

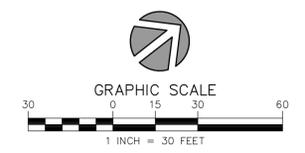
DEVELOPMENT SUMMARY	
TAX PARCEL ID #:	12107605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616
TOTAL SITE AREA:	± 2.71 ACRES
ZONING:	
EXISTING:	B-2 and R-5
PROPOSED:	UR-3(CD)
SETBACK:	14' FROM BOC OR AS DEPICTED ON PLAN
SF LOT REQUIREMENTS:	
SIDE YARD:	5'
REAR YARD:	20'
MIN. LOT SIZE:	3,000 SF
MIN. LOT WIDTH:	20'
TOTAL UNITS:	
MULTI-FAMILY BLDG:	48 UNITS MAX.
QUADPLEX:	4 UNITS
TOTAL SF LOTS:	10 LOTS
VEHICULAR PARKING:	
REQUIRED:	
MULTI-FAMILY (1/UNIT)	48
SF HOME(1/UNIT)	10
QUADPLEX (1/UNIT)	4
TOTAL:	62 SPACES
PROPOSED:	
MULTI-FAMILY (STRUCTURED)	57
SFH (IN GARAGE)	20
QUADPLEX (IN GARAGE/SURFACE)	6
SURFACE SPACES	13
ON-STREET	32
TOTAL	128 SPACES



Rockwell Capital, LLC  
 PO Box 221497  
 Charlotte, North Carolina 28222

DILWORTH SOUTH  
 Rezoning Site Plan  
 Charlotte, North Carolina

NO.	DATE	BY:	REVISIONS:
1	11.15.16	UDP	PER STAFF COMMENTS
2	3.24.16	UDP	PER STAFF & NEIGHBOR COMMENTS
3	4.7.16	UDP	PER STAFF COMMENTS



REZONING PETITION #2016-017

Project No: 15-065  
 Date: 11.02.2015  
 Designed by: udp  
 Drawn By: udp  
 Scale: 1"=30'  
 Sheet No:

RZ-1



**URBAN  
DESIGN  
PARTNERS**

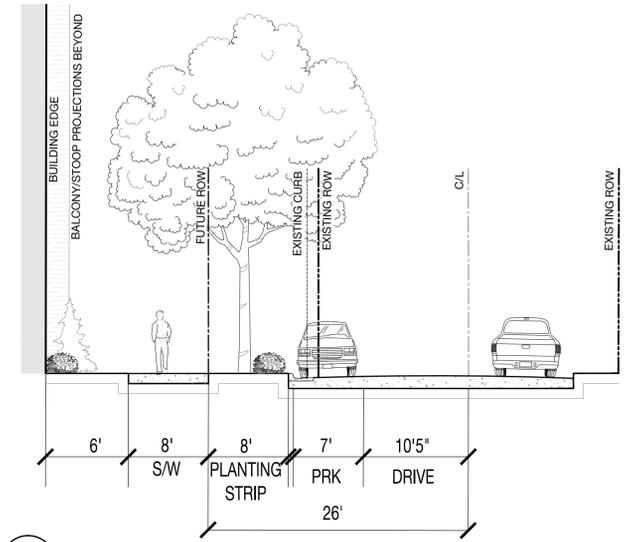
1318-e6 central ave. # 704-334-3303  
charlotte, nc 28205 # 704-334-3305  
urbandesignpartners.com

