

LEGEND:

A - Arc Length
B - Chord Bearing
C - Chord Length
CB - Catch Basin
C.C. - Curb Cut
CI - Curb Inlet
C&G - Curb & Gutter
CO - Clean Out
CONC - Concrete
DB - Deed Book
EB - Electric Box
EM - Electric Meter
EIP - Existing Iron Pipe
EIR - Existing Iron Rod
EN - Existing Nail
ESMT - Easement
FH - Fire Hydrant
G - Gutter
GM - Gas Meter
GP - Gate Post
GV - Gas Valve
GW - Guy Wire
L - Arc Length
LP - Light Pole
OHANG - Overhang
PIN - Parcel Identification Number
PB - Plat Book
PG - Page
R - Radius
R - Recorded
PVC - Plastic Pipe
R/W - Right-Of-Way
RCP - Reinforced Concrete Pipe
SMH - Storm Drain Manhole
SSMH - Sanitary Sewer Manhole
(T) - Total
TB - Telephone Box
TC - Top Of Curb
TCB - Traffic Control Box
TKR - Terra-cotta Pipe
TMH - Telephone Manhole
TS - Traffic Sign
TSP - Traffic Signal Post
UB - Utility Box
UP - Utility Pole (Power)
UPL - Utility Pole (Light)
UPT - Utility Pole (Transformer)
WB - Water Box
WM - Water Meter
WMH - Water Manhole
WS - Water Valve

TREE LEGEND:

BCH - BEECH
BRC - BIRCH
BRAD - BRADFORD PEAR
CED - CEDAR
CHY - CHERRY
CRP - CREPE MYRTLE
DOW - DOGWOOD
HIC - HICKORY
HOL - HOLLY
LOC - LOCUST
MAG - MAGNOLIA
MAP - MAPLE
PEC - PECAN
PIN - PINE
POP - POPLAR
SYC - SYCAMORE
WLN - WALNUT
WLC - WILD CHERRY

LINE LEGEND:

EASEMENT
FENCE
GUARD RAIL
PROPERTY LINE
PROPERTY LINE (NOT SURVEYED)
RIGHT-OF-WAY
RIGHT-OF-WAY (NOT SURVEYED)
SETBACK
CABLE TV LINE
FIBER OPTIC LINE
GAS LINE
POWER LINE (UNDERGROUND)
SANITARY SEWER PIPE
STORM DRAIN PIPE
STORM DRAIN PIPE > 12"
TELEPHONE LINE
TELEPHONE LINE (UNDERGROUND)
WATER LINE
WOOD FENCE

PARKING:

NO MARKED PARKING EXISTS ON
SUBJECT PROPERTY

CHICAGO TITLE INSURANCE COMPANY

COMMITMENT NO. 15-23796WS, EFFECTIVE DATE: NOVEMBER 6, 2015
SCHEDULE B - II (EXCEPTIONS)

1. & 2. (NOT A SURVEY MATTER)

3. EASEMENT(S) TO DEPARTMENT OF TRANSPORTATION RECORDED IN:
BOOK 5208, PAGE 512 & BOOK 5210, PAGE 863 (R/W TAKING FOR W. MALLARD CREEK CHURCH ROAD, RELATES TO
DOT PROJ. 9.8109086) AND LIES WITHIN R/W TAKING BY DOT PROJ. 9.8109086;
BOOK 6167, PAGE 680 (R/W TAKING FOR W. MALLARD CREEK CHURCH ROAD, RELATES TO DOT PROJ. 9.8109086,
PLOTTED AS SHOWN HEREON); AND
BOOK 6169, PAGE 587 (PLOTTED AS SHOWN HEREON)

