

- Development Data:**
- Rezoning Site Acreage: 0.11 ACRES
 - Tax Parcels included in Rezoning: 049-31-111
 - Existing Zoning (including overlays and vesting): INST
 - Proposed Zoning (including overlays and vesting): TOD-M [O]
 - Number of Residential Units by Housing Type: N/A
 - Residential Density: N/A
 - Square footage of Non-Residential Uses by Type (retail, office, industrial, etc.): 1090 SF transit stations (rail)
 - Floor Area Ratio: Certain principal uses are exempt from meeting the minimum FAR requirements. Transit stations (rail)
 - Maximum Building Height: 120'
 - Maximum Number of Buildings: N/A
 - Number and/or Ratio of Parking Spaces: N/A
 - Amount of open space: N/A - < 20,000 sf lot
- General Provisions:**
- Development of the site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement, and size of the individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases as allowed under the provisions of Section 6.2 of the Zoning Ordinance.
 - The Petitioner acknowledges that other standard development requirements imposed by other city ordinances, such as those that regulate streets, sidewalks, trees, bicycle parking, and site development, may apply to the development of this site. These are not zoning regulations, are not administered by the Zoning Administrator, and are not separate zoning conditions imposed by this site plans, unless specifically noted in the conditions for this site plan. These other standard development requirements will be applied to the development of this site as defined by those other City Ordinances.
 - Throughout this rezoning petition, the terms "Owner", "Owners", "Petitioner", or "Petitioners" shall, with respect to the site, be deemed to include the heirs, devisees, personal representatives, successors in interest and assignees of the owner or owners of the site who may be involved in its development from time to time.
- Purpose:**
- The purpose of this rezoning application is to allow signage to exceed TOD allowable area. The signage will serve as a wayfinding and identification tool directing pedestrians between Carolinas Medical Center (University), UNC Charlotte and the JW Clay/UNC Charlotte light rail station.
- Optional Provisions:**
- Section 9.1207(7a), option to exceed TOD allowable area to 220 max square footage per building face with a total of 3 signs.
- Permitted uses:**
- Allowed uses or prohibited uses: Transit stations and associated parking facilities
 - Other Use Restrictions: The sign, banner, flags, and pennant requirements of Section 9.1209(7) shall apply.
 - Required setbacks and yards that have been met per Sheet RZN-2:
 - Minimum Front Setback = 24'
 - Minimum Side and Rear Yards = 5'
 - The urban design standards of Section 9.1209(1) through (4) shall apply to the new façade improvements. See Sheet RZN-4 for more information.
- Transportation:**
- Dedication and reservation of street right-of-way to City/NCDOT. See Sheet RZN-1 and 2 for more information.
- Architectural Standards:**
- Building Materials: Curtain wall, standing seam roof, steel framing
 - Building Scale: See Sheet RZN-3
 - Treatment of urban design and architectural elements, such as street walls, building entrances, canopies and balconies: See Sheet RZN-3
 - Fence/Wall standards: N/A
- Streetscape and Landscaping:**
- Streetscape (sidewalk and planting strip) standards: Streetscape along N. Tryon Street has been upgraded as part of the Blue Line Extension project.
 - Special landscape, buffer, screening treatment: Perimeter plantings are not desired in this location to provide pedestrian view and access on all sides of facility.
- Environmental Features:**
- Tree save areas: N/A
 - Environmental provisions per Environmental General Development Policies (reference the EGDP in packet): N/A
- Parks, Greenways, and Open Space:**
- Reservation/Dedication of park and/or greenway: N/A
 - Park and/or greenway improvements: N/A
 - Connections to park and/or greenway: N/A
 - Privately constructed open space: N/A
- Fire Protection:**
- Fire lane treatment: N/A
- Signage:**
- Sign limitations - size, type, location if different from ordinance requirements: Permanent Fritted sign to be provided within the glass on two sides (North and South) of the tower. See Sheet RZN-4 and 5.
- Lighting:**
- See Sheet RZN-3 for more lighting information.
- Phasing:**
- Development phasing by use, area and/or square footage and trigger for each phase: N/A
- Other:**
- No request for right-of-way abandonment or a variance has been submitted for the subject property.
 - Property corner tie points for mapping: See Sheet RZN-1 and 2.
 - Public facilities/sites to be provided:
 - Provision of public art: Provided as part of overall BLE project.
 - Undergrounding of utilities: Utilities are located underground.

