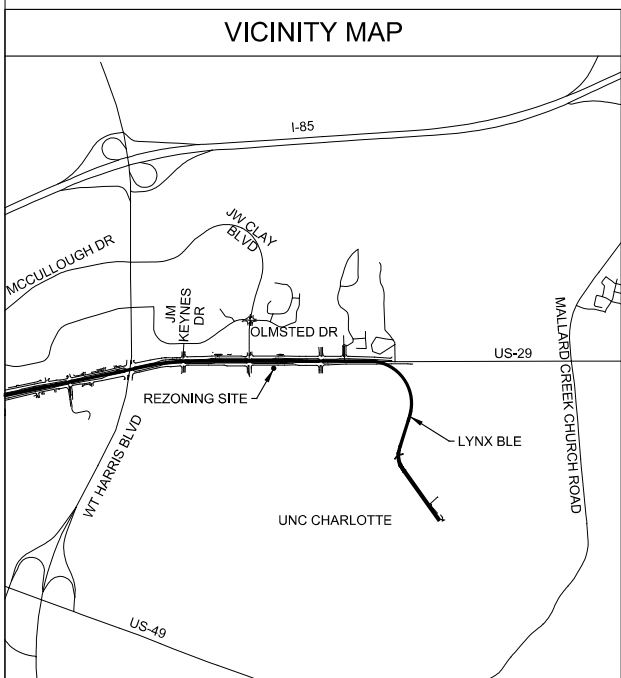
Phasing:

- Development phasing by use, area and/or square footage and trigger for each phase: N/A

Other:

- No request for right-of-way abandonment or a variance has been submitted for the subject property.
- Property corner tie points for mapping: See Sheet RZN-1 and 2.
- Public facilities/sites to be provided:
- Provision of public art: Provided as part of overall BLE project.
- Undergrounding of utilities: Utilities are located underground.

SCALE 1" = 60'



NO.	DATE	REVISION	BY	DWN	CHK	APR

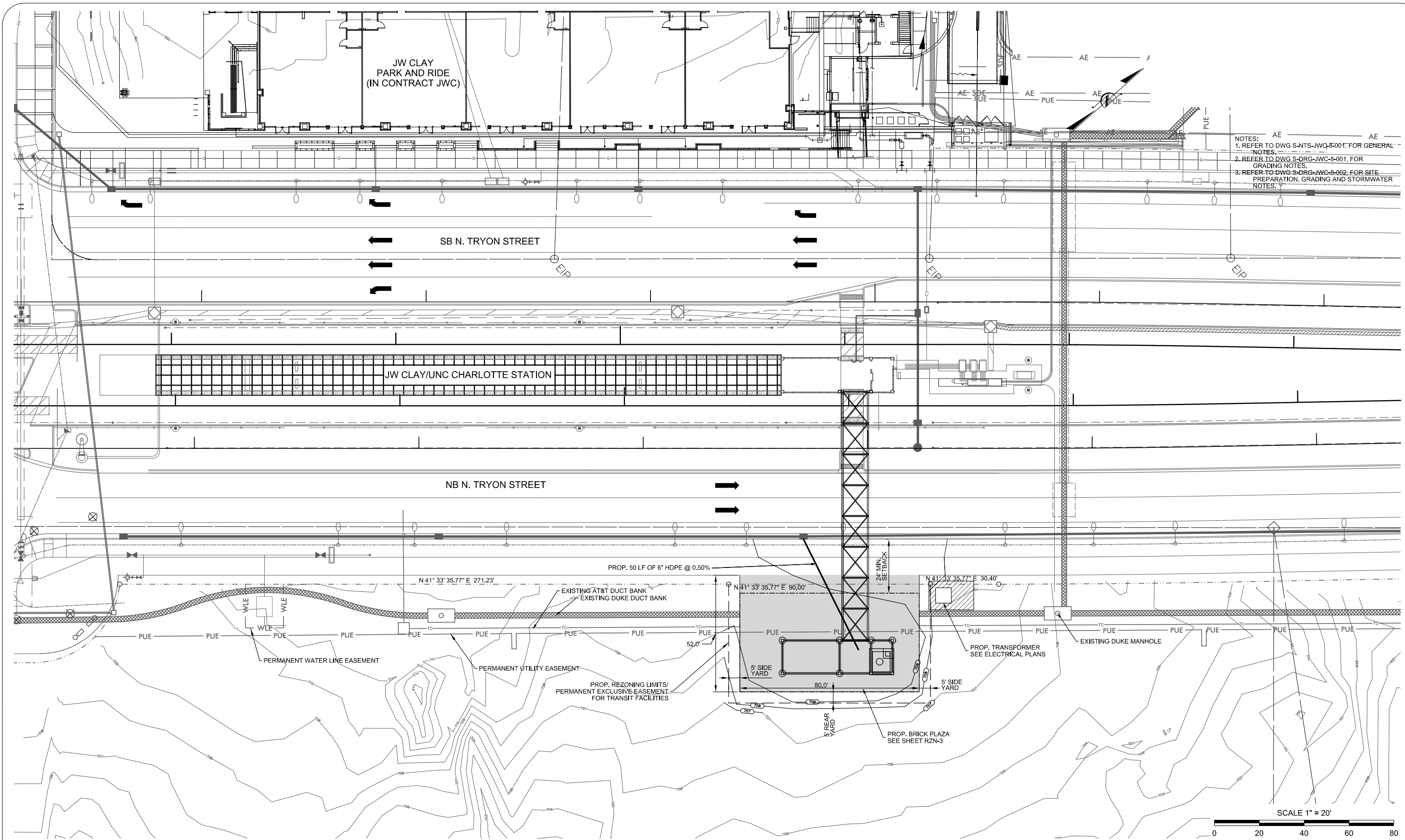
STV / Ralph Whitehead Associates, Inc.
900 West Trade St., Ste. 715
Charlotte, NC 28202
NC License Number F-0991



