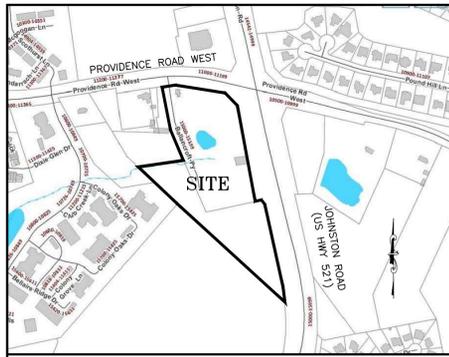
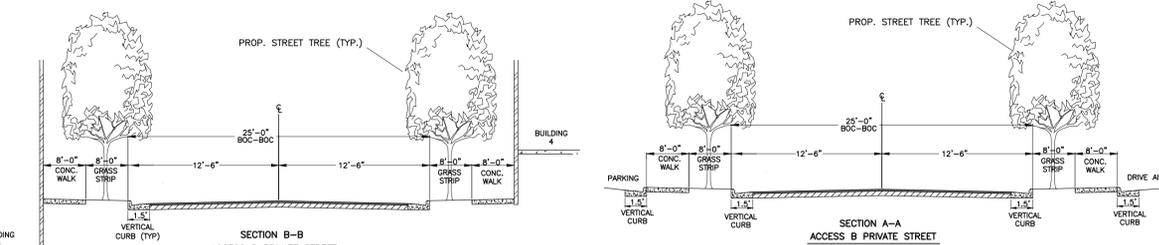
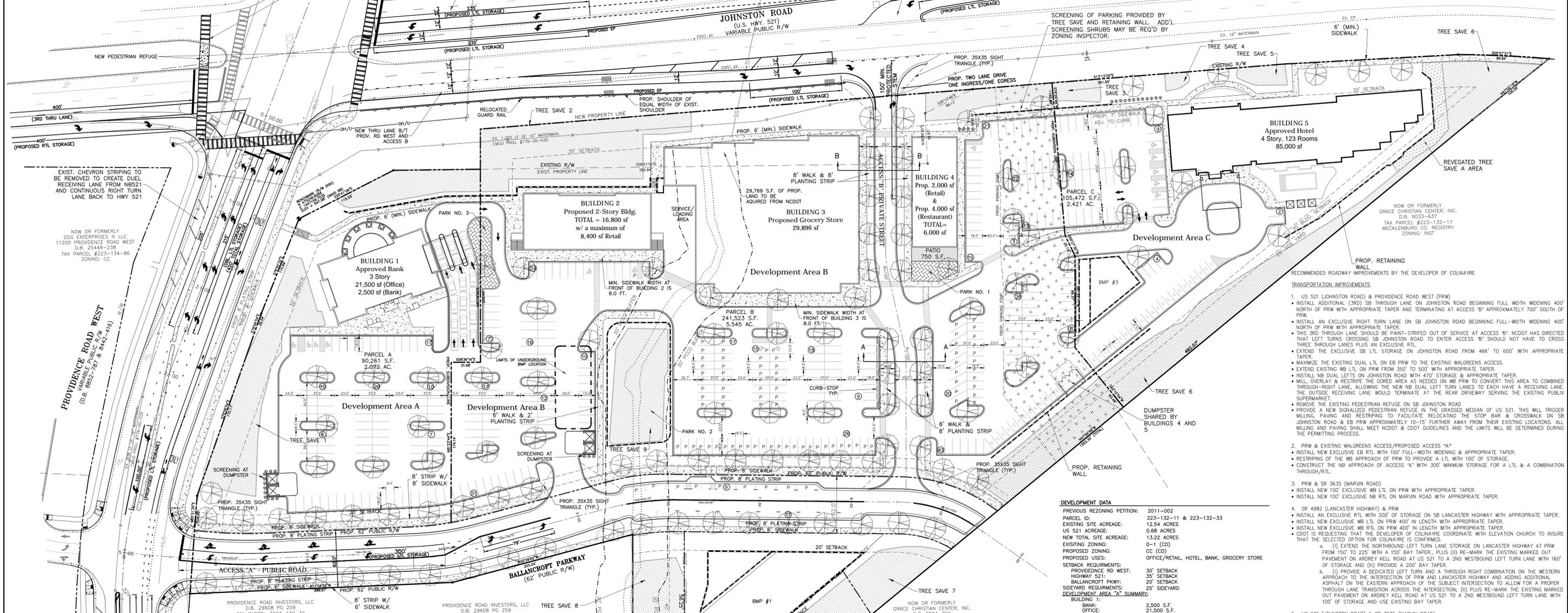