NO.	DATE	REVISION	BY	DWN	CHK	APR



STV / Ralph Whitehead Associates, Inc.
900 West Trade St., Ste. 715
Charlotte, NC 28202
NC License Number F-0991

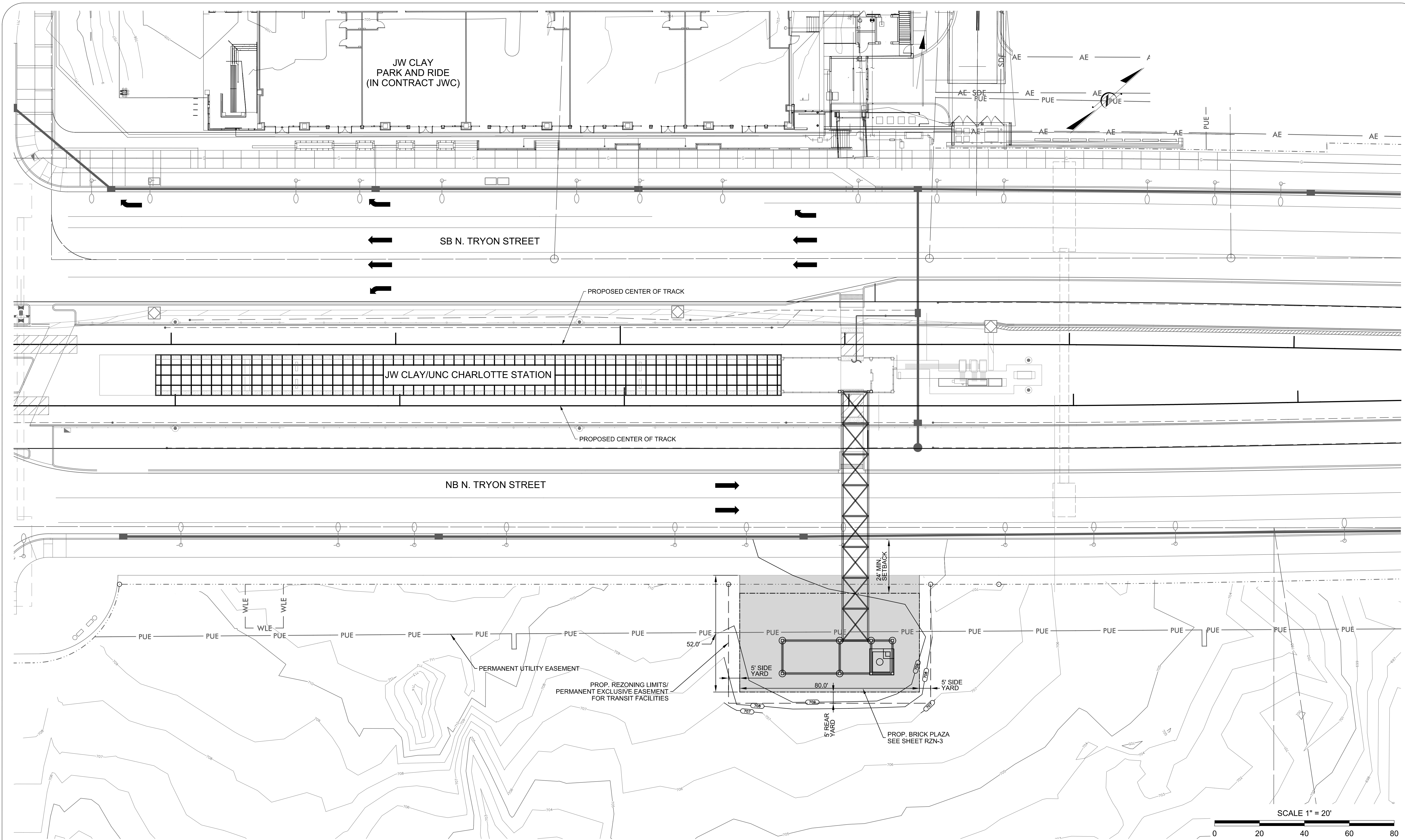


CATS
CHARLOTTE AREA TRANSIT SYSTEM

PREPARED BY:	RDM
DRAWN BY:	RDM
CHECKED BY:	MBE
APPROVED BY:	GRS

LYNX BLUE LINE EXTENSION
NORTHEAST CORRIDOR LIGHT RAIL PROJECT
J.W. CLAY BOULEVARD PARKING GARAGE
SIGN EXHIBIT

DATE:	2/12/16
SHEET:	RZN-1
DRAWING:	C-RZN-EXT-8-001
CONTRACT NO.:	8



NO.	DATE	REVISION	BY	DWN	CHK	APR

2/11/2016 10:15:07 AM N:\PROJ\2515626\CADD\Design\CIV\WRK\CIV\MBE\JWC Ext\Rezoning\C-RZN-EXT-8-002.dgn



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Charlotte, NC 28202
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**LYNX BLUE LINE EXTENSION
NORTHEAST CORRIDOR LIGHT RAIL PROJECT**

