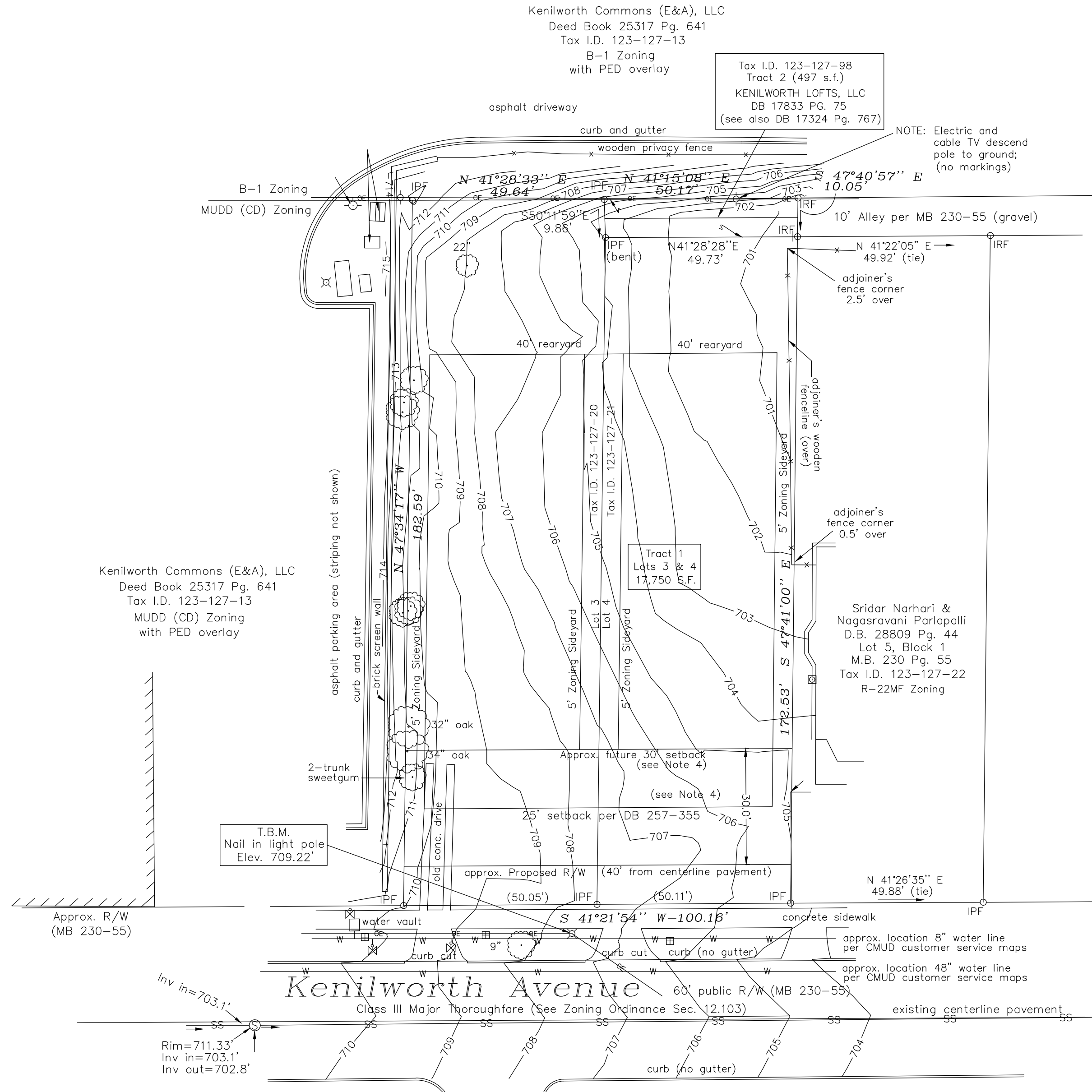


**LEGEND**

- ch. chord
- L,R curve length & radius
- s.f. square feet (by coordinates)
- IRS Iron Pin Set
- IRS/IPF Iron Pin/Pipe found
- conc. concrete
- a/c air conditioner
- MB, DB record map and deed references
- BFP backflow preventer
- light pole
- PP power pole
- gas valve
- guy anchor
- catch basin
- water meter
- water valve
- fire hydrant
- sanitary sewer manhole
- gas meter
- misc. tree
- telephone manhole
- electric manhole
- T.B.M. temporary bench mark
- G- underground gas line
- T- underground telephone line
- W- water line
- SS- sanitary sewer line
- UE- underground electric
- OE- overhead electric
- RCP reinforced concrete pipe
- I.E. invert elevation
- X- fence line



Kenilworth Commons (E&A), LLC  
Deed Book 25317 Pg. 641  
Tax I.D. 123-127-13  
MUDD (CD) Zoning  
with PED overlay

Tax I.D. 123-127-98  
Tract 2 (497 s.f.)  
KENILWORTH LOFTS, LLC  
DB 17833 Pg. 75  
(see also DB 17324 Pg. 767)

NOTE: Electric and cable TV descend pole to ground; (no markings)

T.B.M. Nail in light pole  
Elev. 709.22'

Approx. R/W (MB 230-55)

Approx. R/W limit (per MB 230-55)

\*\*\* CAUTION \*\*\*  
THERE MAY BE UNDERGROUND UTILITIES OTHER THAN THOSE SHOWN.  
THE SURVEYOR ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN HEREON. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL UTILITY LOCATIONS.