4. EASEMENT(S) TO CITY OF CHARLOTTE RECORDED IN BOOK 10022, PAGE 494. (PLOTTED AS SHOWN HEREON)

5. TITLE TO ANY PORTION OF THE LAND LYING WITHIN THE RIGHT OF WAY OF WEST MALLARD CREEK CHURCH
ROAD AND LEGRANGER ROAD.

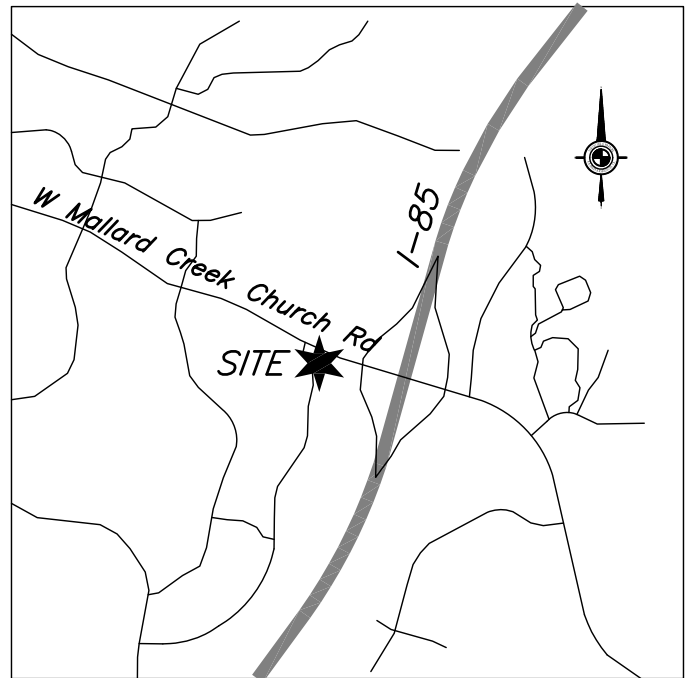
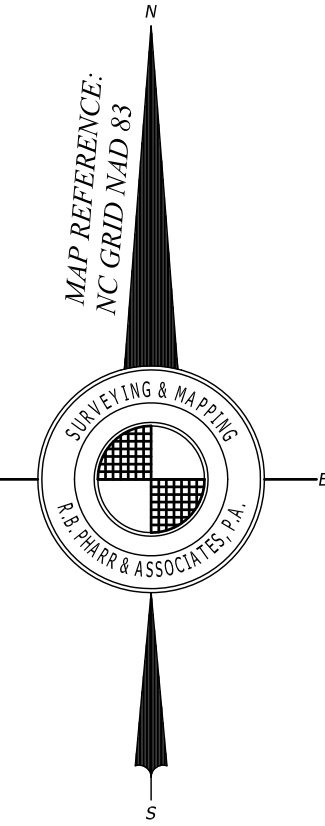
6. (NOT A SURVEY MATTER)

UTILITIES:

POWER
DUKE POWER ENERGY
1-800-777-9898
TELEPHONE
BELL SOUTH TELECOMMUNICATIONS
1-888-757-6300
WATER & SEWER
CHAR-MECK. UTILITY DEPT. (CMUD)
(704) 336-2564 WATER
(704) 357-6064 SEWER
GAS
PIEDMONT NATURAL GAS CO.
1-800-752-7504
CABLE TELEVISION
TIME WARNER CABLE
1-800-892-2253



Know what's below.
Call before you dig.



VICINITY MAP
NOT TO SCALE

NOTES:

- THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30.45 AMENDED.
- ALL CORNERS MONUMENTED AS SHOWN.
- UNDERGROUND UTILITIES MAY EXIST THAT ARE NOT SHOWN HEREON. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
- ELEVATIONS BASED ON N.G.S. MONUMENT "RANSON", ELEVATION = 785.10 FEET, NAVD 88.
- BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
- MALLARD CREEK CHURCH ROAD IS SHOWN AS A "MAJOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 50' FROM CENTERLINE.
- THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

ZONING:

SUBJECT PROPERTY ZONED: R-4
ZONING RESTRICTIONS AS PER ZONING ORDINANCE:

Zoned R-4

Minimum setback:
40' (From Right-of-way along a designated thoroughfare)
27' (From Right-of-way along local or collector streets)
Minimum side yard:
25' (Residential)
20' (Non-Residential)
Minimum rear yard:
40' (Residential)
40' (Non-Residential)
Maximum building height: 40'

FOR FURTHER INFORMATION CONTACT THE
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT AT
704-336-3569.

