

VICINITY MAP
NOT TO SCALE

Kenilworth Commons (E&A), LLC
Deed Book 25317 Pg. 641
Tax I.D. 123-127-13
B-1 Zoning
with PED overlay

PETITIONER SHALL STRIVE TO OBTAIN PERMISSION FROM CURRENT ADJACENT PROPERTY OWNER TO CONSTRUCT A 5' CONCRETE SIDEWALK CONNECTION TO THE ADJACENT SHOPPING CENTER FROM THE TOWNHOME PROJECT

HVAC UNITS TO BE SCREENED WITH 4' TALL SOLID MASONRY SCREEN WALL AND LANDSCAPING MASONRY WALL TO MATCH UNIT MATERIALS

USE OF THE EXISTING ALLEY BEHIND THE PROPERTIES LOCATED AT 1616 AND 1612 KENILWORTH AVENUE WILL BE PROHIBITED DURING CONSTRUCTION AND AFTER THE DEVELOPMENT IS COMPLETED.

EXISTING 6' BRICK WALL TO REMAIN (LOCATED OFFSITE)

5' WIDE SIDEWALK WILL BE ACCESSIBLE AT ALL TIMES TO THE PUBLIC

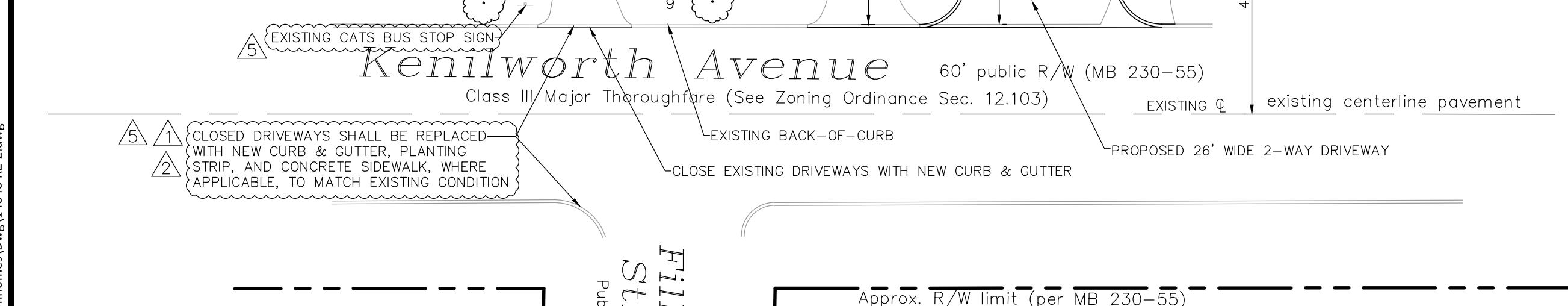
OPEN SPACE PRIVATE COURTYARDS FOR EACH UNIT

Kenilworth Commons (E&A), LLC
Deed Book 25317 Pg. 641
Tax I.D. 123-127-13
MUDD (CD) Zoning
with PED overlay

Sridar Narhari & Nagasravani Parlapalli
D.B. 28809 Pg. 44
Lot 5, Block 1
M.B. 230 Pg. 55
Tax I.D. 123-127-22
R-22MF Zoning

10'x18' OWNER/VISITOR PARKING SPACE

Approx. R/W MB 230-55)



Approx. R/W limit (per MB 230-55)

CONDITIONAL NOTES AND DEVELOPMENT STANDARDS:

GENERAL PROVISIONS:

- A) THE DEVELOPMENT OF THIS SITE WILL BE CONTROLLED BY THE STANDARDS DEPICTED ON THIS SITE PLAN AND BY THE STANDARDS SET FORTH IN THE CITY OF CHARLOTTE ZONING ORDINANCE AND APPLICABLE LAND DEVELOPMENT CODES. THE DEVELOPMENT DEPICTED ON THIS PLAN IS INTENDED TO REFLECT THE ARRANGEMENT OF THE PROPOSED SINGLE FAMILY ATTACHED TOWNHOME UNITS ON THIS SITE, BUT THE EXACT CONFIGURATION, PLACEMENT AND SIZE OF THE INDIVIDUAL SITE ELEMENTS MAY BE ALTERED OR MODIFIED WITHIN THE LIMITS PRESCRIBED BY THE CITY OF CHARLOTTE ZONING ORDINANCE DURING THE DESIGN DEVELOPMENT, CONSTRUCTION DOCUMENT/PERMITTING AND CONSTRUCTION PHASES AS ALLOWED UNDER THE PROVISIONS OF SECTION 6/207 OF THE ZONING ORDINANCE.
- B) THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES AND CODES, SUCH AS THOSE THAT REGULATE STREETS, DRIVEWAYS, SIDEWALKS, STORM WATER, EROSION CONTROL AND TREES MAY APPLY TO THE DEVELOPMENT OF THIS SITE.