# COLINAYRE

## CHARLOTTE, NORTH CAROLINA



VICINITY MAP



- GENERAL PROVISIONS**
- THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICIES, AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA (FOR EXAMPLE, THOSE THAT REQUIRE BUFFERS, REGULATE STREETS, SIDEWALKS, TREES, STORMWATER, AND SITE DEVELOPMENT, ETC.) WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTERS 6.9, 12.17, 18.19, 20.21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTARY REQUIREMENTS IMPOSED ON THE DEVELOPMENT IN ADDITION TO OTHER STANDARDS. WHERE SPECIFIC CONDITIONS ON THIS PLAN DIFFER FROM ORDINANCES, STANDARDS, POLICIES AND APPROACHES IN EXISTENCE AT THE TIME OF FORMAL ENGINEERING PLAN REVIEW SUBMISSION, THE MORE RESTRICTIVE WILL APPLY. NO RESIDENTIAL UNITS ARE INCLUDED IN THIS SITE PLAN AMENDMENT.
  - THE SITE PLAN IS SCHEMATIC IN NATURE AND REPRESENTS A FIRM CONCEPT OF DEVELOPMENT WITH REGARD TO THE ARRANGEMENT OF BUILDINGS, PARKING, AND CIRCULATION PATTERNS. MINOR CHANGES OF DETAIL WHICH DO NOT ALTER THE BASIC LAYOUT AND RELATIONSHIPS TO ADJUTING SITES ARE PERMITTED AS A MATTER OF RIGHT FOR THE PETITIONER / DEVELOPER AND SHALL BE HANDLED IN ACCORDANCE TO THE ZONING ORDINANCE, SECTION 6.207.
  - THE FOLLOWING USES WILL NOT BE ALLOWED: FUNERAL HOMES, OUTDOOR RECREATION, AUTOMOTIVE SERVICE STATIONS, CONVENIENCE STORES, GAS SALES, AND RESTAURANT (EDGE) AND RETAIL USES WITH ACCESSORY DRIVE-THROUGH WINDOWS.
  - THE DUMPSTER ENCLOSURE WILL BE CONSTRUCTED WITH A COMPLIMENTARY BUILDING MATERIAL, AND IF LOCATED ADJACENT TO SIDEWALKS AT THE BACK OF CURB, THE SIDEWALK WILL BE OFFSET FROM THE ENCLOSURE BY AT LEAST 2 FT OR THE SIDEWALK WILL BE WIDENED TO 8'.
- LIGHTING**
- THE MAXIMUM HEIGHT OF ANY FREESTANDING LIGHT FIXTURE SHALL NOT EXCEED 25 FEET INCLUDING ITS BASE. ALL DIRECT LIGHTING WITHIN THE SITE SHALL BE DESIGNED AND SHIELDED SUCH THAT DIRECT ILLUMINATION DOES NOT EXCEED PAST ANY PROPERTY LINE AND SHALL BE CONSISTENT WITH THE ZONING ORDINANCE REQUIREMENTS.
- TRANSPORTATION**
- VEHICULAR ACCESS POINTS SHALL BE LIMITED TO THOSE SHOWN ON THE SITE PLAN. THE EXACT LOCATION MAY VARY FROM THAT DEPICTED, BUT SHALL COMPLY WITH ALL APPLICABLE DESIGN REQUIREMENTS OF THE CHARLOTTE DEPARTMENT OF TRANSPORTATION AND / OR NORTH CAROLINA DEPARTMENT OF TRANSPORTATION AND SECTION 6.207 OF THE ZONING ORDINANCE.
  - THE PROPOSED VEHICULAR CONNECTIONS TO THE ADJUTING PROPERTIES SHALL BE BUILT TO THE PROPERTY LINE AS SHOWN AS PART OF THE PROPOSED DEVELOPMENT PROJECT. THE EXACT LOCATIONS MAY VARY SOMEWHAT FROM THE DEPICTED PLAN.
  - PRIVATE STREET "ACCESS B" SHALL HAVE A PUBLIC ACCESS EASEMENT FROM JOHNSTON ROAD R/W TO BALLANCROFT PARKWAY R/W.
- STREETSCAPE & LANDSCAPING**
- A 6' SIDEWALK AND 8' PLANTING STRIP SHALL BE PROVIDED ALONG PROVIDENCE ROAD WEST FRONTAGE AND ALONG BALLANCROFT PARKWAY ON THE SUBJECT PROPERTY'S SIDE. A 6' SIDEWALK IS PROVIDED ALONG LENGTH OF US HWY 521 & ALONG THE WEST SIDE OF BALLANCROFT PARKWAY. SIDEWALKS WILL BE CONSTRUCTED SIMULTANEOUSLY WITH PHASED DEVELOPMENT.
  - PARKING LOT SCREENING FROM PUBLIC STREETS WILL BE PROVIDED BY SHRUBS AND RETAINING WALLS.
- STORMWATER CONTROL MEASURES**
- ABOVE GROUND STORMWATER CONTROL MEASURES (AKA BMPs) WILL NOT BE FENCED WITH A CHAIN LINK FENCE. STORMWATER CONTROL MEASURES WILL BE AESTHETICALLY APPEALING THROUGH USE OF GRASS, LANDSCAPING, WATER FEATURES OR OTHER SIMILAR FEATURES.
  - THE LOCATION, SIZE, AND TYPE OF STORM WATER MANAGEMENT SYSTEMS DEPICTED ON THE REZONING PLAN ARE SUBJECT TO REVIEW AND APPROVAL AS PART OF THE FULL DEVELOPMENT PLAN SUBMITTAL AND ARE NOT IMPLICITLY APPROVED WITH THIS REZONING. ADJUSTMENTS MAY BE NECESSARY IN ORDER TO ACCOMMODATE ACTUAL STORM WATER TREATMENT REQUIREMENTS AND NATURAL SITE DISCHARGE POINTS.