SURVEYOR'S DESCRIPTION

That certain tract or parcel of land situated, lying and being in the City of Charlotte, County of Mecklenburg, State of North Carolina and being more particularly described as follows:

BEGINNING at an existing metal monument on the southerly right-of-way margin of West Mallard Creek Church Road (variable width public R/W), said point also being the northern most corner of the property of the Duke Power Company (now or formerly) as described in Deed Book 5307, Page 677 in the Mecklenburg County Public Registry (the "Registry"); Thence with and along said property of the Duke Power Company for the following three (3) courses and distances:

- S 01°59'02" W a distance of 347.61 feet to an existing iron rod;
 - N 87°59'40" W a distance of 201.16 feet to an existing iron rod;
 - N 16°49'38" W a distance of 31.45 feet to an existing metal monument on the easterly right-of-way margin of LeGranger Road (60 foot public R/W);
- Thence with and along said easterly right-of-way margin of LeGranger Road for the following five (5) courses and distances:
- with a curve turning to the left having a radius of 388.10 feet and an arc length of 287.94 feet (chord bearing of N 08°18'18" W and a chord length of 281.38 feet) to a new iron rod;
 - N 29°33'34" W a distance of 60.03 feet to a new iron rod;
 - with a curve turning to the right having a radius of 515.67 feet and an arc length of 98.89 feet (chord bearing of N 24°03'57" W and a chord length of 98.74 feet) to a new iron rod;
 - with a compound curve turning to the right having a radius of 130.00 feet and an arc length of 32.50 feet (chord bearing of N 11°24'37" W and a chord length of 32.42 feet) to a new iron rod;
 - N 57°44'02" E a distance of 92.70 feet to a new iron rod on the southerly right-of-way margin of West Mallard Creek Church Road;

Thence with and along said southerly right-of-way margin of West Mallard Creek Church Road for the following four (4) courses and distances:

- with a curve turning to the left having a radius of 3859.72 feet and an arc length of 202.09 feet (chord bearing of S 65°38'34" E and a chord length of 202.07 feet) to a new iron rod;
- S 22°51'26" W a distance of 25.00 feet to a new iron rod;
- with a curve turning to the left having a radius of 3884.73 feet and an arc length of 190.14 feet (chord bearing of S 68°32'42" E and a chord length of 190.12 feet) to a new iron rod;
- S 01°59'02" W a distance of 19.05 feet to the point of BEGINNING;

having an area of 152,903 square feet or 3.5102 acres, as shown on a survey prepared by R. B. Pharr & Associates, P.A. dated October 21, 2015 (Map File W-4442; Job #84066).

GPS CERTIFICATION:

I, ANDREW B. BAKER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:
(1) CLASS OF SURVEY: CLASS A1-10 (990)
(2) POSITIONAL ACCURACY: Horizontal = 0.03' Vertical = 0.03'
(3) TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC
(4) DATES OF SURVEY: October 8, 2015
(5) DATUM/EPOCH: NAD 83 / NAVD 83
(6) PUBLISHED/FIXED-CONTROL USE: "RANSON"
(7) GEOD MODEL: Geoid03
(8) COMBINED GRID FACTORS: 0.99984084
(9) UNITS: U.S. Feet

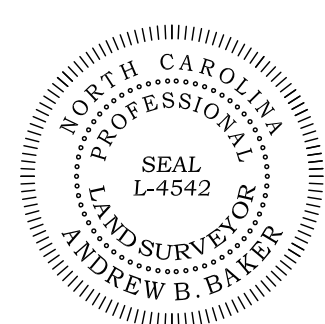
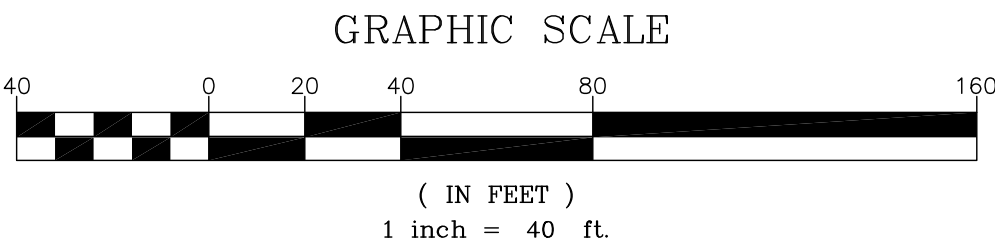
FLOOD CERTIFICATION

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED MARCH 2, 2009.