PURPOSE:

- A) USES ALLOWED ON THE SUBJECT PROPERTY WILL BE LIMITED TO RESIDENTIAL SINGLE FAMILY ATTACHED DWELLING UNITS AND RELATED RESIDENTIAL ACCESSORY USES AS PERMITTED IN THE MUDD ZONING DISTRICT. NO NON-RESIDENTIAL USES SHALL BE PERMITTED AS PART OF THIS DEVELOPMENT PROJECT.
- B) THE SUBJECT PARCEL WILL BE SUBDIVIDED VIA A RECORDED PLAT INTO 9 TOWNHOME FOR SALE, FEE SIMPLE LOTS AND 1 OR MORE COMMON AREAS

TRANSPORTATION:

- A) THIS SITE WILL HAVE ACCESS VIA A SINGLE PRIVATE 26 FOOT WIDE 2 WAY DRIVEWAY (RIGHT IN/RIGHT OUT) ONTO KENILWORTH AVENUE IN THE LOCATION AS GENERALLY IDENTIFIED ON THIS SITE PLAN. THE INTERNAL DRIVEWAY SHALL BE TWO-WAY AND A MINIMUM OF 18 FEET IN WIDTH.
- B) IMPROVEMENTS BY THE PETITIONER ALONG THE FRONTAGE OF THE SUBJECT PROPERTY WITH KENILWORTH AVENUE SHALL INCLUDE THE CLOSURE OF TWO EXISTING DRIVEWAYS WITH STANDARD CURB AND GUTTER FOLLOWED BY AN 8 FOOT WIDE TREE PLANTING STRIP, FOLLOWED BY A 6 FOOT WIDE SIDEWALK.
- C) PETITIONER WILL DEDICATE 40 FEET OF RIGHT-OF-WAY ALONG THE FRONTAGE WITH KENILWORTH AVE., AS MEASURED FROM THE EXISTING CENTERLINE OF KENILWORTH AVE.
- D) THE PETITIONER SHALL INSTALL TWO ACCESSIBLE RAMPS ALONG WITH ANY NECESSARY SIGNAGE AT THE INTERSECTION OF KENILWORTH AVENUE AND FILMORE STREET. THE EXACT CONFIGURATION AND LOCATION OF THIS PEDESTRIAN CROSSING WILL BE DETERMINED BY CDOT DURING THE CONSTRUCTION PERMITTING PHASE.

TREES, SCREENING AND LANDSCAPING:

- A) THE DEVELOPMENT OF THIS SITE SHALL ADHERE TO THE STANDARDS OF THE CITY OF CHARLOTTE TREE ORDINANCE AND OF THE CITY OF CHARLOTTE ZONING ORDINANCE FOR SCREENING.
- B) A FOUR FOOT TALL MASONRY WALL WILL BE INSTALLED TO SCREEN ALL UTILITY TRANSFORMERS AND HVAC UNITS. MASONRY SCREEN WALL TO MATCH UNITS

REFUSE COLLECTION:

- A) SUBJECT TO OBTAINING A R.O.W. ENCROACHMENT AGREEMENT FROM CDOT, THE AREA BETWEEN THE BACK OF CURB AND SIDEWALK ALONG THE PROPOSED DEVELOPMENTS FRONTAGE WITH KENILWORTH AVENUE WILL BE PLANTED WITH MONDO GRASS (OPHIPOGON JAPONICUS) AT 6 INCHES APART IN ORDER TO PROVIDE A HARDY AND THICK GROUND COVER FOR THE OF TRASH AND RECYCLE BINS FOR COLLECTION BY THE CITY OF CHARLOTTE. PETITIONER WILL NOT BE REQUIRED TO INSTALL MONDO GRASS IF AN ENCROACHMENT AGREEMENT CAN'T BE OBTAINED.

LIGHTING:

- A) ALL EXTERIOR SITE LIGHTING SHALL BE DECORATIVE PEDESTRIAN LIGHTING VIA A COMBINATION OF LIGHT FIXTURES ON POLES (NOT TO EXCEED 20 FEET IN HEIGHT), AND LOW LEVEL GROUND LIGHTING AND RESIDENTIAL SCALE FIXTURES MOUNTED ON THE EXTERIOR WALLS OF THE UNITS. ALL LIGHTING WILL BE DIRECTED INTO THE INTERIOR OF THE SITE.