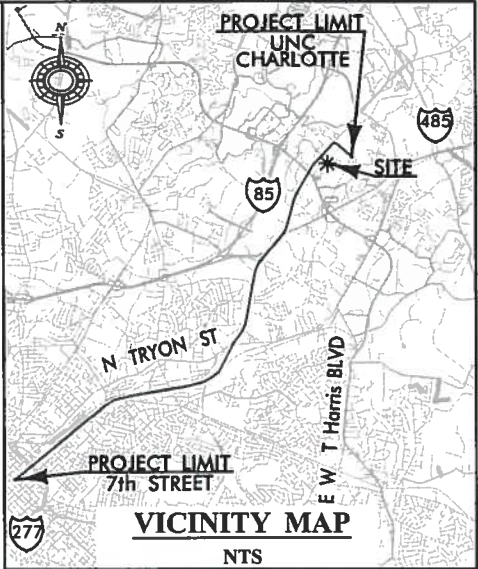
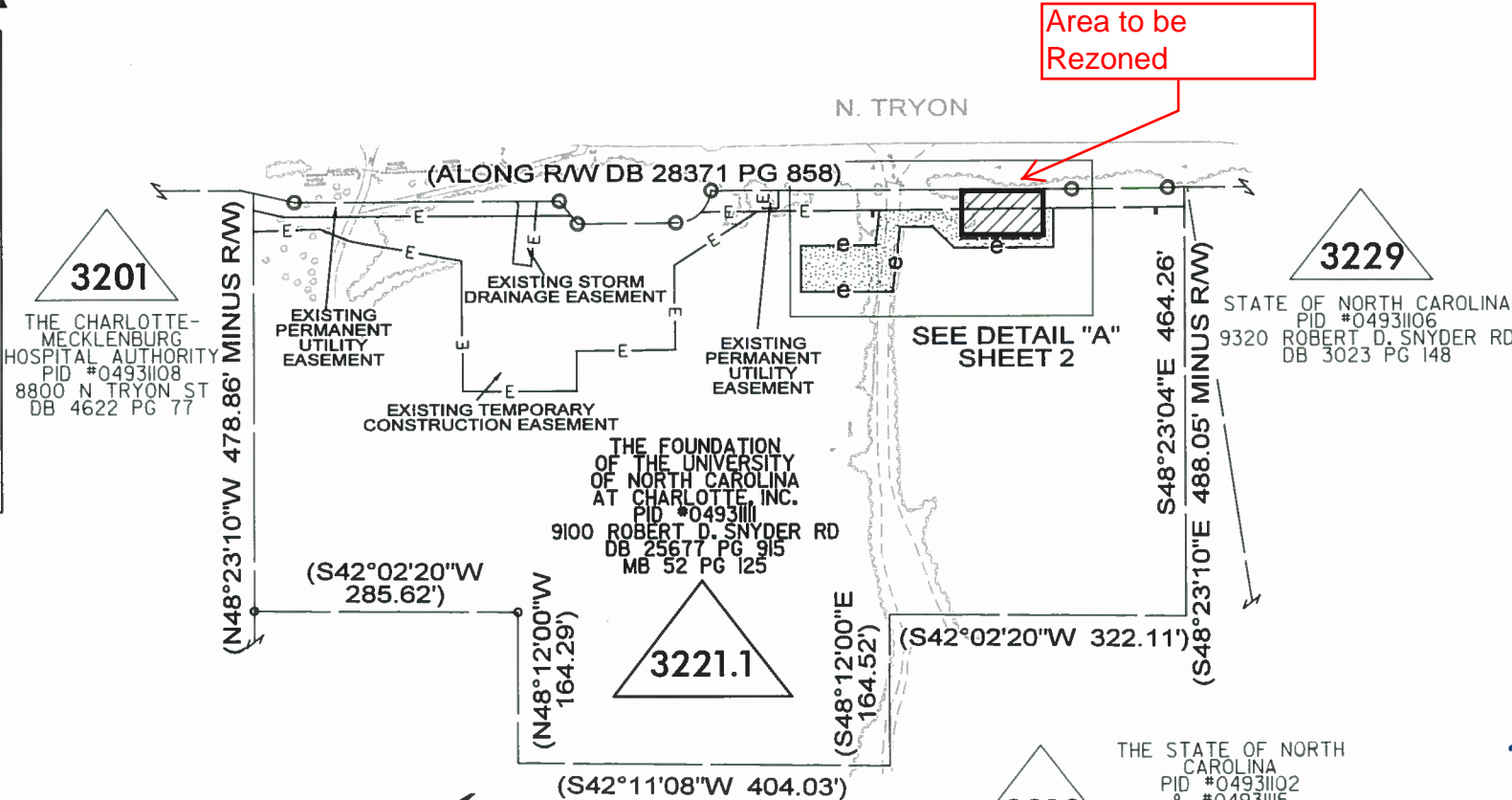
PARKING GARAGES - JWC
PEDESTRIAN BRIDGE EXTENSION
REZONING SITE PLAN

DATE: 2/12/16
SHEET: RZN-2
DRAWING: C-RZN-EXT-8-002
CONTRACT NO.: 8

EXHIBIT A

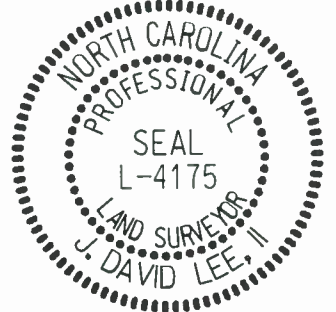
LEGEND

- e— TEMP. CONSTRUCTION EASEMENT LINE
- E— EXISTING EASEMENT LINE
- EXIST. PROPERTY LINE
- - - EASEMENT FOR TRANSIT FACILITIES LINE
- TEMP. CONSTRUCTION EASEMENT
- EASEMENT FOR TRANSIT FACILITIES
- IRON PIN FOUND
- ⊙ #5 REBAR SET



I, J. David Lee II NCPLS L-4175, certify that this plat was drawn under my supervision from an actual survey made under my supervision, and was prepared for the purpose of Right-of-Way and/or Easement Acquisition only, and is not intended to be a boundary survey of property shown.