- DEVELOPMENT DATA**
- |                             |   |
|-----------------------------|---|
| PREVIOUS REZONING PETITION: | 2011-002                                  |
| PARCEL ID:                  | 223-132-11 & 223-132-33                   |
| EXISTING SITE ACREAGE:      | 12.54 ACRES                               |
| US 521 ACREAGE:             | 0.68 ACRES                                |
| NEW TOTAL SITE ACREAGE:     | 13.22 ACRES                               |
| EXISTING ZONING:            | O-1 (CD)                                  |
| PROPOSED ZONING:            | CC (CD)                                   |
| PROPOSED USES:              | OFFICE/RETAIL, HOTEL, BANK, GROCERY STORE |
- SETBACK REQUIREMENTS:**
- |                        |              |
|------------------------|--------------|
| PROVIDENCE RD WEST:    | 30' SETBACK  |
| HIGHWAY 521:           | 35' SETBACK  |
| BALLANCROFT PKWY:      | 20' SETBACK  |
| SIDEYARD REQUIREMENTS: | 25' SIDEYARD |
- DEVELOPMENT AREA "A" SUMMARY:**
- |               |             |            |
|---------------|-------------|------------|
| BUILDING 1:   | BANK        | 2,500 S.F. |
| OFFICE:       | 2,500 S.F.  |            |
| TOTAL BLDG 1: | 24,000 S.F. |            |
- DEVELOPMENT AREA "B" SUMMARY:**
- |               |                |                    |
|---------------|----------------|--------------------|
| BUILDING 2:   | RETAIL         | 8,400 S.F. MAXIMUM |
| TOTAL BLDG 2: | 16,800 S.F.    |                    |
| BUILDING 3:   | GROCERY STORE: | 29,896 S.F.        |
| BUILDING 4:   | RETAIL:        | 2,000 S.F.         |
| RESTAURANT:   | 4,000 S.F.     |                    |
| TOTAL BLDG 4: | 6,000 S.F.     |                    |
- DEVELOPMENT AREA "C" SUMMARY:**
- |             |                    |             |
|-------------|--------------------|-------------|
| BUILDING 5: | HOTEL (123 ROOMS): | 85,000 S.F. |
|-------------|--------------------|-------------|
- PARKS AND OPEN SPACES**
- PARK 1: Combination of ground cover, grass, shrubs, tree and a bench. Completion required as part of Hotel construction and will be completed prior to issuance of the final certificate of occupancy for the hotel.
- PARK 2: Inaccessible natural area consisting of tree save and will be completed prior to issuance of the final certificate of occupancy for the first building developed with development area B.
- PARK 3: Combination of ground cover, grass, shrubs, tree and a bench and will be completed prior to issuance of the final certificate of occupancy for the bank.