CONDITIONAL NOTES AND DEVELOPMENT STANDARDS CONT.:

CATS:

- A) PETITIONER SHALL PROVIDE AND CONSTRUCT A PAD FOR THE EXISTING BUS STOP ON KENILWORTH AVE. PER CITY STANDARD DETAIL 60.01B. THE BUS STOP WILL BE LOCATED PER CATS DURING THE URBAN REVIEW PROCESS, SO THAT IT DOES NOT CONFLICT WITH THE TRASH AND RECYCLE BINS WHICH WILL BE TEMPORARILY STORED BEHIND THE EXISTING CURB ON KENILWORTH AVENUE DURING TRASH COLLECTION DAYS.

PHASING:

- A) THIS DEVELOPMENT WILL BE PERMITTED AND CONSTRUCTED IN ONE PHASE.

ARCHITECTURAL STANDARDS AND MATERIALS:

- A) THE EXTERIOR BUILDING MATERIALS USED ON THE PRINCIPAL BUILDINGS CONSTRUCTED ON SITE WILL BE A COMBINATION OF PORTIONS OF THE FOLLOWING: BRICK, CEDAR SIDING, PRECAST STONE, SYNTHETIC STONE, CEMENTITIOUS SIDING AND TRIM, DECORATIVE METAL PANELS, DECORATIVE BLOCK AND/OR WOOD. VINYL AS A BUILDING MATERIAL MAY ONLY BE USED ON WINDOWS, SOFFITS, ATTIC VENTS AND ON HANDRAILS/RAILINGS.
- B) ATTACHED TO THE REZONING PLAN ARE SCHEMATIC ARCHITECTURAL RENDERINGS OF THE ELEVATIONS OF THE BUILDING TO BE CONSTRUCTED ON THE SITE THAT ARE INTENDED TO DEPICT THE GENERAL CONCEPTUAL ARCHITECTURAL STYLE AND CHARACTER OF THE BUILDING. ACCORDINGLY, THE ELEVATIONS OF THE BUILDING TO BE CONSTRUCTED ON THE SITE SHALL BE DESIGNED AND CONSTRUCTED SO THAT THEY ARE SUBSTANTIALLY SIMILAR IN APPEARANCE TO THE SCHEMATIC ARCHITECTURAL RENDERINGS THAT ARE ATTACHED TO THE REZONING PLAN. CHANGES AND ALTERATIONS WHICH DO NOT MATERIALLY CHANGE THE OVERALL CONCEPTUAL ARCHITECTURAL STYLE AND CHARACTER ARE PERMITTED BASED UPON FINAL DESIGN/CONSTRUCTION DRAWINGS.
- C) THE UNIT CONSTRUCTED ON THE SITE ABUTTING KENILWORTH AVENUE WILL BE DESIGNED AND CONSTRUCTED SO THAT AN ENTRANCE DOOR AND WINDOWS ON THE SIDE OF THE UNIT ARE ORIENTED TO KENILWORTH AVENUE, AND CONNECTED BY A FIVE (5) FOOT MINIMUM WIDTH SIDEWALK TO THE PUBLIC SIDEWALK. THIS FACADE WILL BE DESIGNED TO ACHIEVE A 'FRONT DOOR' APPEARANCE.
- D) EACH ATTACHED UNIT WILL HAVE A ONE CAR GARAGE, ON THE LOWER LEVEL.
- E) ADDITIONALLY, ONE VISITOR PARKING SPACE WILL BE PROVIDED ON THE PARKING PAD IN FRONT OF EACH GARAGE AS DEPICTED ON THE REZONING PLAN.
- F) EACH UNIT WILL HAVE A PRIVATE COURT YARD.
- G) THE MAJORITY OF THE ROOFS ON THE BUILDINGS WILL BE CONSTRUCTED UTILIZING ARCHITECTURAL SHINGLES. PORTIONS OF THE ROOFS MAY ALSO BE CONSTRUCTED UTILIZING METAL OR CEDAR SHINGLES.
- H) EACH UNIT SHALL HAVE A MAXIMUM OF 2 BEDROOMS.

DEVELOPMENT DATA SUMMARY

TAX PARCEL ID: 123-127-20, 123-127-21, 123-127-98
EXISTING SITE AREA: 18,247 SF (0.4188 ACRES)
EXISTING ZONING: R-22MF AND B-1
PROPOSED ZONING: MUDD(CD)
EXISTING LAND USE: VACANT
PROPOSED LAND USE: 9 ATTACHED SINGLE FAMILY RESIDENTIAL UNITS
PROPOSED DENSITY: 21.48 DU/ACRE

