



**LINE LEGEND:**

EASEMENT ——— X ———

FENCE ——— X ———

PROPERTY LINE ——— X ———

PROPERTY LINE (NOT SURVEYED) ——— X ———

RIGHT-OF-WAY ——— X ———

RIGHT-OF-WAY (NOT SURVEYED) ——— X ———

SETBACK ——— X ———

POWER LINE ——— X ———

SANITARY SEWER PIPE ——— X ———

STORM DRAIN PIPE ——— X ———

**LEGEND:**

BFP - BACK FLOW PREVENTOR

C&G - CURB & GUTTER

CB - CATCH BASIN

CP - CALCULATED POINT

CPP - CORRUGATED PLASTIC PIPE

CO - CLEAN OUT

D.B. - DEED BOOK

DI - DROP INLET

ECM - EXISTING CONCRETE MONUMENT

EIP - EXISTING IRON PIPE

EIR - EXISTING IRON ROD

EMM - EXISTING METAL MONUMENT

EN - EXISTING NAIL

EU - END UNKNOWN

FC - FIRE CONNECTION

FH - FIRE HYDRANT

FP - FLAG POLE

FV - FIRE VALVE

GDP - GUARD POST

GLT - GROUND LIGHT

GM - GAS METER

GP - GATE POST

GV - GAS VALVE

GW - GUY WIRE

HVAC - HEATING, VENTILATION, AIR COND.