Rockwell Capital, LLC

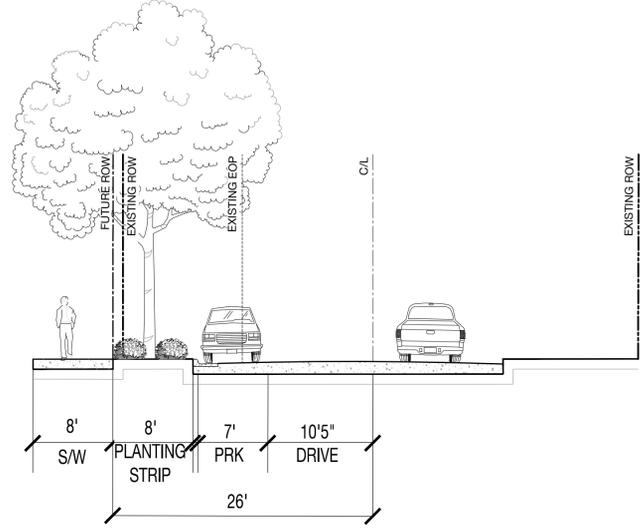
PO Box 221497  
Charlotte, North Carolina 28222

**DILWORTH SOUTH**

**Street Sections**  
Charlotte, North Carolina

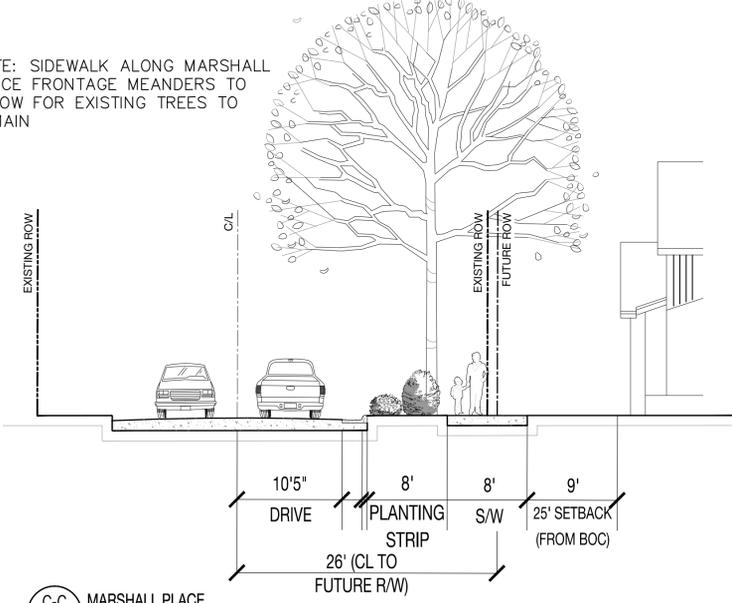


**A-A** EUCLID AVE.  
PROPOSED STREET SECTION



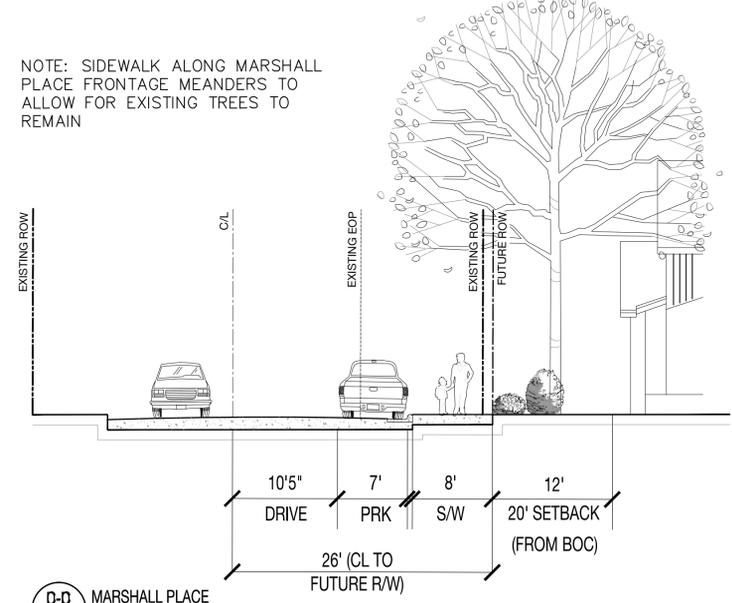
**B-B** ATHERTON ST.  
PROPOSED STREET SECTION