**RECOMMENDED ROADWAY IMPROVEMENTS BY THE DEVELOPER OF COLINAYRE TRANSPORTATION IMPROVEMENTS**

- US 521 (JOHNSTON ROAD) & PROVIDENCE ROAD WEST (PRW)
  - INSTALL ADDITIONAL (3RD) SB THROUGH LANE ON JOHNSTON ROAD BEGINNING FULL WIDTH WIDENING 400' NORTH OF PRW WITH APPROPRIATE TAPER AND TERMINATING AT ACCESS 'B' APPROXIMATELY 700' SOUTH OF PRW.
  - INSTALL AN EXCLUSIVE RIGHT TURN LANE ON SB JOHNSTON ROAD BEGINNING FULL-WIDTH WIDENING 400' NORTH OF PRW WITH APPROPRIATE TAPER.
  - THIS 3RD THROUGH LANE SHOULD BE PAINT-STRIPPED OUT OF SERVICE AT ACCESS 'B'. NCDOT HAS DIRECTED THAT LEFT TURNS CROSSING SB JOHNSTON ROAD TO ENTER ACCESS 'B' SHOULD NOT HAVE TO CROSS THREE THROUGH LANES PLUS AN EXCLUSIVE RTL.
  - EXTEND THE EXCLUSIVE SB LTL STORAGE ON JOHNSTON ROAD FROM 466' TO 600' WITH APPROPRIATE TAPER.
  - MAXIMIZE THE EXISTING DUAL LTL ON EB PRW TO THE EXISTING WALGREENS ACCESS.
  - EXTEND EXISTING WB LTL ON PRW FROM 350' TO 500' WITH APPROPRIATE TAPER.
  - INSTALL NB DUAL LEFTS ON JOHNSTON ROAD WITH 470' STORAGE & APPROPRIATE TAPER.
  - MILL OVERLAY ON THE GORED AREA AS NEEDED ON WB PRW TO CONVERT THIS AREA TO COMBINED THROUGH-RIGHT LANE, ALLOWING THE NEW NB DUAL LEFT TURN LANES TO EACH HAVE A RECEIVING LANE. THE OUTSIDE RECEIVING LANE WOULD TERMINATE AT THE REAR DRIVEWAY SERVING THE EXISTING PUBLIC SUPERMARKET.
  - REMOVE THE EXISTING PEDESTRIAN REFUGE ON SB JOHNSTON ROAD.
  - PROVIDE A NEW SIGNALIZED PEDESTRIAN REFUGE IN THE GRASSY MEDIAN OF US 521. THIS WILL TRIGGER MILLING, PAVING AND RESTRIPIING TO FACILITATE RELOCATING THE STOP BAR & CROSSWALK ON SB JOHNSTON ROAD & EB PRW APPROXIMATELY 10-15' FURTHER AWAY FROM THEIR EXISTING LOCATIONS. ALL MILLING AND PAVING SHALL MEET NCDOT & CDOT GUIDELINES AND THE LIMITS WILL BE DETERMINED DURING THE PERMITTING PROCESS.
- PRW & EXISTING WALGREENS ACCESS/PROPOSED ACCESS "A"
  - INSTALL NEW EXCLUSIVE EB RTL WITH 100' FULL-WIDTH WIDENING & APPROPRIATE TAPER.
  - RESTRIPIING OF THE NB APPROACH OF PRW TO PROVIDE A LTL WITH 100' OF STORAGE.