MAP NUMBER: 3710457800J (ZONE X)

THIS IS TO CERTIFY THAT ON THE 21st DAY OF OCTOBER, 2015, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. BOARD RULE 1600 (21 NCAC 50) AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIME THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

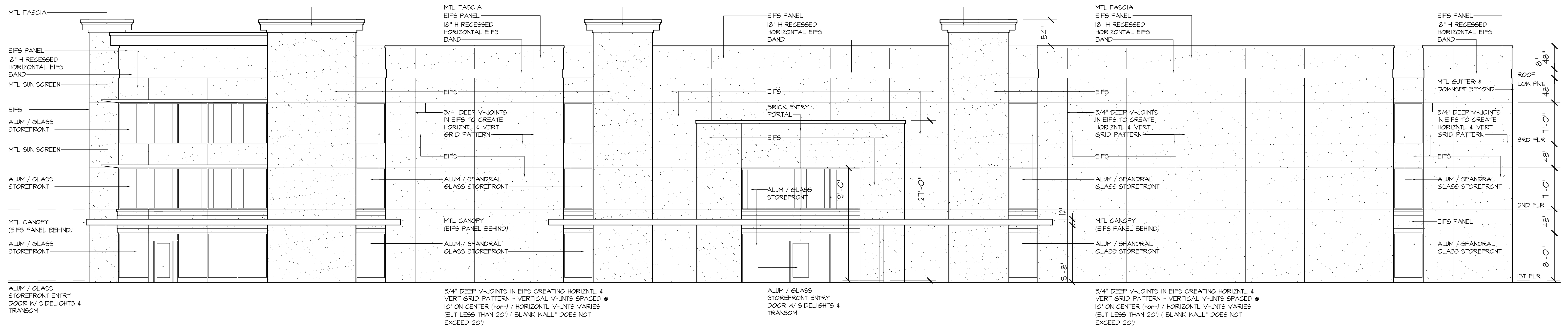
SIGNED: Andrew B. Baker



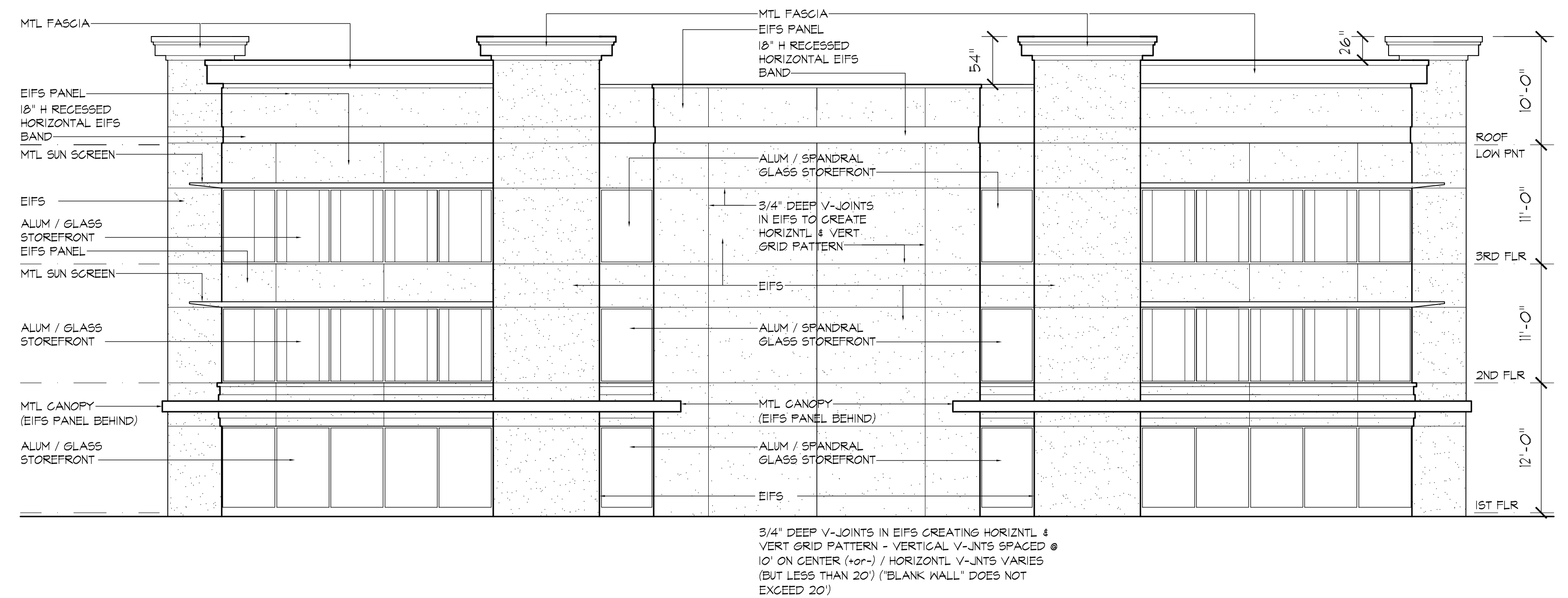
AREA = 152,903 SQ. FT. OR 3.5102 ACRES

REVISIONS			ALTA/ACSM LAND TITLE SURVEY PREPARED FOR:		
11/13/15	TO ADD TITLE COMMITMENT		FOURSTORE, LLC		
			RE: UNIVERSITY CITY STORAGE 1325 WEST MALLARD CREEK CHURCH ROAD CHARLOTTE, MECKLENBURG COUNTY, NORTH CAROLINA DEED REFERENCE: BOOK 4415, PAGE 212 TAX PARCEL NO: 047-382-03		
			R.B. PHARR & ASSOCIATES, P.A.		
			SURVEYING & MAPPING 420 HAWTHORNE LANE, CHARLOTTE, NC 28204 TEL: (704) 376-2186 FILE NO. W-4442		