J. David Lee II, NCPLS L-4175



- NOTES:
- 1) BEARINGS AND DISTANCES SHOWN IN PARENTHESIS ARE BASED ON RECORDED MAP INFORMATION.
 - 2) TOTAL AREA = 521,493 SQ.FT.
 - 3) EASEMENT FOR TRANSIT FACILITIES = 4,770 SQ.FT.
 - 4) TEMPORARY CONSTRUCTION EASEMENT = 9,025 SQ.FT.
 - 5) AREA REMAINING = 521,493 SQ.FT.
 - 6) ALL EXISTING EASEMENTS RECORDED IN DB 28371 PG 858


STATE OF NORTH CAROLINA
COUNTY OF MECKLENBURG

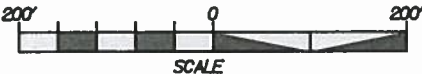
I, _____ REVIEW
OFFICER OF MECKLENBURG COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS ATTACHED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER _____ DATE _____



PREPARED BY:

MULKEY
ENGINEERS & CONSULTANTS
7500 E. INDEPENDENCE BOULEVARD
SUITE 100
CHARLOTTE, NC 28227
(704) 537-7300
(704) 537-2811 (FAX)
WWW.MULKEYINC.COM

		<u>CHARLOTTE</u> ENGINEERING & PROPERTY MANAGEMENT	
REVISIONS		LYNX Blueline Extension, Northeast Corridor Lightrail Project	PROJECT NO. 512-09-025
			FILE NO.
SCALE 1" = 200'		PROPERTY ACQUISITION (3221.1) OWNER: THE FOUNDATION OF THE UNIVERSITY OF NORTH CAROLINA AT CHARLOTTE, INC. CHARLOTTE, MECKLENBURG CO., NC	SHEET 1
DRAWN BY: CKD			OF 2
DATE: 12/10/15		CHECKED BY: JDL	SURVEY SUPVR.: JDL

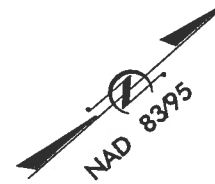


LEGEND

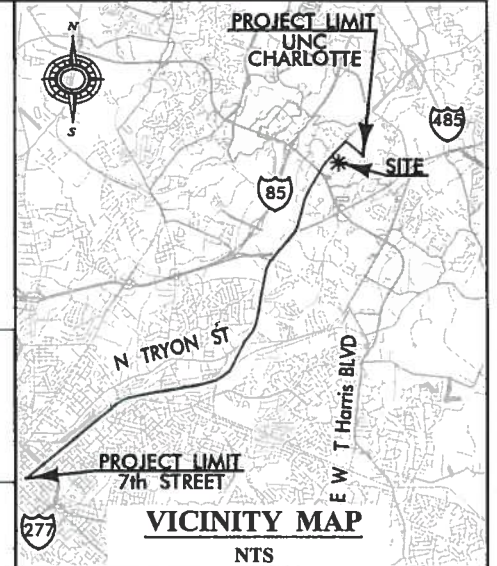
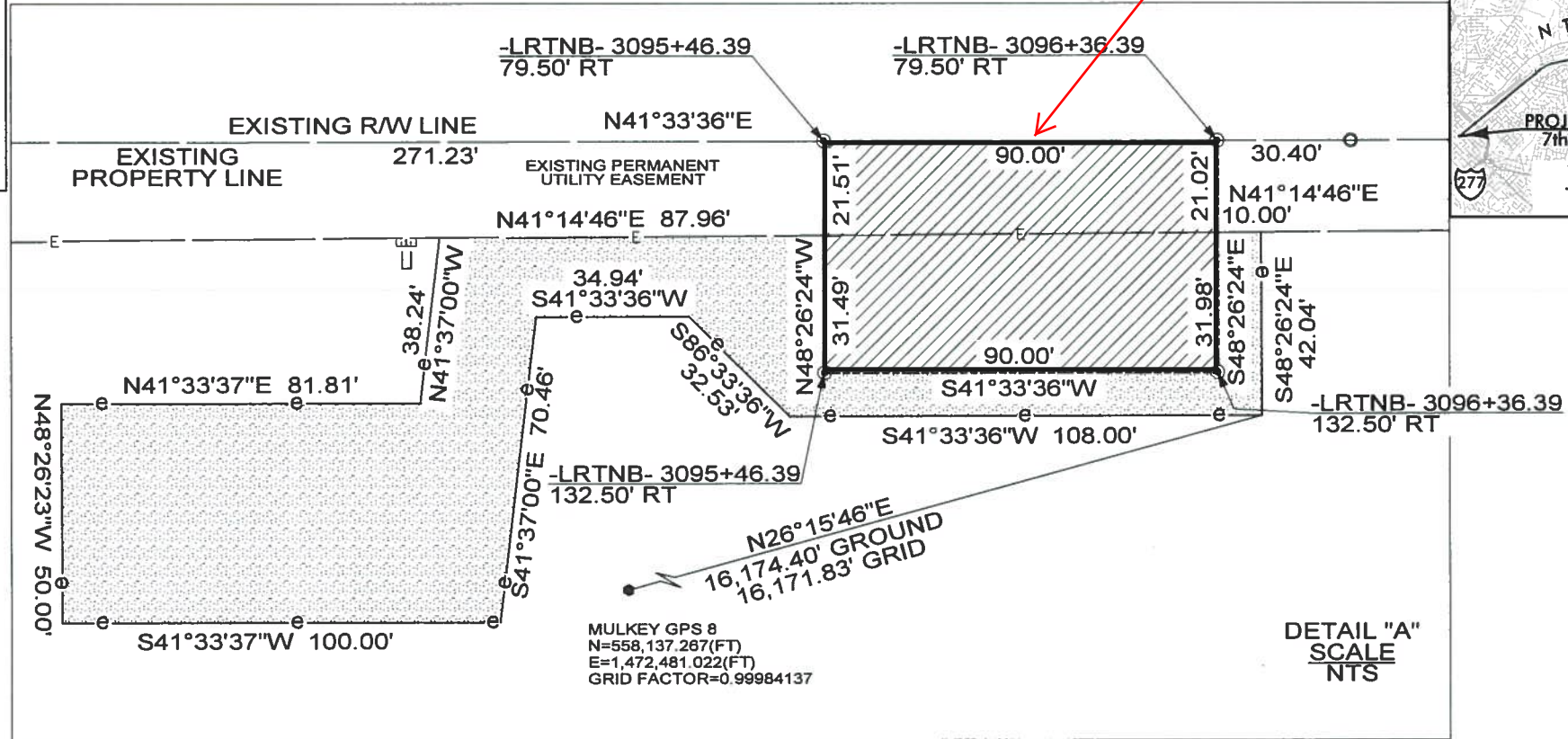
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J. David Lee II 12-10-15
J. David Lee II, NCPLS L-4175