  - CONSTRUCT THE NB APPROACH OF ACCESS "A" WITH 300' MINIMUM STORAGE FOR A LTL & A COMBINATION THROUGH/RTL.
- PRW & SR 3635 (MARVIN ROAD)
  - INSTALL NEW 100' EXCLUSIVE WB LTL ON PRW WITH APPROPRIATE TAPER.
  - INSTALL NEW 100' EXCLUSIVE NB RTL ON MARVIN ROAD WITH APPROPRIATE TAPER.
- SR 4982 (LANCASTER HIGHWAY) & PRW
  - INSTALL AN EXCLUSIVE RTL WITH 200' OF STORAGE ON SB LANCASTER HIGHWAY WITH APPROPRIATE TAPER.
  - INSTALL NEW EXCLUSIVE WB LTL ON PRW 400' IN LENGTH WITH APPROPRIATE TAPER.
  - INSTALL NEW EXCLUSIVE WB RTL ON PRW 400' IN LENGTH WITH APPROPRIATE TAPER.
  - CDOT IS REQUESTING THAT THE DEVELOPER OF COLINAYRE COORDINATE WITH ELEVATION CHURCH TO INSURE THAT THE SELECTED OPTION FOR COLINAYRE IS CONFIRMED.
    - (i) EXTEND THE NORTHBOUND LEFT TURN LANE STORAGE ON LANCASTER HIGHWAY AT PRW FROM 150' TO 225' WITH A 150' BAY TAPER, PLUS (ii) RE-MARK THE EXISTING MARKED OUT PAVEMENT ON ANDREY KELL ROAD AT US 521 TO A 2ND WESTBOUND LEFT TURN LANE WITH 160' OF STORAGE AND (iii) PROVIDE A 200' BAY TAPER.
    - (iv) PROVIDE A DEDICATED LEFT TURN AND A THROUGH RIGHT COMBINATION ON THE WESTERN APPROACH TO THE INTERSECTION OF PRW AND LANCASTER HIGHWAY AND ADDING ADDITIONAL ASPHALT ON THE EASTERN APPROACH OF THE SUBJECT INTERSECTION TO ALLOW FOR A PROPER THROUGH LANE TRANSITION ACROSS THE INTERSECTION. (v) PLUS RE-MARK THE EXISTING MARKED OUT PAVEMENT ON ANDREY KELL ROAD AT US 521 TO A 2ND WESTBOUND LEFT TURN LANE WITH 100' OF STORAGE AND USE EXISTING BAY TAPER.
- US 521 (JOHNSTON ROAD) & SR 3635 (MARVIN ROAD)
  - EXTENSION OF THE SOUTHBOUND LEFT-TURN LANE TO PROVIDE 450' OF TOTAL STORAGE OF US521.
- US 521 (JOHNSTON ROAD) & PROPOSED ACCESS "B"
  - INSTALL NEW EXCLUSIVE LTL 200' IN LENGTH WITH APPROPRIATE TAPER WITH MEDIAN OUT TO SERVICE ACCESS 'B'.
  - INSTALL NEW SB EXCLUSIVE RTL 100' IN LENGTH WITH APPROPRIATE TAPER TO SERVICE ACCESS 'B'.
  - CONSTRUCT THE EXTERNAL STEM FOR ACCESS 'B' WITH 150' INTERNALLY PROTECTED STEM WITH TWO LANE CROSS-SECTION: ONE INGRESS AND ONE EGRESS.