CREW:	DRAWN:	REVISED:	SCALE:	DATE:	
TR	ND		1" = 40'	OCT. 21, 2015	
			JOB NO. 84066		

PLOTTED: 12/2/2015
C:\841\84066\DWG\84066.DWG



WEST ELEVATION (SIDE FACING LEGRANGER ROAD)



NORTH ELEVATION (SIDE FACING WEST MALLARD CREEK CHURCH ROAD)

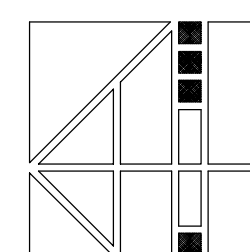
BUILDING A (PHASE ONE) -
CONCEPTUAL BUILDING ELEVATIONS

ONE EIGHTH INCH EQUALS ONE FOOT

REZONING PETITION #2016-010

REVISIONS

REVISIONS 1 - 12.16.15 PER STAFF REVIEW COMMENTS (ADDED BUILDING B ELEVATIONS)



RANDOLPH C. HENNING, ARCHITECT
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LEWISVILLE, NC 27023-8801
E-MAIL - rch@rcharchitect.com
WEB SITE - www.rcharchitect.com
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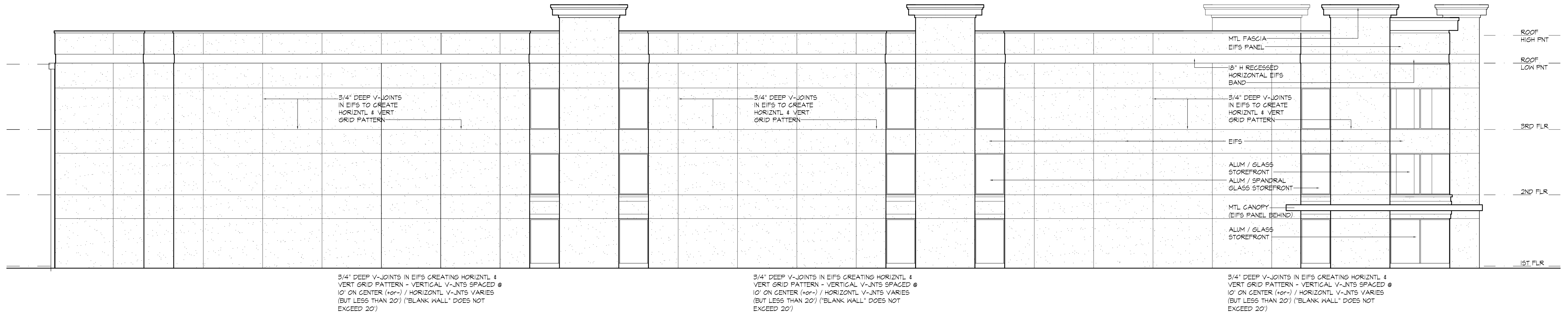
UNIVERSITY CITY STORAGE
1325 MALLARD CREEK CHURCH ROAD
CHARLOTTE, NORTH CAROLINA