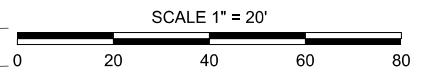
PREPARED BY: RDM
DRAWN BY: RDM
CHECKED BY: MBE
APPROVED BY: GRS

LYNX BLUE LINE EXTENSION
NORTHEAST CORRIDOR LIGHT RAIL PROJECT
PARKING GARAGES - JWC
PEDESTRIAN BRIDGE EXTENSION
REZONING SITE PLAN

DATE: 12/14/15
SHEET: RZN-1
DRAWING: C-RZN-EXT-8-001
CONTRACT NO.: 8



NOTES:
 1. REFER TO DWG S-NTS-JWC-8-001, FOR GENERAL NOTES.
 2. REFER TO DWG S-DRG-JWC-8-001, FOR GRADING NOTES.
 3. REFER TO DWG S-DRG-JWC-8-002, FOR SITE PREPARATION, GRADING AND STORMWATER NOTES.



NO.	DATE	REVISION	BY	DWN	CHK	APR

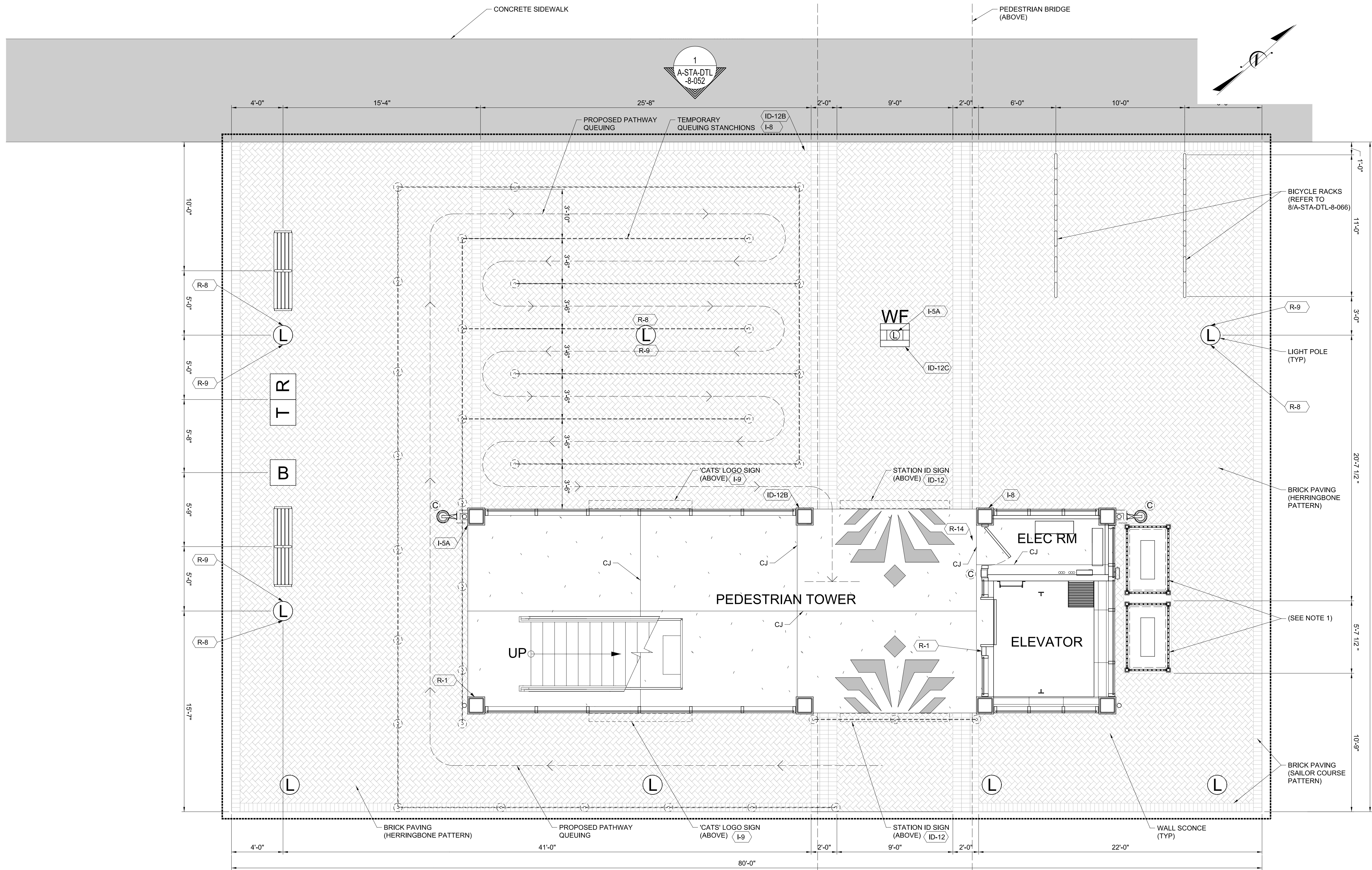

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 900 West Trade St., Ste. 715
 Charlotte, NC 28202
 NC License Number F-0991



PREPARED BY: RDM