**NOTE:** SOME OF THE PROPOSED ROADWAY IMPROVEMENTS LISTED ABOVE ARE ROADWAY IMPROVEMENTS REQUIRED BY NCDOT. AS A RESULT SOME OF THE ROADWAY IMPROVEMENTS LISTED ABOVE MAY CHANGE OR BE MODIFIED BY THE PETITIONER AFTER NCDOT HAS COMPLETED THEIR REVIEW AND APPROVAL OF THE FINAL TIA FOR THE SITE. THEREFORE, CHANGES TO THE LENGTH IMPROVEMENTS THAT OCCUR AS A RESULT OF NCDOT'S FINAL REVIEW AND APPROVAL OF THE TIA AND AFTER THE APPROVAL OF THE CONDITIONAL PLAN WILL BE ALLOWED THROUGH THE ADMINISTRATIVE AMENDMENT PROCESS.

**PETITION #2015-116**

**COLINAYRE**  
PROVIDENCE ROAD WEST, CHARLOTTE, NC

**REZONING SKETCH PLAN**

File #: 11028-R23.DWG Date: 10/11/15 Project Egr: ABC

**ISAACS GROUP**  
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**RZ1.0**

**PRELIMINARY**  
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NO.	BY	DATE	REVISION
1	ABC	11/12/15	PER REZONING REVIEW COMMENTS
2	ABC	01/15/16	PER REZONING REVIEW COMMENTS
3	AEN	03/03/16	PER REZONING REVIEW COMMENTS

GRAPHIC SCALE  
1 INCH = 50 FEET



PROPOSED BUILDING 1 – 3 STORY BANK



PROPOSED BUILDING 3 – GROCERY STORE



PROPOSED BUILDING 2 & 4 – RETAIL & RESTAURANT



PROPOSED BUILDING 5 – HOTEL

THE BUILDING MATERIALS USED ON THE PRINCIPAL BUILDINGS CONSTRUCTED ON SITE WILL BE A COMBINATION OF PORTIONS OF THE FOLLOWING: BRICK, STONE, PRECAST STONE, PRECAST CONCRETE, SYNTHETIC STONE, CEMENTATIONOUS FIBER BOARD, STUCCO, EIFS, DECORATIVE BLOCK AND/OR WOOD. VINYL OR ALUMINUM AS A BUILDING MATERIAL MAY ONLY BE USED ON WINDOWS, SOFFITS AND ON HANDRAILS/RAILINGS.