JOB 1517
DATE 11.09.15

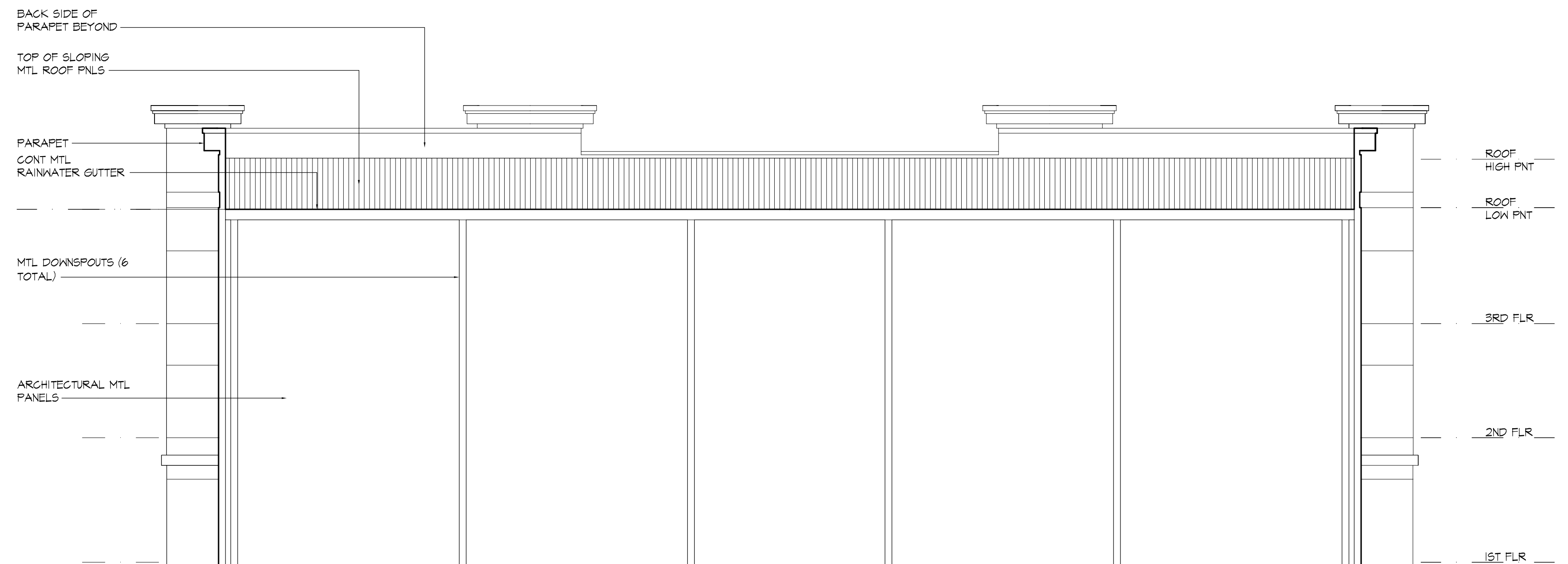
SHEET
RZ-2

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1517-UnivCityStorage-RZ2-12.16.15.dwg



EAST ELEVATION (SIDE FACING LEGRANGER ROAD)



SOUTH ELEVATION (SIDE FACING WEST MALLARD CREEK CHURCH ROAD)

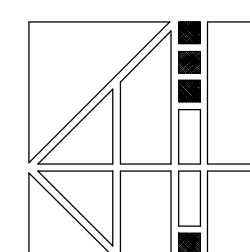
BUILDING A (PHASE ONE) -
CONCEPTUAL BUILDING ELEVATIONS

ONE EIGHTH INCH EQUALS ONE FOOT

REZONING PETITION #2016-010

REVISIONS

REVISIONS 1 - 12.16.15 PER STAFF REVIEW COMMENTS (ADDED BUILDING B ELEVATIONS)



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UNIVERSITY CITY STORAGE
1325 MALLARD CREEK CHURCH ROAD
CHARLOTTE, NORTH CAROLINA