 DRAWN BY: RDM
 CHECKED BY: MBE
 APPROVED BY: GRS

LYNX BLUE LINE EXTENSION
NORTHEAST CORRIDOR LIGHT RAIL PROJECT
 PARKING GARAGES - JWC
 PEDESTRIAN BRIDGE EXTENSION
 REZONING SITE PLAN

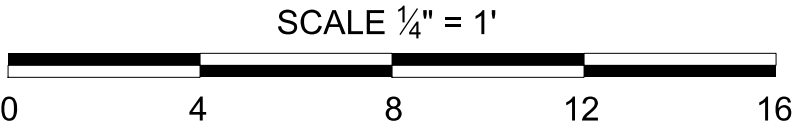
DATE: 12/14/15
 SHEET: RZN-2
 DRAWING: C-RZN-EXT-8-002
 CONTRACT NO.: 8



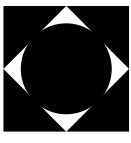
- NOTES:
- CONDENSING UNIT ENCLOSURES WITH REMOVABLE FENCE PANELS ON ALL SIDES AND TOP PANEL WITH VANDAL PROOF BOLTS. (REFER TO 1 & 2/A-STA-DTL-8-066)
 - REFER TO A-STA-DTL-8-067 FOR SIGNAGE NOTES

LEGEND

- BENCH
- BLUE LIGHT EMERGENCY TELEPHONE
- CAMERA (CCTV)
- LIGHT
- LIMITS OF CONSTRUCTION
- TICKET VENDING MACHINE (TVM)
- TRASH / RECYCLE RECEPTOR
- WAY FINDING SIGN WITH LIGHT
- WALL SCONCE