**1. GENERAL DESIGN GUIDELINES:**

- a. SPECIALTY PAVERS, STAINED AND PATTERNED CONCRETE/PAVING OR OTHER SIMILAR MEANS WILL BE USED TO CALL ATTENTION TO AMENITY AREAS, GATHERING SPACES, AND PLAZAS.
- b. THE SCALE AND MASSING OF BUILDINGS LONGER THAN 150' ALONG A STREET FEET SHALL BE MINIMIZED BY UTILIZING A COMBINATION OF THE FOLLOWING OPTIONS: (I) VARIED ROOF LINES THROUGH THE USE OF SLOPES, MODULATED BUILDING HEIGHTS, GABLES, DORMERS OR INNOVATIVE ARCHITECTURAL SOLUTIONS; (II) UTILIZE BUILDING CORNERS TO PROVIDE VISUAL INTEREST AT THE PEDESTRIAN LEVEL AS WELL AS TO DIFFERENTIATE ROOF LINES OR HIGHLIGHT GROUND FLOOR USES; (III) UTILIZE HORIZONTAL AND VERTICAL VARIATIONS IN WALL PLANES; AND/OR (IV) PROVIDE ARCHITECTURAL PROTRUSION TO ACCENTUATE ENCLOSED BALCONIES.
- c. EXPANSIONS OF BLANK OR UNARTICULATED WALLS GREATER THAN 20 FEET IN LENGTH SHALL BE TREATED WITH A MINIMUM OF THREE OPTIONS BELOW:
  - i. PROVIDE A HIGHER LEVEL OF TRANSPARENCY ON THE GROUND FLOOR, SUCH AS EXAGGERATED OR LARGER WINDOWS INDICATIVE OF LIVING AREAS OR RETAIL SPACES;
  - ii. UTILIZE HORIZONTAL AND VERTICAL VARIATIONS IN WALL PLANES;
  - iii. PROVIDE BUILDING EXTENSION FOR ENCLOSED BALCONIES;
  - iv. UTILIZE CORNERS TO PROVIDE VISUAL INTEREST AT THE PEDESTRIAN LEVEL AS WELL AS TO DIFFERENTIATE ROOF LINES OR HIGHLIGHT GROUND FLOOR USES;
  - v. PROVIDE AMENITY LANDSCAPING, SUCH AS A SITTING AREA WITH AN ARBOR; AND/OR
  - vi. ANY OTHER ARCHITECTURAL IMPROVEMENTS AS ALLOWED BY THE ORDINANCE TO IMPROVE THE VISUAL AESTHETICS OF BLANK OR UNARTICULATED WALL.
- d. BUILDING ENTRANCES SHALL BE AT OR SLIGHTLY ABOVE GRADE AND SHALL BE HIGHLY VISIBLE AND ARCHITECTURALLY TREATED AS PROMINENT PEDESTRIAN ENTRANCE THROUGH A COMBINATION OF AT LEAST FIVE (5) OF THE FOLLOWING FEATURES: (I) DECORATIVE PEDESTRIAN LIGHTING/SCONCES; (II) ARCHITECTURAL DETAILS CARRIED THROUGH TO UPPER STORIES; (III) COVERED PORCHES, CANOPIES, AWNINGS OR SUNSHADES; (IV) ARCHWAYS; (V) TRANSOM WINDOWS; (VI) TERRACED OR RAISED PLANTERS THAT CAN BE UTILIZED AS SEAT WALLS; (VII) COMMON OUTDOOR SEATING ENHANCED WITH SPECIALTY DETAILS, PAVING, OR LANDSCAPING; (VIII) DOUBLE DOORS; (IX) STOOPS OR STAIRS; AND/OR (X) CONTRASTING PAVEMENT FROM PRIMARY SIDEWALK.
- e. WHERE A BUILDING IS SERVED BY COMMON ENTRANCES (NOT INDIVIDUAL UNIT ENTRANCES) AND CANNOT ACHIEVE THE INTERVAL SPACING, COMMON USABLE OPEN SPACES, AMENITY AREAS OR COURTYARDS CAN BE UTILIZED TO BREAK UP THE WALL PLANE.
- f. THE GROUND FLOOR SHALL ARCHITECTURALLY DIFFERENTIATE ACTIVE GROUND FLOOR USES SUCH AS COMMON AREAS, LOUNGES, AMENITY AREAS OR LEASING OFFICES FROM THE RESIDENTIAL USES OR UPPER STORIES.
- g. BALCONIES WILL BE DESIGN SO THAT THEIR SIZE AND LOCATION MAXIMIZE THEIR INTENDED USE FOR OPEN SPACE. THE BALCONIES MAY ENCR OACH INTO THE TRANSITION ZONE ABOVE THE FIRST STORY OF THE BUILDING.
- h. ALL FACADES SHALL INCORPORATE WINDOWS, ARCHES, BALCONIES OR OTHER ARCHITECTURAL DETAILS ALONG WITH VARYING BUILD MATERIALS, OR ROOF LINES OR BUILDING OFFSETS.
- i. DOORWAYS MUST BE RECESSED INTO THE FACADE OF THE BUILDINGS TO PROVIDE A MINIMUM EIGHT-FOOT CLEARANCE ALONG SIDEWALKS.

PETITION #2015-116

Project: COLINAYRE  
PROVIDENCE ROAD WEST, CHARLOTTE, NC

Title: REZONING SKETCH PLAN

File #: 11028-R23.DWG Date: 01/15/2016 Project Egr: ABC

Design By: PDW  
Drawn By: CBH  
Scale: N.T.S.

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NO.	BY	DATE	REVISION
1	AEN	03/03/16	PER REZONING REVIEW COMMENTS

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**RZ2.0**