Area to be
Rezoned



STATE OF NORTH CAROLINA
COUNTY OF MECKLENBURG

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OFFICER OF MECKLENBURG COUNTY, CERTIFY
THAT THE MAP OR PLAT TO WHICH THIS
CERTIFICATION IS ATTACHED MEETS ALL
STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER

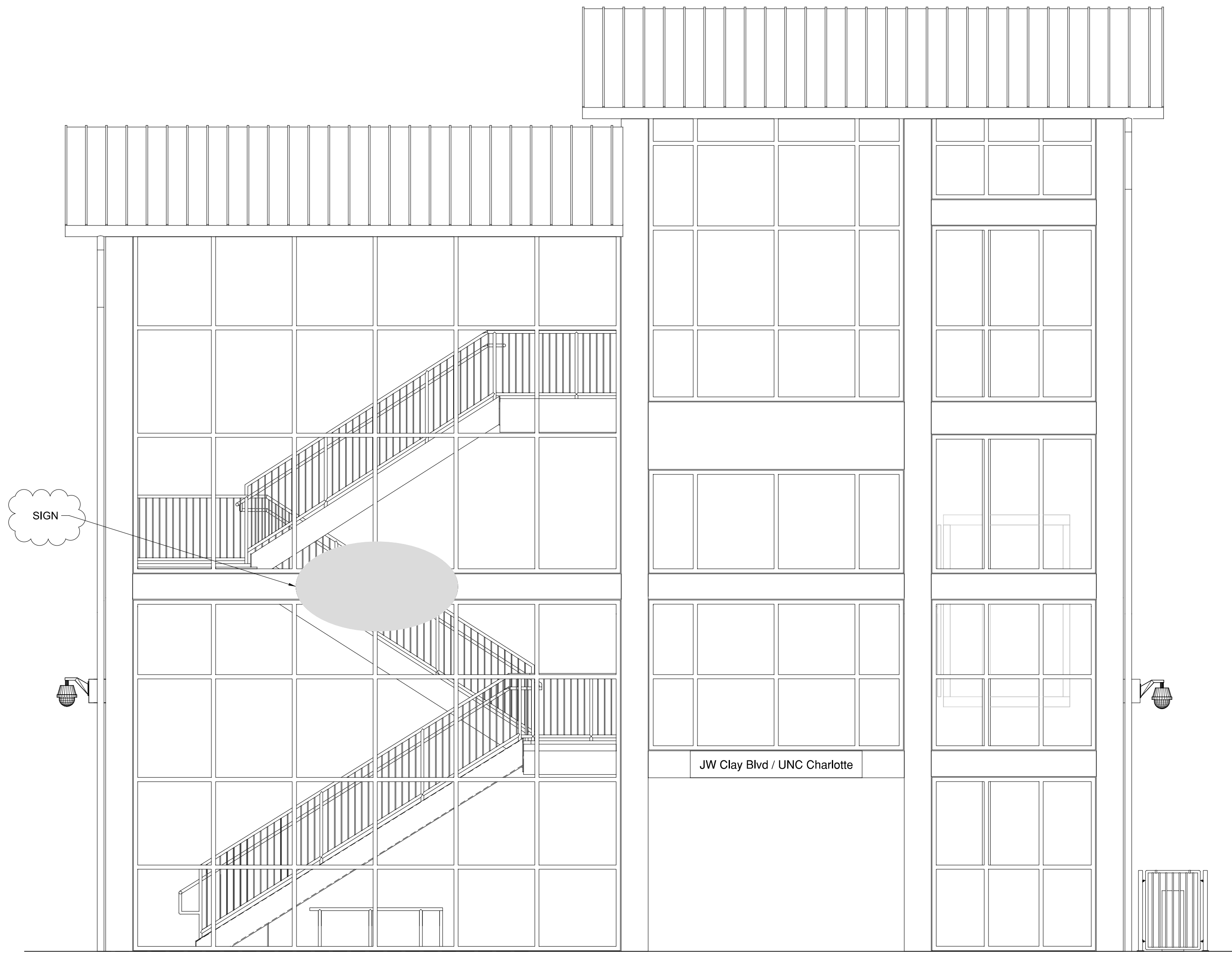
DATE

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7500 E. INDEPENDENCE BOULEVARD
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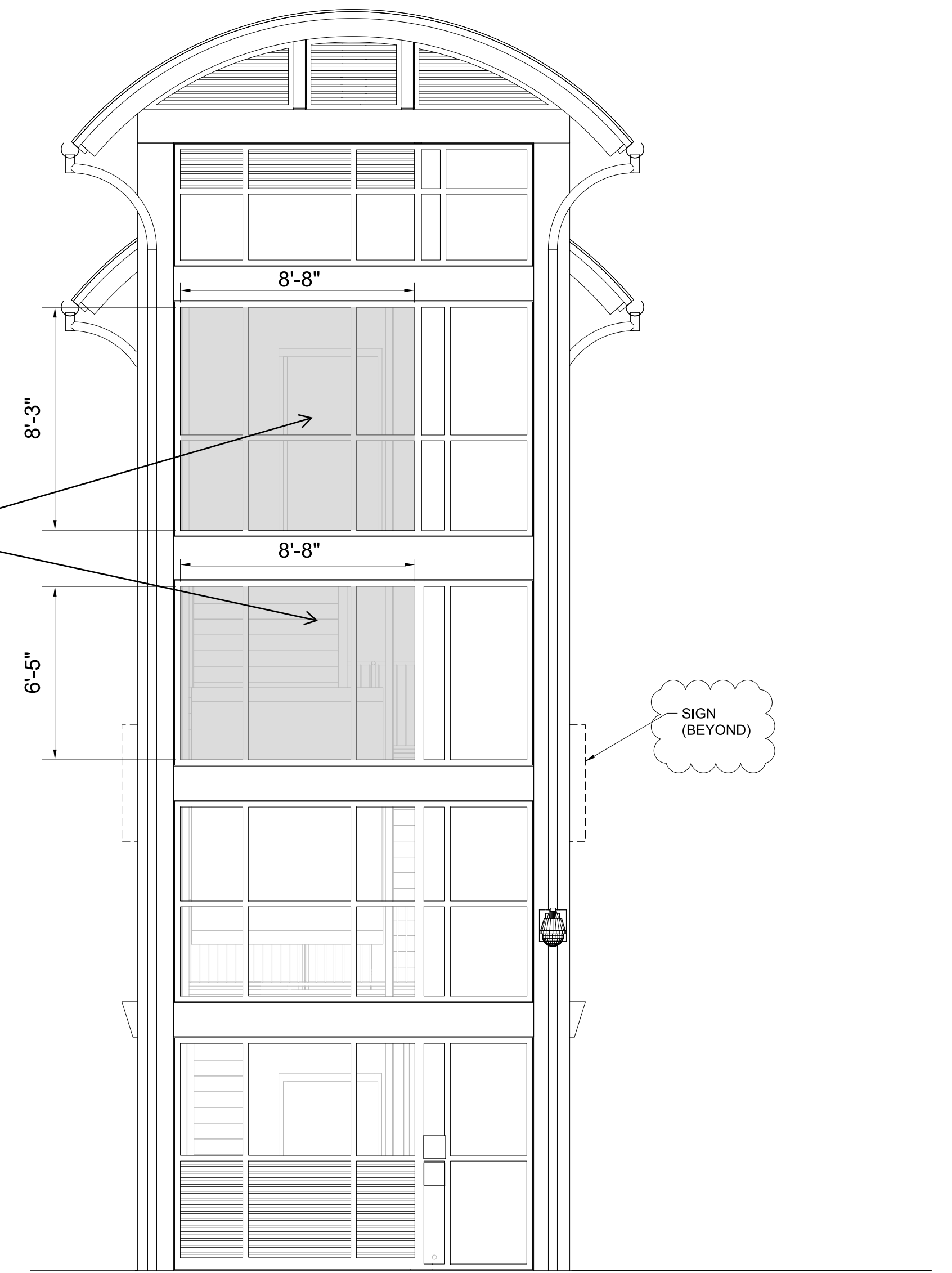
CHARLOTTE
ENGINEERING & PROPERTY MANAGEMENT