MUDD ZONING DIMENSIONAL REQUIREMENTS

FUTURE R/W: MEASURED 40' FROM EXISTING KENILWORTH AVE. CENTERLINE
SETBACK: REQUIRED: 14' FROM EXISTING BACK OF CURB
PROVIDED: 28' FROM EXISTING BACK OF CURB
MINIMUM LOT AREA: NONE REQUIRED
MINIMUM SIDE YARDS: NONE REQUIRED, 10' BUILDING SEPARATION ADJACENT TO RESIDENTIAL USE
MINIMUM REAR YARD: NONE REQUIRED, 10' BUILDING SEPARATION ADJACENT TO RESIDENTIAL USE
MAXIMUM HEIGHT: 45' (NOT TO EXCEED 3 STORIES)

PARKING

- 1 SPACE/UNIT = 9 SPACES REQUIRED
- 9 SPACES PROVIDED (IN GARAGE)
- + 1 EXTERIOR PARKING PAD (AVAILABLE FOR EACH UNIT) OR 1 PARKING SPACE PER BEDROOM

BICYCLE PARKING: PER ORDINANCE STANDARDS

- PARKING ON THE ADJACENT KENILWORTH COMMONS AND HARRIS TEETER SHOPPING CENTERS WILL BE PROHIBITED AND LANGUAGE TO THIS AFFECT SHALL BE PART OF THE HOA DOCUMENTS

TREE SAVE / OPEN SPACE CALCULATIONS

- 0.4188 AC x 15% = 0.06282 AC (2,737 SF) REQUIRED
- 0.0803 AC (3,496 SF) PROVIDED (19.16%)
- OPEN SPACE PROPOSED: 2,175 SF (11.92%)
- (OPEN SPACE IS IN ADDITION TO TREE SAVE AREA, AND INCLUDES THE PRIVATE COURTYARDS AND PLANTING AREAS FOR EACH UNIT OUTSIDE THE GARAGE)

WASTE MANAGEMENT:

- INDIVIDUAL ROLLOUT CONTAINERS FOR BOTH TRASH & RECYCLE. TRASH AND RECYCLE CANS WILL BE STORED INSIDE GARAGES AS STATED IN HOA DOCUMENTS.

REVISED FOR PUBLIC HEARING: PETITION #2015-013

Teresa L. Hawkins
RLA, ASLA, LEED-AP
21326 Bethel Church Road
Cornelius, NC
704-892-8625(p/f)

Land Planning • Landscape Architecture • Urban Design

O.E.G.
ORSBORN ENGINEERING GROUP
610 EAST MOREHEAD STREET, SUITE 106
CHARLOTTE, NC 28202
P | 704-749-1432 • F | 704-749-1433

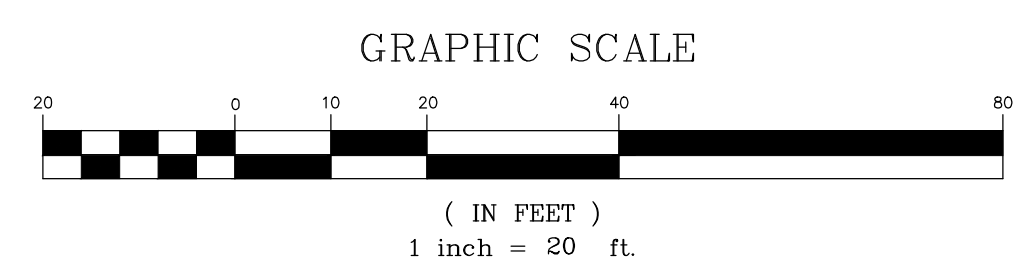
PROJECT: MEETING STREET TOWNHOMES @ KENILWORTH
1620-1624 KENILWORTH AVE., CHARLOTTE, NC
DEVELOPED BY: MEETING STREET HOMES & COMMUNITIES
1930 ABBOTT ST., SUITE 400
CHARLOTTE, NC 28203

SHEET TITLE: ILLUSTRATIVE SITE PLAN/TECHNICAL DATA SHEET

03/20/15	REVISED PER 3/16/15 STAFF PRE-HEARING ANALYSIS
03/16/15	REVISED PER DCA AND NEIGHBORHOOD COMMENTS
02/13/15	REVISED PER STAFF PRE-HEARING ANALYSIS - DATED 2/16/15
02/04/15	REVISED PER CITY DEPARTMENT/STAFF COMMENTS, DCA & ADJACENTS.
01/16/15	REVISED PER CITY DEPARTMENT/STAFF COMMENTS, DCA & ADJACENTS.
	REVISIONS

JOB #	2014-10 & 14040
DATE: (INITIAL FILING)	11/24/14
SCALE:	1" = 20'
DRAWN BY:	JAW
APPROVED BY:	TLH/JCO

RZ-2



March 23, 2015, 7:05am By: JAW/TLH P:\31000\kenilworth townhomes\DWG\14040 RZ-2.dwg