6	10/15/15	ADD PEDESTRIAN BRIDGE EXTENSION	KLB	CDB	HDS	GRS			
NO.	DATE	REVISION	BY	DWN	CHK	APR			



STV Architects, Inc.
900 West Trade St., Ste 715
Charlotte, NC 28202
NC License Number - 51843



PREPARED BY: KLB
DRAWN BY: CDB
CHECKED BY: HDS
APPROVED BY: GRS

LYNX BLUE LINE EXTENSION
NORTHEAST CORRIDOR LIGHT RAIL PROJECT
PARKING GARAGES - JWC - VOLUME 2
J W CLAY PEDESTRIAN BRIDGE EXTENSION
TOWER PLAZA PLAN


DATE: 12/14/15
SHEET: RZN-3
DRAWING: A-STA-DTL-8-051
CONTRACT NO.: 8

[illegible]

Architectural elevation drawing of a transit shelter. The drawing includes the following dimensions and callouts:

- Dimensions:**
 - Overall width: 14'-8"
 - Top section height: 1'-3"
 - Section height: 4'-7"
 - Section height: 1'-3"
 - Section height: 17'-3"
 - Section height: 1'-3"
 - Section height: 7'-6"
 - Section height: 1'-4"
 - Section height: 8'-7"
 - Interior width: 12.83 ft
 - Interior height: 16.73 ft
- Callouts:**
 - EXHAUST FAN (BEYOND)
 - CURVED STANDING SEAM METAL ROOF ON 3" INSULATED METAL DECK
 - ALUMINUM LOUVER WITH BIRD SCREEN
 - INSULATED METAL PANELS
 - ALUMINUM LOUVER WITH BIRD SCREEN
 - 8" ROUND ALUMINUM GUTTER
 - 4" DIA ALUMINUM DOWNSPOUT
 - ALUMINUM CURTAIN WALL
 - METAL PAN STAIR BEYOND
 - GUARD RAIL (BEYOND), ALIGN POSTS WITH MULLIONS
 - 'CATS' LOGO SIGN (BEYOND)
 - STEEL BEAM WITH METAL PANEL CLADDING
 - HSS 14X14 COLUMN WITH METAL PANEL CLADDING
 - LOW-E CLEAR INSULATED GLASS (TYPICAL)
 - STATION ID SIGN
 - BRICK PAVERS
 - PAVER SETTING BED
 - FOR PIT, BEYOND TO STRUCT DWGS)
 - CAMERA (REFER TO CONTRACT TRK/SYS DWGS)
 - STATION ID SIGN
 - LINE OF FLOOR, WALL AND ROOF CONSTRUCTION PEDESTRIAN BRIDGE