REVISIONS		LYNX Blueline Extension, Northeast Corridor Lightrail Project		PROJECT NO. 512-09-025
				FILE NO.
SCALE NTS		PROPERTY ACQUISITION (3221.1) OWNER: THE FOUNDATION OF THE UNIVERSITY OF NORTH CAROLINA AT CHARLOTTE, INC. CHARLOTTE, MECKLENBURG CO., NC		SHEET 2
DRAWN BY: CKD				OF 2
DATE: 12/10/15		CHECKED BY: JDL	SURVEY SUPR.: JDL	



EAST ELEVATION

GRAY SHADING
INDICATES POTENTIAL
SIGNAGE LOCATION
WITHIN GLAZING. TOTAL
SQUARE FOOTAGE NOT
TO EXCEED 120 SF.



NORTH ELEVATION

NO.	DATE	REVISION	BY	DWN	CHK	APR



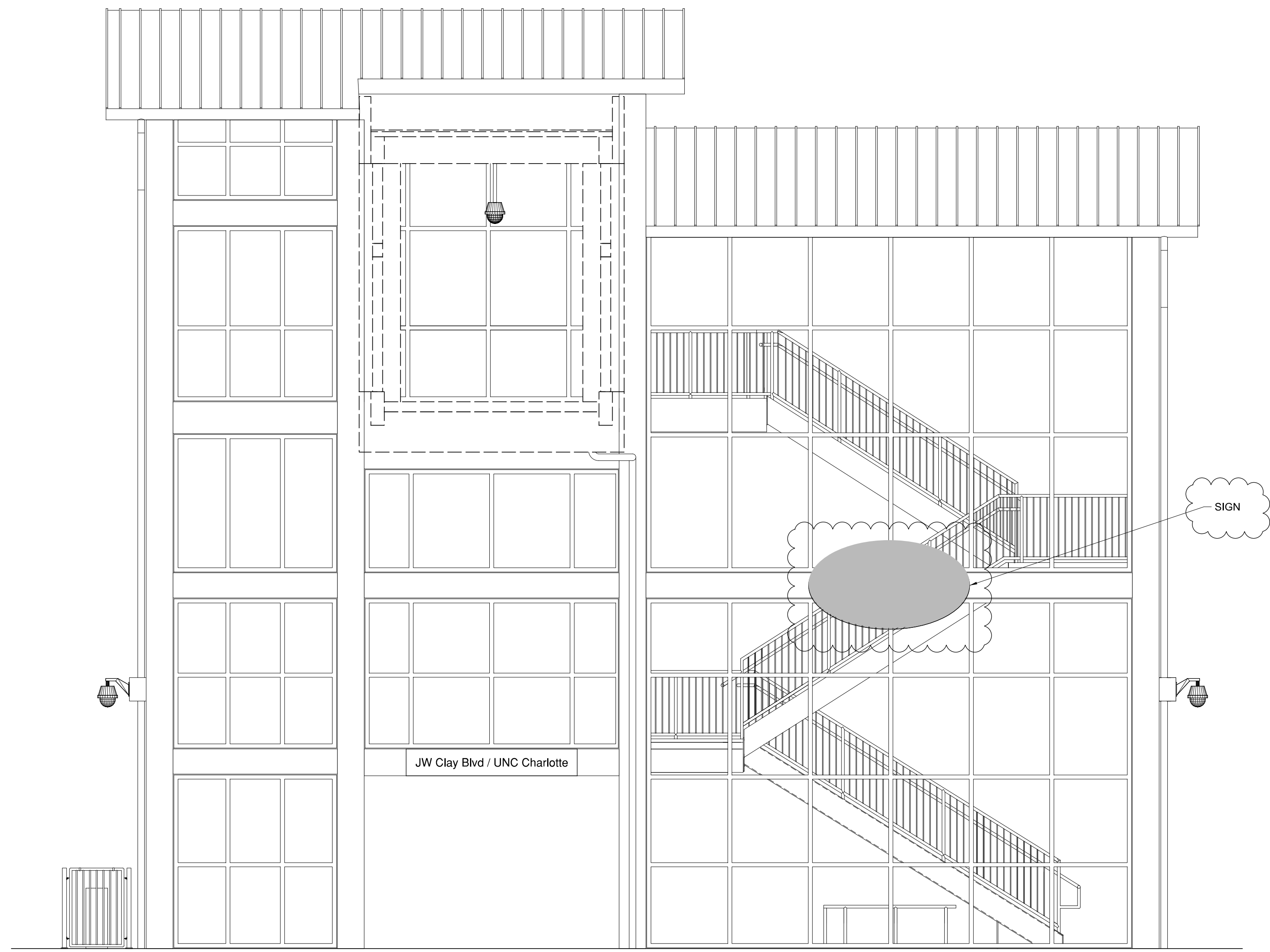
STV Architects, Inc.
900 West Trade St., Ste 715
Charlotte, NC 28202
NC License Number - 51843