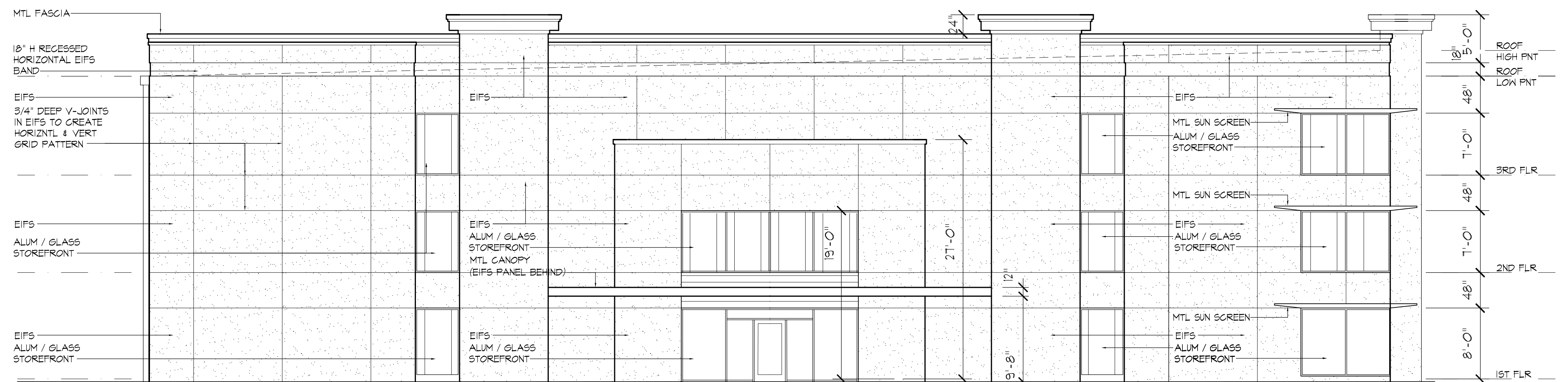
JOB 1517
DATE 12.16.15
SHEET
RZ-3

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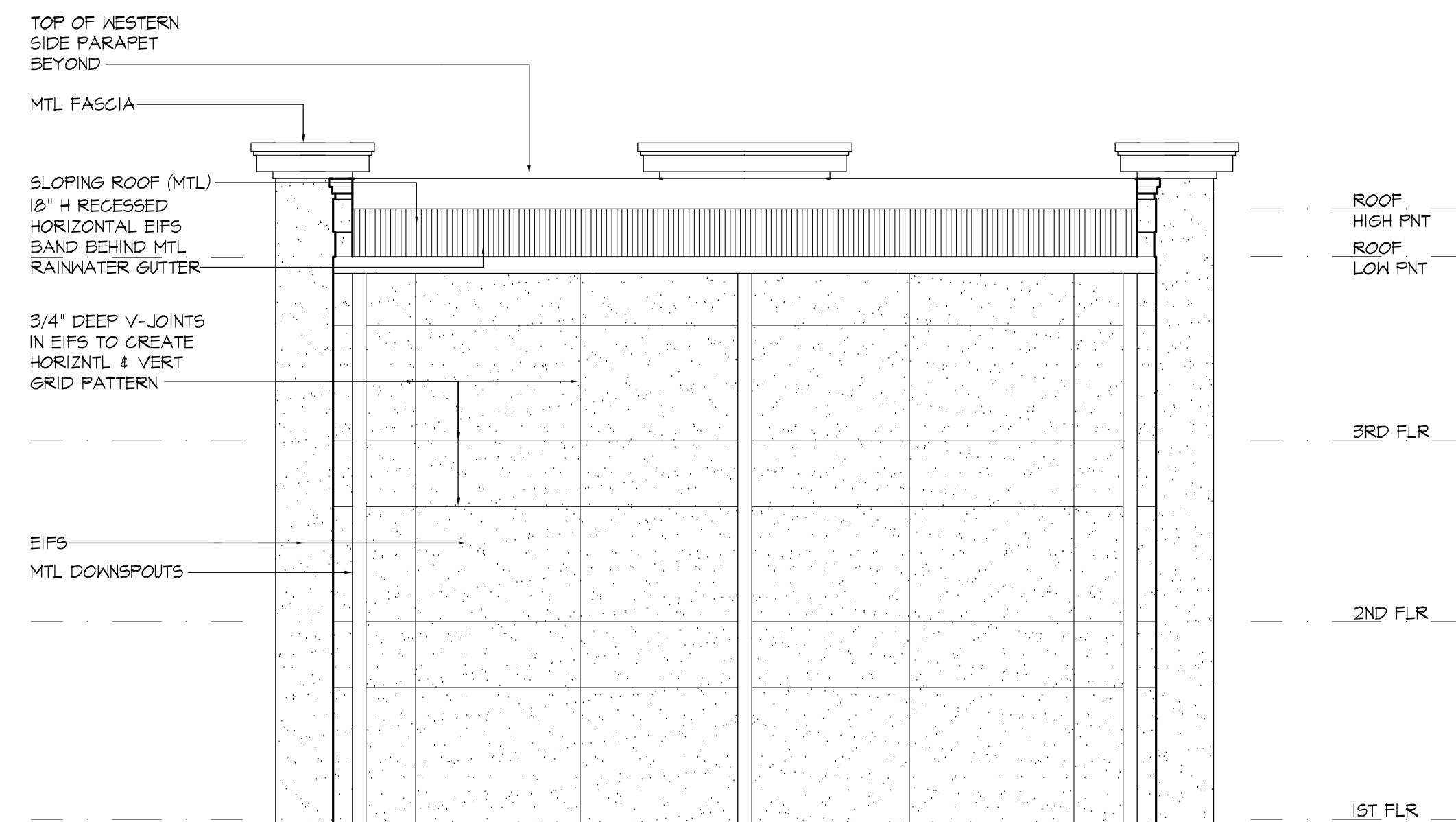
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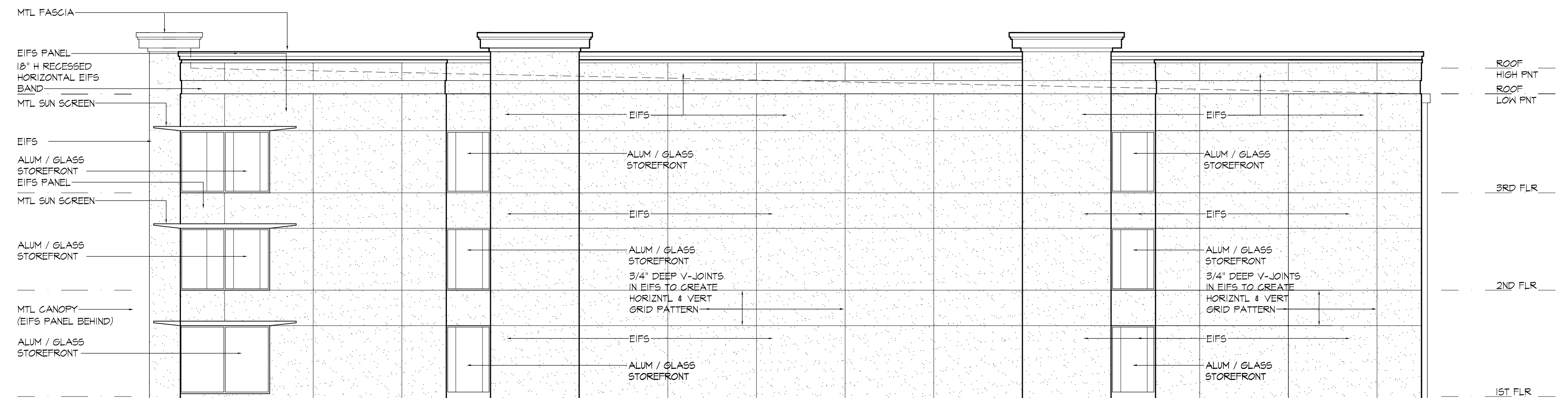
EASTERN ELEVATION