SCALE $\frac{1}{4}" = 1'$



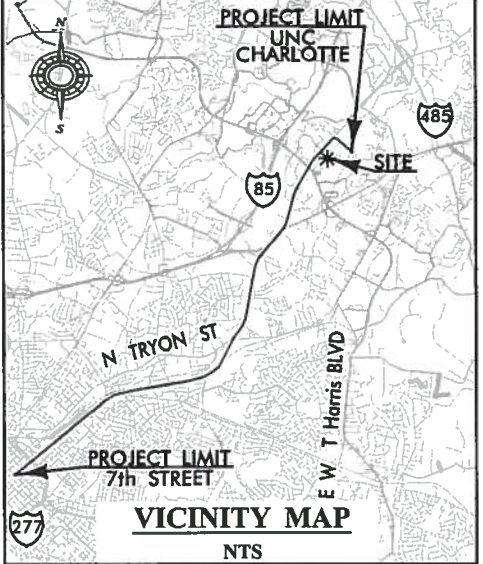
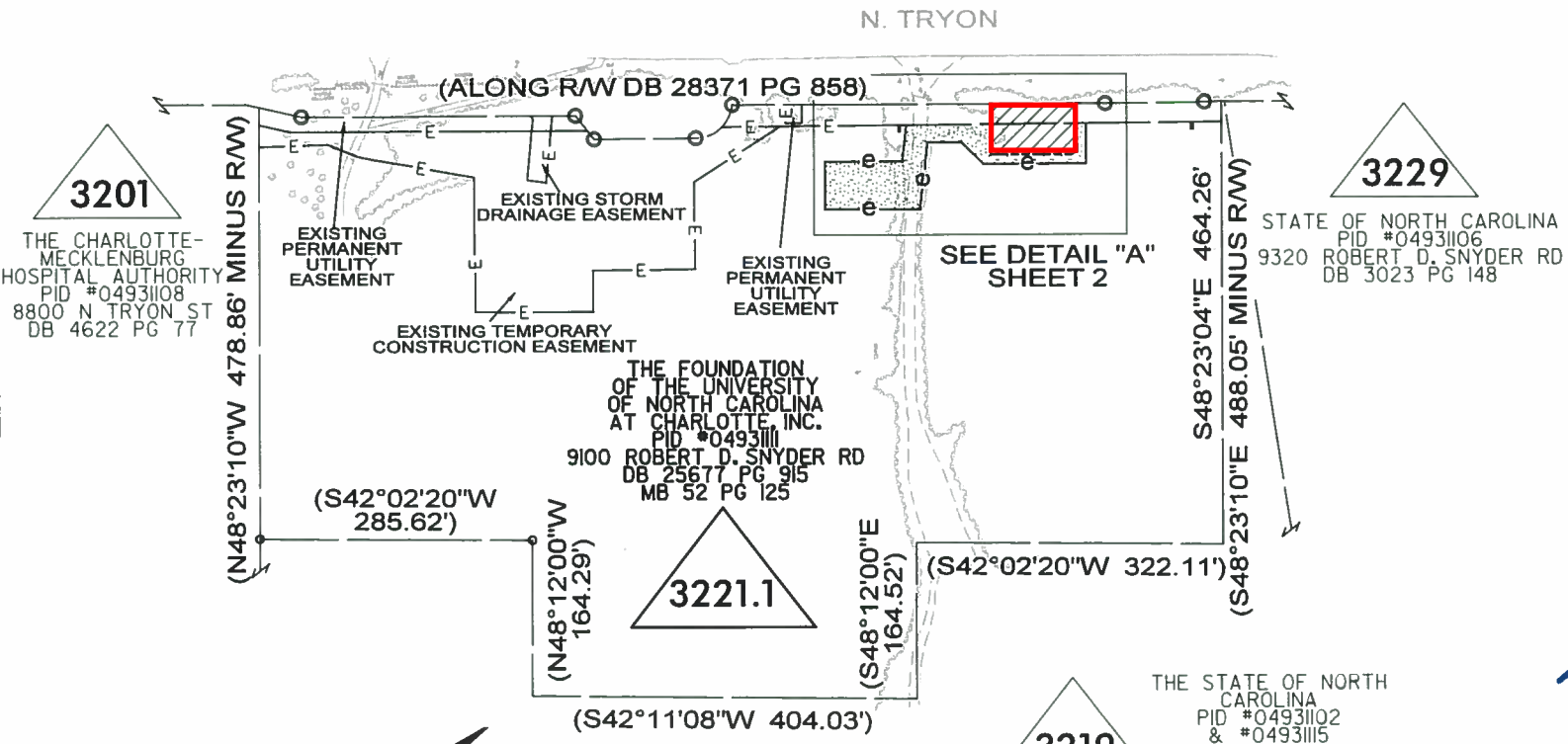
A horizontal scale bar with alternating black and white segments. The segments are labeled 0, 4, 8, 12, and 16, representing feet. The total length of the bar is 16 feet.

DATE:	12/14/15
SHEET:	RZN-5
DRAWING:	A-STA-DTL-8-056
CONTRACT NO.:	8

EXHIBIT A

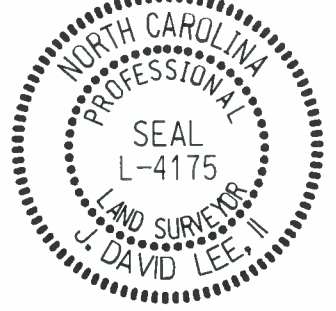
LEGEND

- e— TEMP. CONSTRUCTION EASEMENT LINE
- E— EXISTING EASEMENT LINE
- — — EXIST. PROPERTY LINE
- - - - EASEMENT FOR TRANSIT FACILITIES LINE
- TEMP. CONSTRUCTION EASEMENT
- EASEMENT FOR TRANSIT FACILITIES
- IRON PIN FOUND
- ⊙ #5 REBAR SET



I, J. David Lee II NCPLS L-4175, certify that this plat was drawn under my supervision from an actual survey made under my supervision, and was prepared for the purpose of Right-of-Way and/or Easement Acquisition only, and is not intended to be a boundary survey of property shown.