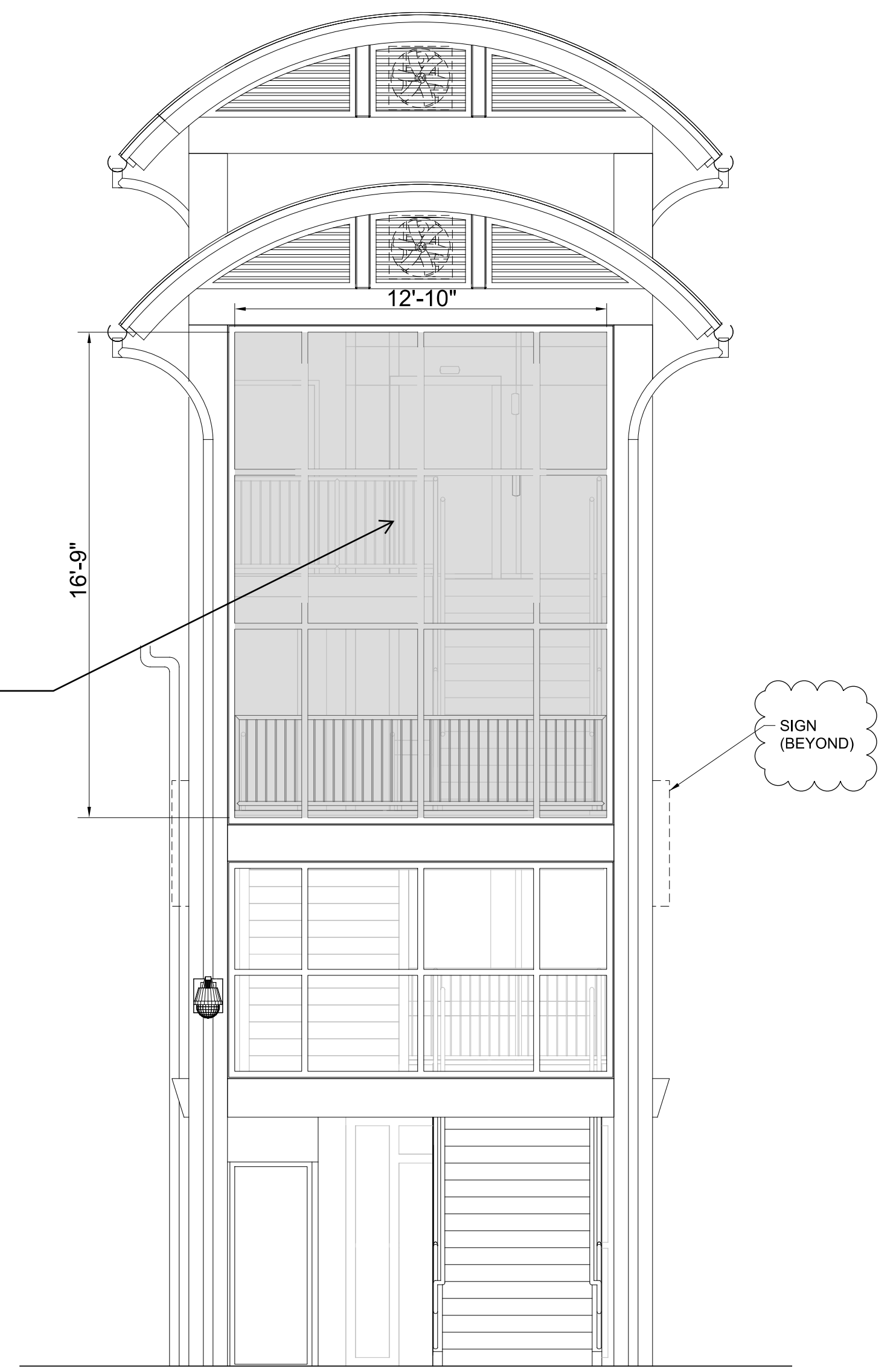
PREPARED BY:	KLB
DRAWN BY:	CDB
CHECKED BY:	HDS
APPROVED BY:	GRS

LYNX BLUE LINE EXTENSION
NORTHEAST CORRIDOR LIGHT RAIL PROJECT
J.W. CLAY BOULEVARD PARKING GARAGE
SIGN EXHIBIT

DATE:	2/12/16
SHEET:	RZN-3
DRAWING:	A-STA-DTL-8-055
CONTRACT NO.:	8



WEST ELEVATION



SOUTH ELEVATION

NO.	DATE	REVISION	BY	DWN	CHK	APR



STV Architects, Inc.
900 West Trade St., Ste 715
Charlotte, NC 28202
NC License Number - 51843



PREPARED BY:	KLB
DRAWN BY:	CDB
CHECKED BY:	HDS
APPROVED BY:	GRS

LYNX BLUE LINE EXTENSION
NORTHEAST CORRIDOR LIGHT RAIL PROJECT
J.W. CLAY BOULEVARD PARKING GARAGE
SIGN EXHIBIT

DATE:	2/12/16
SHEET:	RZN-4
DRAWING:	A-STA-DTL-8-056
CONTRACT NO.:	8