CALL BEFORE YOU DIG  
1-800-632-4949

ORIGINAL SURVEY BY A.G. ZOUTEWELLE SURVEYORS. NOT TO SCALE

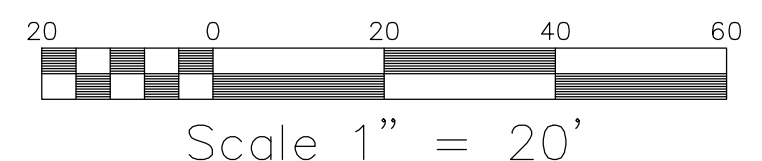
I hereby certify to only Meeting Street Companies, LLC:  
That this survey is based upon my best knowledge, information and belief; that this map was drawn under my supervision from an actual survey made under my supervision (deed description recorded in the deed books noted); that the boundaries not surveyed are indicated as dashed lines drawn from adjoining deed sources as shown hereon; that the ratio of precision or positional accuracy is 1:10,000; that this map meets the requirements of the Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600). This map is not intended to meet G.S. 47-30 recording requirements. Actual ground elevations are within 1/2' contour interval of the contour lines shown across 95% of the surveyed area.

This \_\_\_\_\_ day of \_\_\_\_\_, 2014.  
**PRELIMINARY - FOR REVIEW PURPOSES ONLY.**  
Andrew G. Zoutewelle  
Professional Land Surveyor  
NC License No. L-3098

**GENERAL NOTES**

- Source of title recorded in Deed Book 14737 Pages 985 and 989, Deed Book 17324 Page 767 and Deed Book 17833 Page 75. See also plat recorded in Map Book 230 Page 55, Mecklenburg County Public Registry.
- Tax I.D. Numbers for this property: 123-127-20, 123-127-21 and 123-127-98.
- This survey was done without the benefit of a complete title examination. There may be additional easements or restrictions not shown hereon. See the following:  
- Declaration of covenants, conditions and easements recorded in Book 257, Page 355, Mecklenburg County Registry. (affects the subject property, and plottable items are shown hereon).  
- Terms and conditions of Resolution Closing A Portion of 10-Foot Alleyway, recorded in Book 17342, Page 767, Mecklenburg County Registry. (Affects subject property, access easement across the alleyway area is shown hereon).
- The zoning of this property is R-22MF (Multi-Family district). Developer to consult City of Charlotte Zoning Ordinance for applicable setbacks or buffers. The proposed Right of Way shown is based upon City of Charlotte Thoroughfare Maps. See Section 12.103 of the City of Charlotte Zoning Ordinance for further information on requirements for lots along thoroughfares.  
\*\* The proposed future setback shall depend on the proposed use of the subject property. For detached, duplex, triplex and quadplex dwellings, the setback shall be 20'. For all other buildings, including planned multi-family developments, the setback shall be 30'. Developer to consult the City of Charlotte for proposed thoroughfare requirements. This survey does not reflect a complete zoning analysis. See the standard setbacks for R-22MF as follows:  
Min. front setback: 20' or 30' (See \*\* note above).  
Min. Sideyard: 5' (for Detached, duplex, triplex and quadplex dwellings) or 10' (for all other buildings, including planned multi-family developments).  
Min. Rearyard: 20' (for Detached, duplex, triplex and quadplex dwellings) or 40' (for all other buildings, including planned multi-family developments).  
Max. height: 40', and Max. floor area ratio (for nonresidential buildings): 0.50  
Max. Residential Density (Dwelling units per acre): 22.0
- The total area (Tracts 1 & 2) of this property is 0.4188 acre (18,247 S.F.) as computed by coordinates.
- This property is not located within a designated flood hazard area per Flood Insurance Rate Map Community Panel No. 3710454300K dated 02/19/14.
- Underground utilities were located from observed above-ground evidence and CMUD customer service maps only. There may be additional utilities not shown.
- Vertical Datum is NAVD88 and was obtained from reference mark "LSUG24" as shown on the above-referenced Flood Insurance Rate Map.

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**TOPOGRAPHIC SURVEY**  
**1620-1624 Kenilworth Avenue**  
CITY OF CHARLOTTE, MECKLENBURG COUNTY, N.C.  
for MEETING STREET COMPANIES, LLC  
Survey Date: October 8, 2014



Scale 1" = 20'  
**A.G. ZOUTEWELLE SURVEYORS**  
1418 East Fifth St. Charlotte, NC 28204  
Phone: 704-372-9444 FAX: 704-372-9555

**Teresa L. Hawkins**  
RLA, ASLA, LEED-AP  
21326 Bethel Church Road  
Cornelius, NC  
704-892-8625(p/f)  
Land Planning • Landscape Architecture • Urban Design

**O.E.G.**  
ORSBORN ENGINEERING GROUP  
610 EAST MOREHEAD STREET, SUITE 106  
CHARLOTTE, NC 28202  
P) 704-749-1432 • F) 704-749-1433

**MEETING STREET TOWNHOMES @ KENILWORTH**  
1620-1624 KENILWORTH AVE., CHARLOTTE, NC  
DEVELOPED BY:  
MEETING STREET HOMES & COMMUNITIES  
1930 ABBOTT ST., SUITE 400  
CHARLOTTE, NC 28203  
**SHEET TITLE:**  
**EXISTING CONDITIONS**

| NO. | REVISIONS | DATE |
|-----|-----------|------|
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|-------------------------|-----------------|
| JOB #                   | 2014-10 & 14040 |
| DATE: (INITIAL FILING): | 11/24/14        |
| SCALE:                  | NTS             |
| DRAWN BY:               | JAW             |
| APPROVED BY:            | TLH/JCO         |

**RZ-1**

November 20, 2014, 9:27am, By: JAW, User: P:\314000\Kenilworth Townhomes\Draw\14040 RZ-1.dwg