J. David Lee II 12-10-15
J. David Lee II, NCPLS L-4175



- NOTES:
- 1) BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE BASED ON RECORDED MAP INFORMATION.
 - 2) TOTAL AREA = 521,493 SQ.FT.
 - 3) EASEMENT FOR TRANSIT FACILITIES = 4,770 SQ.FT.
 - 4) TEMPORARY CONSTRUCTION EASEMENT = 9,025 SQ.FT.
 - 5) AREA REMAINING = 521,493 SQ.FT.
 - 6) ALL EXISTING EASEMENTS RECORDED IN DB 28371 PG 858


STATE OF NORTH CAROLINA
COUNTY OF MECKLENBURG

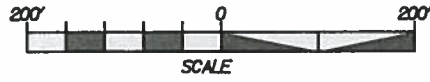
I, _____ REVIEW
OFFICER OF MECKLENBURG COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS ATTACHED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____ DATE _____

PREPARED BY:

MULKEY
ENGINEERS & CONSULTANTS
7500 E. INDEPENDENCE BOULEVARD
SUITE 100
CHARLOTTE, NC 28227
(704) 537-7300
(704) 537-2811 (FAX)
WWW.MULKEYINC.COM

		<u>CHARLOTTE</u> ENGINEERING & PROPERTY MANAGEMENT	
REVISIONS		LYNX Blueline Extension, Northeast Corridor Lightrail Project	PROJECT NO. 512-09-025
			FILE NO.
SCALE 1" = 200'		PROPERTY ACQUISITION (3221.1) OWNER: THE FOUNDATION OF THE UNIVERSITY OF NORTH CAROLINA AT CHARLOTTE, INC. CHARLOTTE, MECKLENBURG CO., NC	SHEET 1
DRAWN BY: CKD			OF 2
DATE: 12/10/15		CHECKED BY: JDL	SURVEY SUPVR.: JDL