ICV - IRRIGATION CONTROL VALVE

LMP - LAMP POST

LP - LIGHT POLE

MBX - MAILBOX

M.B. - MAP BOOK

MW - MONITORING WELL

N.G.S. - NATIONAL GEODETIC SURVEY

NIR - NEW IRON ROD

NN - NEW NAIL

PR - POWER BOX

PIN - PARCEL IDENTIFICATION NUMBER

PM - POWER METER

PMH - POWER MANHOLE

PP - POWER POLE

PG - PAGE

RW - RIGHT-OF-WAY

RCP - REINFORCED CONCRETE PIPE

SDMH - STORM DRAIN MANHOLE

TMI - TELEPHONE MANHOLE

WB - WATER BOX

WM - WATER METER

WV - WATER VALVE

**TREE LEGEND:**

BCH - BEECH

BRC - BIRCH

BRAD - BRADFORD PEAR

CED - CEDAR

CHR - CHERRY

CRP - CREPE MYRTLE

DGW - DOGWOOD

HIC - HICKORY

HOL - HOLLY

LOC - LOCUST

MAG - MAGNOLIA

MAR - MARLE

PEC - PECAN

PIN - PINE

POP - POPULAR

SYC - SYCAMORE

WLN - WALNUT

WLC - WILD CHERRY

**NOTES:**

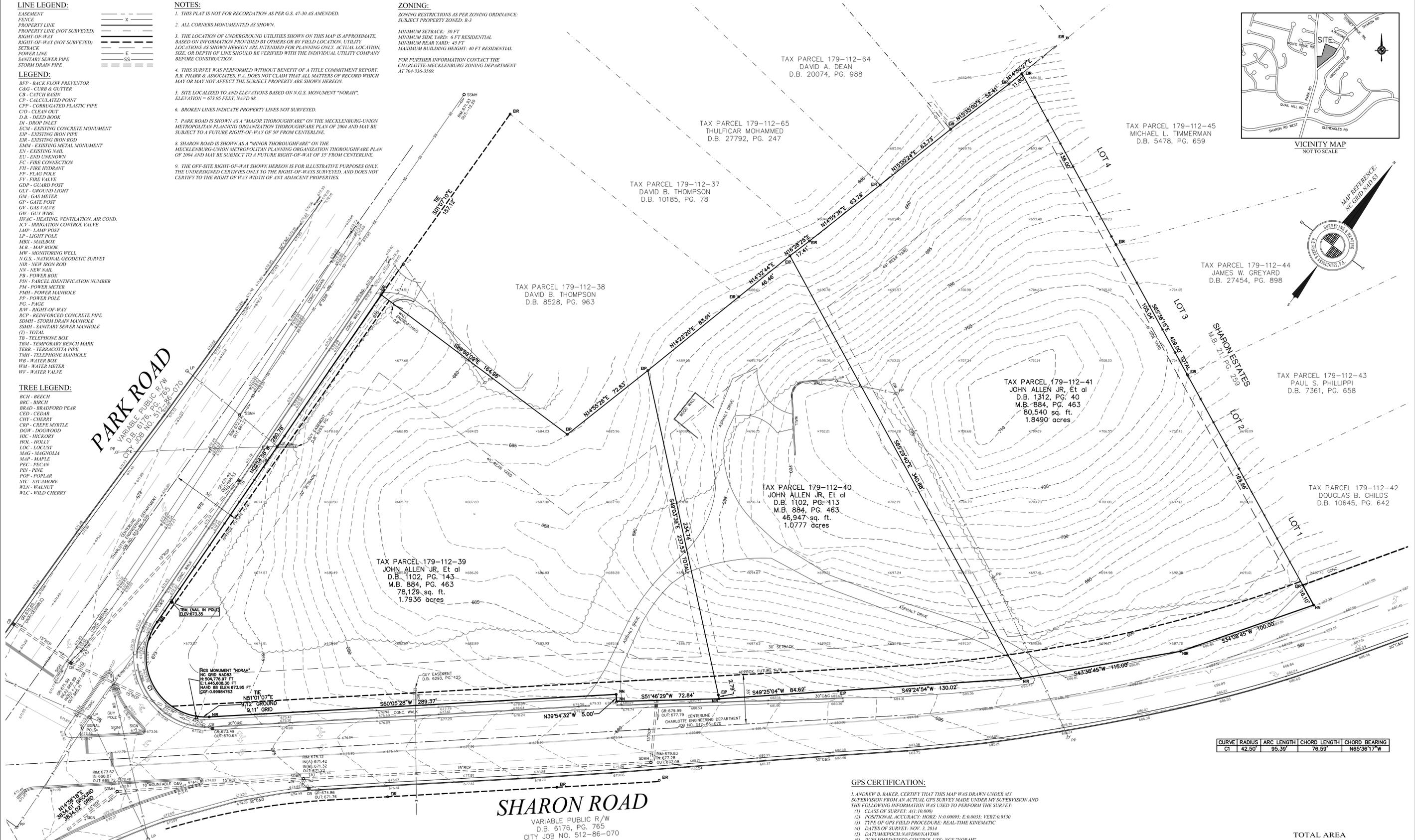
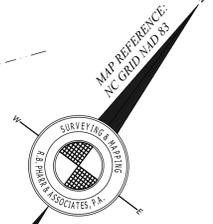
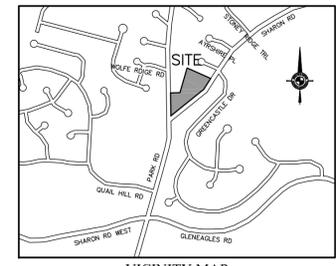
- THIS PLAT IS NOT FOR RECORDATION AS PER G.S. 47-30 AS AMENDED.
- ALL CORNERS MONUMENTED AS SHOWN.
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THIS MAP IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY OTHERS OR BY FIELD LOCATION. UTILITY LOCATIONS AS SHOWN HEREON ARE INTENDED FOR PLANNING ONLY. ACTUAL LOCATION, SIZE, OR DEPTH OF LINE SHOULD BE VERIFIED WITH THE INDIVIDUAL UTILITY COMPANY BEFORE CONSTRUCTION.
- THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT. R.B. PHARR & ASSOCIATES, P.A. DOES NOT CLAIM THAT ALL MATTERS OF RECORD WHICH MAY OR MAY NOT AFFECT THE SUBJECT PROPERTY ARE SHOWN HEREON.
- SITE LOCALIZED TO AND ELEVATIONS BASED ON N.G.S. MONUMENT "NORAH", ELEVATION = 673.93 FEET, NAVD 88.
- BROKEN LINES INDICATE PROPERTY LINES NOT SURVEYED.
- PARK ROAD IS SHOWN AS A "MAJOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 50' FROM CENTERLINE.
- SHARON ROAD IS SHOWN AS A "MINOR THOROUGHFARE" ON THE MECKLENBURG-UNION METROPOLITAN PLANNING ORGANIZATION THOROUGHFARE PLAN OF 2004 AND MAY BE SUBJECT TO A FUTURE RIGHT-OF-WAY OF 33' FROM CENTERLINE.
- THE OFF-SITE RIGHT-OF-WAY SHOWN HEREON IS FOR ILLUSTRATIVE PURPOSES ONLY. THE UNDERSIGNED CERTIFIES ONLY TO THE RIGHT-OF-WAYS SURVEYED, AND DOES NOT CERTIFY TO THE RIGHT OF WAY WIDTH OF ANY ADJACENT PROPERTIES.