SOUTHERN ELEVATION (FACING LEGRANGER ROAD)



WESTERN ELEVATION



NORTHERN ELEVATION (SIDE FACING WEST MALLARD CREEK CHURCH ROAD)

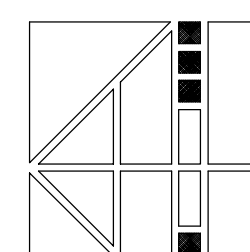
BUILDING B (PHASE TWO) -
CONCEPTUAL BUILDING ELEVATIONS

ONE EIGHTH INCH EQUALS ONE FOOT

REZONING PETITION #2016-010

REVISIONS

REVISIONS 1 - 12.16.15 PER STAFF REVIEW COMMENTS (ADDED BUILDING B ELEVATIONS)



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UNIVERSITY CITY STORAGE
1325 MALLARD CREEK CHURCH ROAD
CHARLOTTE, NORTH CAROLINA

JOB 1517
DATE 11.09.15
SHEET
RZ-4

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1517-UnivCityStorage-RZ4-12.16.15.dwg



UNIVERSITY CITY STORAGE

1325 W. MALLARD CREEK CHURCH ROAD

REZONING CASE #2016-010

DECEMBER 16, 2015



RZ-5



UNIVERSITY CITY STORAGE

1325 W. MALLARD CREEK CHURCH ROAD

REZONING CASE #2016-010

DECEMBER 16, 2015



RZ-6