NOTE: SIDEWALK ALONG MARSHALL PLACE FRONTAGE MEANDERS TO ALLOW FOR EXISTING TREES TO REMAIN



**C-C** MARSHALL PLACE  
PROPOSED STREET SECTION

NOTE: SIDEWALK ALONG MARSHALL PLACE FRONTAGE MEANDERS TO ALLOW FOR EXISTING TREES TO REMAIN



**D-D** MARSHALL PLACE  
PROPOSED STREET SECTION

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3	4.7.16	UDP	PER STAFF COMMENTS

Project No: 15-065  
Date: 11.02.2015  
Designed by: udp  
Drawn By: udp  
Scale: NTS  
Sheet No:

**RZ-2**



**URBAN  
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PARTNERS**

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**DILWORTH SOUTH**

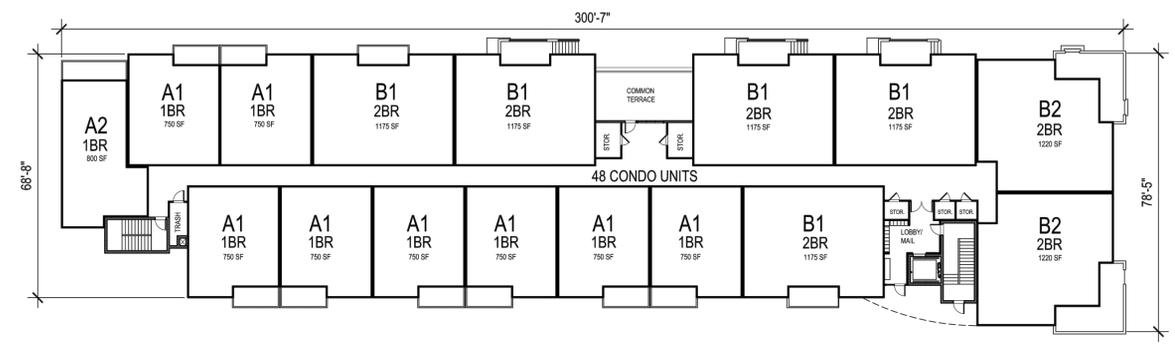
**Architectural Illustrations (Condo)**  
Charlotte, North Carolina

NO.	DATE	BY:	REVISIONS:
1	1-15-16	UDP	PER STAFF COMMENTS
2	3-24-16	UDP	PER STAFF & NEIGHBOR COMMENTS
3	4-7-16	UDP	PER STAFF COMMENTS

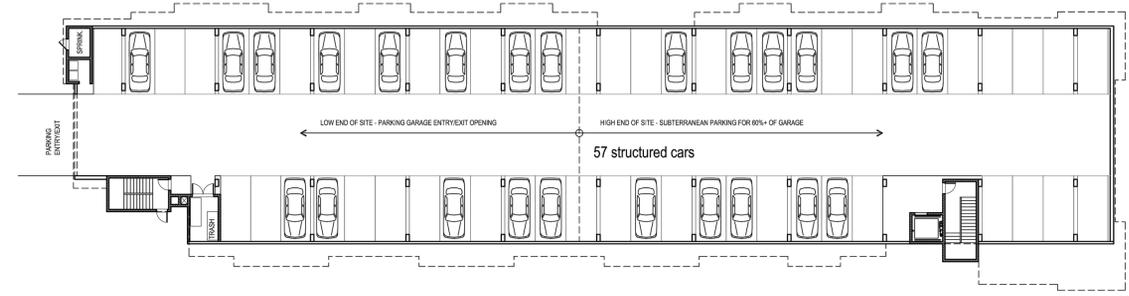
Project No: 15-065  
 Date: 11.02.2015  
 Designed by: udp  
 Drawn By: udp  
 Scale: NTS  
 Sheet No:

**RZ-3**

REZONING PETITION #2016-017



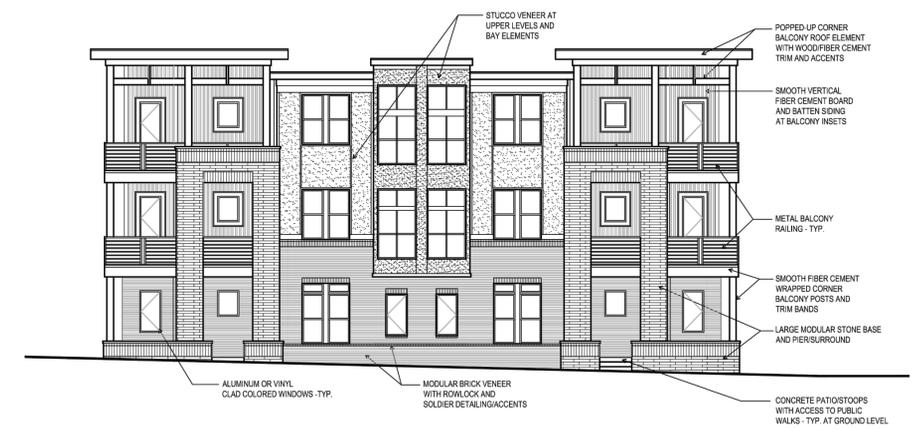
PROPOSED CONDOMINIUM FIRST FLOOR PLAN (CONCEPTUAL ONLY)



PROPOSED CONDOMINIUM PARKING LEVEL (CONCEPTUAL ONLY)



PROPOSED CONDOMINIUM ELEVATION: EUCLID AVENUE



PROPOSED CONDOMINIUM ELEVATION: ATHERTON STREET



SINGLE FAMILY ELEVATION - OPTION 1



SINGLE FAMILY ELEVATION - OPTION 2



SINGLE FAMILY ELEVATION - OPTION 3



SINGLE FAMILY ELEVATION - OPTION 4



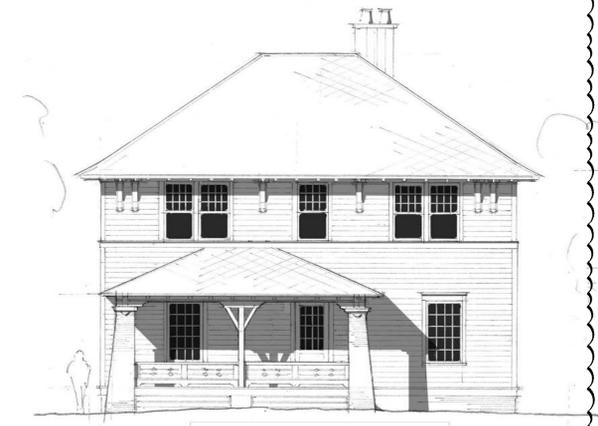
SINGLE FAMILY ELEVATION - OPTION 5



SINGLE FAMILY ELEVATION - OPTION 6



SINGLE FAMILY ELEVATION - OPTION 7



SINGLE FAMILY ELEVATION - OPTION 8



SINGLE FAMILY ELEVATION - OPTION 9



SINGLE FAMILY ELEVATION - OPTION 10



QUADRUPLIX ELEVATION



URBAN  
DESIGN  
PARTNERS

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DILWORTH SOUTH

Architectural Character Studies  
Charlotte, North Carolina

NO.	DATE	BY	REVISIONS:
1	1-15-16	UDP	PER STAFF COMMENTS
2	3-24-16	UDP	PER STAFF & NEIGHBOR COMMENTS
3	4-7-16	UDP	PER STAFF COMMENTS

Project No: 15-065  
 Date: 11.02.2015  
 Designed by: udp  
 Drawn By: udp  
 Scale: NTS  
 Sheet No:

RZ-4

REZONING PETITION #2016-017



PERSPECTIVE FROM EUCLID AVENUE / ATHERTON STREET



**URBAN  
DESIGN  
PARTNERS**

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**DILWORTH SOUTH**

**Site Perspectives**  
Charlotte, North Carolina

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3	4.7.16	UDP	PER STAFF COMMENTS

Project No: 15-065  
Date: 11.02.2015  
Designed by: udp  
Drawn By: udp  
Scale: NTS  
Sheet No:

**RZ-5**