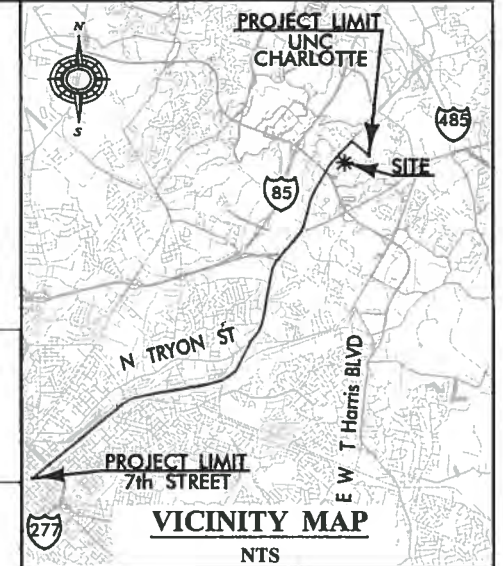
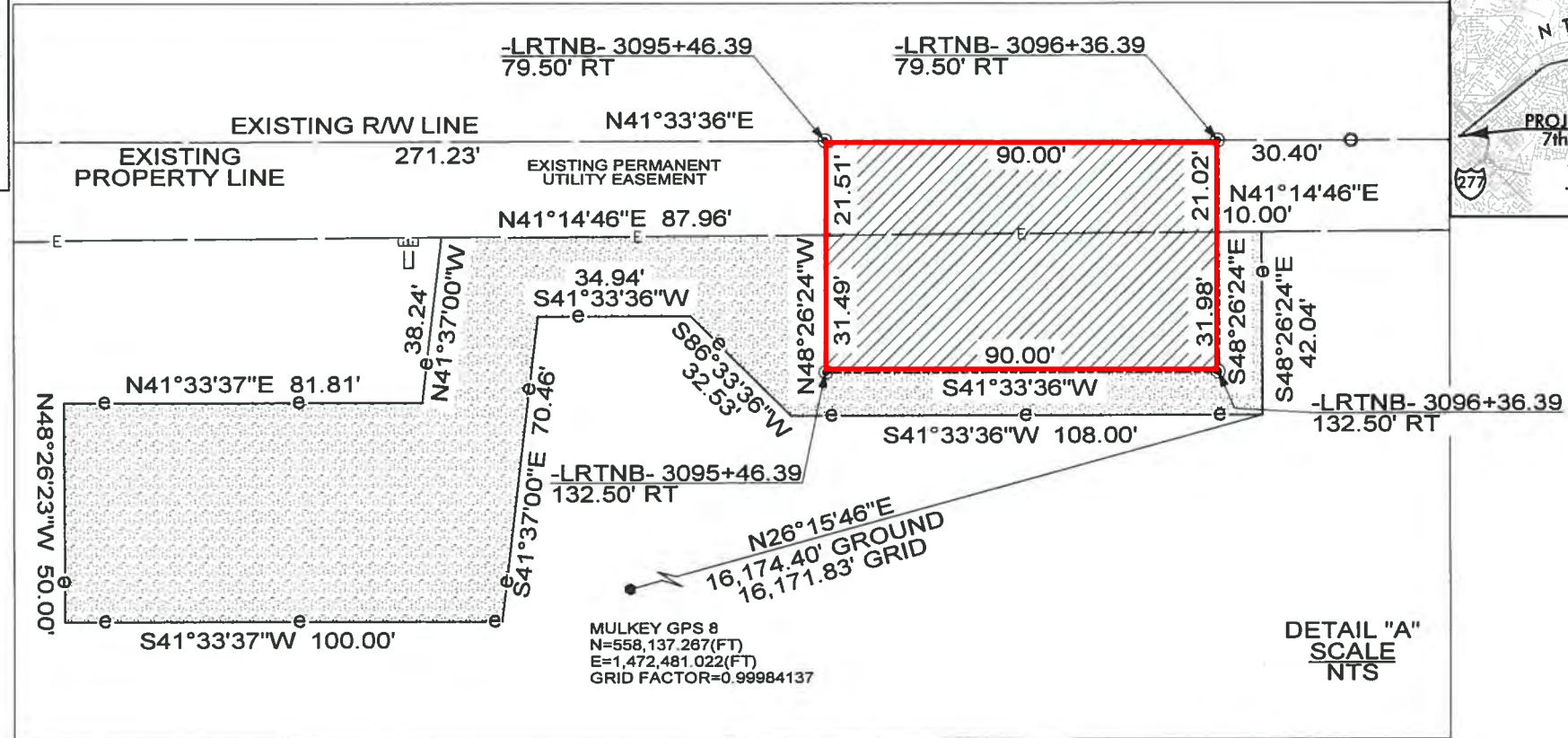
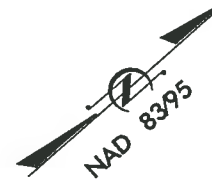


LEGEND

- e— TEMP. CONSTRUCTION EASEMENT LINE
- E— EXISTING EASEMENT LINE
- EXIST. PROPERTY LINE
- - - - EASEMENT FOR TRANSIT FACILITIES LINE
- TEMP. CONSTRUCTION EASEMENT
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- ⊙ #5 REBAR SET

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STATE OF NORTH CAROLINA
COUNTY OF MECKLENBURG

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REVIEW OFFICER

DATE

PREPARED BY:

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CHARLOTTE
ENGINEERING & PROPERTY MANAGEMENT

REVISIONS		LYNX Blueline Extension, Northeast Corridor Lightrail Project		PROJECT NO. 512-09-025
				FILE NO.
SCALE NTS		PROPERTY ACQUISITION (3221.1) OWNER: THE FOUNDATION OF THE UNIVERSITY OF NORTH CAROLINA AT CHARLOTTE, INC.		SHEET 2
DRAWN BY: CKD		CHARLOTTE, MECKLENBURG CO., NC		OF 2
DATE: 12/10/15		CHECKED BY: JDL	SURVEY SUPVR.: JDL	