**ZONING:**

ZONING RESTRICTIONS AS PER ZONING ORDINANCE:  
SUBJECT PROPERTY ZONED: R-3

MINIMUM SETBACK: 30 FT  
MINIMUM SIDE YARD: 6 FT RESIDENTIAL  
MINIMUM REAR YARD: 45 FT  
MAXIMUM BUILDING HEIGHT: 40 FT RESIDENTIAL

FOR FURTHER INFORMATION CONTACT THE  
CHARLOTTE-MECKLENBURG ZONING DEPARTMENT  
AT 704-336-3569



CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C1	42.50'	95.39'	76.59'	N65°36'17"W

**GPS CERTIFICATION:**

I, ANDREW B. BAKER, CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- CLASS OF SURVEY: ALL-STAR
- POSITIONAL ACCURACY: HORIZ: N: 0.00095; E: 0.0013; VERT: 0.0130
- TYPE OF GPS FIELD PROCEDURE: REAL-TIME KINEMATIC
- DATE OF SURVEY: NOV 3, 2014
- DATE OF EPOCH: NAD83/US83
- PUBLISHED/FIXED-CONTROL USE: NGS "NORAH"
- GEOID MODEL: GEOID03(CONUS)
- COMBINED FID FACTOR(S): 0.99984763
- UNITS: US FEET

**FLOOD CERTIFICATION**

THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED FEBRUARY 13, 2014.

MAP NUMBER: 3710454000K, ZONE X

THIS IS TO CERTIFY THAT ON THE 31 DAY OF OCTOBER, 2014, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAT, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAT MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA. BOARD RULE 1800.21 (NAC 59) AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 30 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED: Andrew B. Baker



**UTILITIES:**

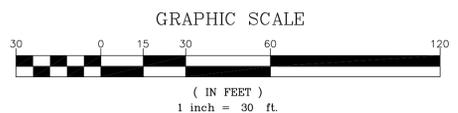
**POWER**  
DUKE POWER ENERGY  
1-800-777-9898

**TELEPHONE**  
BELL SOUTH TELECOMMUNICATIONS  
1-888-757-6500

**WATER & SEWER**  
CHAR-MECK. UTILITY DEPT. (CMUD)  
(704) 336-3364 WATER  
(704) 357-6064 SEWER

**GAS**  
PIEDMONT NATURAL GAS CO.  
1-800-752-7504

**CABLE TELEVISION**  
TIME WARNER CABLE  
1-800-892-2253



**TOTAL AREA**  
205,616 sq. ft.  
4.7203 acres

REVISIONS		SURVEY PREPARED FOR:	
11/20/14	REMOVE TREES.	MISSION PROPERTIES, LLC	
		6900 SHARON RD.	
		CITY OF CHARLOTTE, MECKLENBURG COUNTY, N.C.	
		MAP REFERENCE: 884-463	
		DEED REFERENCE: 1102-143; 1102-113; & 1312-40	
		TAX PARCEL NO.: 179-112-39; 179-112-40;	
		& 179-112-41	
		R.B. PHARR & ASSOCIATES, P.A.	
		SURVEYING & MAPPING	
		420 HAWTHORNE LANE CHARLOTTE, NC 28204 TEL: (704) 376-2186	
CREW:	TR	DRAWN:	CEB
REVISD:		SCALE:	1"=30'
DATE:	OCT. 31, 2014	FILE NO.:	W-4672
JOB NO.:	82174	DATE:	