

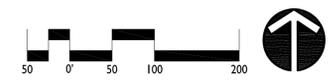
VICINITY MAP
NTS

SITE DEVELOPMENT DATA

Site Acreage:	+/- 39 Ac.
Tax Parcels:	047-23-108
Proposed Zoning:	B-2(CD)
Existing Zoning:	CC
Existing Uses:	Vacant Pad
Proposed Principal Uses:	Automobile sales and repair excluding tractor-trucks and accompanying trailer units allowed within the B-2 District.
Maximum Gross Development:	Up to 275,000 square feet of floor area.
Maximum Building Height:	Maximum height is 40'.

SITE LEGEND

- SITE ACCESS
- PUBLIC STREET
- PRIVATE STREET
- PRIMARY BUILDING FRONTAGE
- SECONDARY BUILDING FRONTAGE



- REVISIONS:
- (1) 05.17.13 REVISE PER STAFF COMMENTS
 - (2) 06.14.13 REVISE PER STAFF COMMENTS
 - (3) 08.13.13 REVISE PER STAFF COMMENTS
 - (4) 09.20.13 REVISE PER STAFF COMMENTS
 - (5) 10.23.13 REVISE PER STAFF COMMENTS
 - (6) 10.23.13 REVISE PER STAFF COMMENTS



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University City Auto Mall

Rezoning Petition 2013-052 | 10.25.2013

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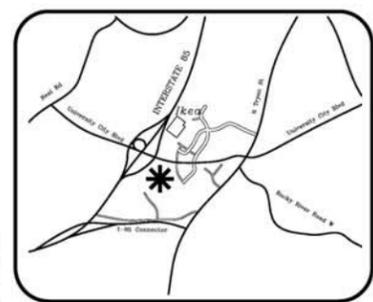
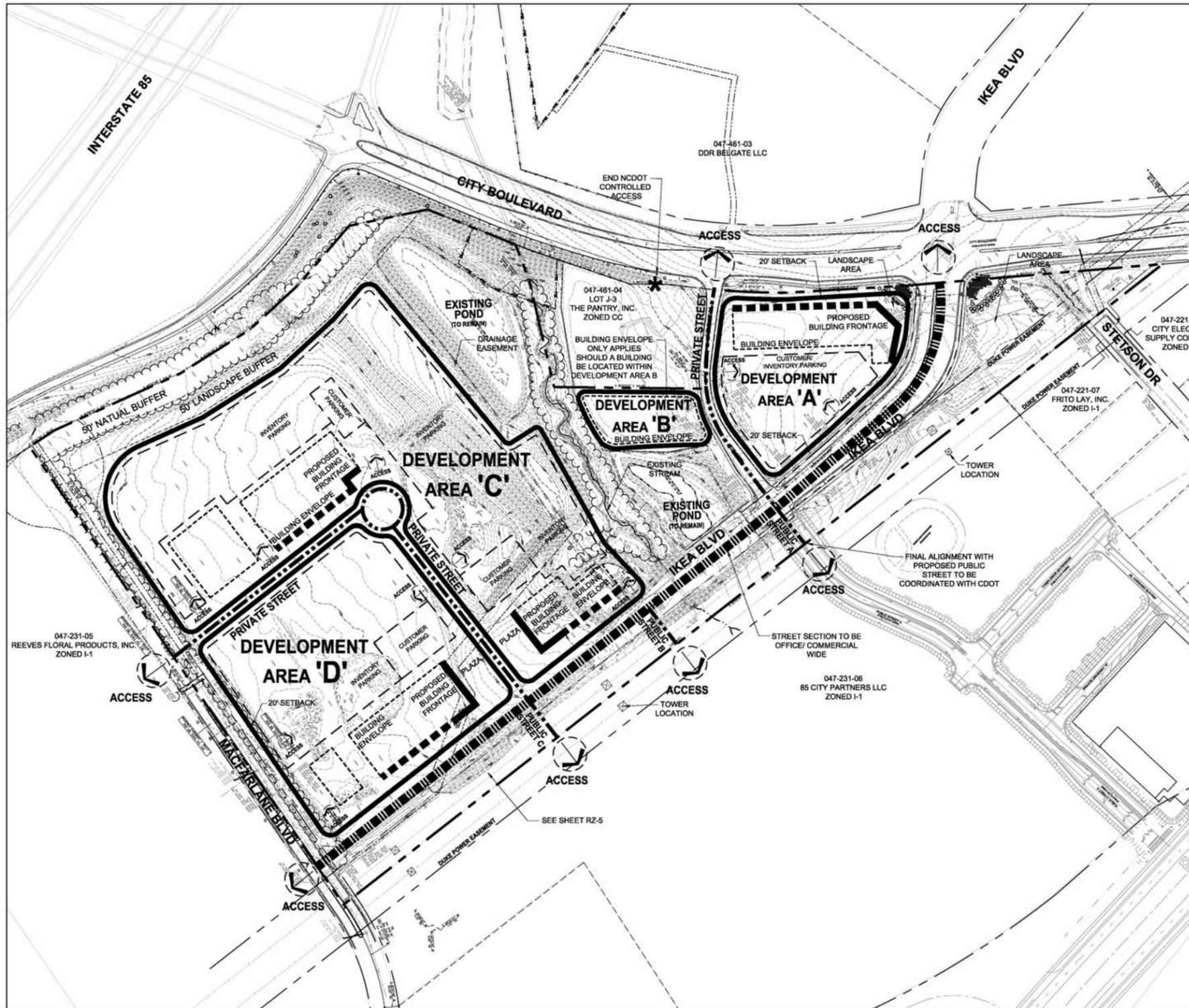
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University City Auto Mall



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UNIVERSITY CITY AUTO MALL
REZONING PETITION No. 2013-052
 THE ARDEN GROUP
 TECHNICAL DATA SHEET

REVISIONS:

(1)	06.17.13	REVISE PER STAFF COMMENTS
(2)	07.15.13	REVISE PER STAFF COMMENTS
(3)	08.13.13	REVISE PER STAFF COMMENTS
(4)	09.20.13	REVISE PER STAFF COMMENTS
(5)	10.07.13	REVISE PER STAFF COMMENTS
(6)	10.23.13	REVISE PER STAFF COMMENTS

DATE: MARCH 22, 2013
 DESIGNED BY: JST
 CHECKED BY: JST
 SCALE: 1/8"=1'-0"
 PROJECT #: 1013013
 SHEET #: RZ-1



Conceptual Site Plan Note:
 This graphic is intended only to illustrate a conceptual site plan. The building configuration, parking and access points are subject to final engineering and will be finalized during permitting of the project.



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Development Standards:

Rezoning Petition No. 2013-052 (University City Auto Mall)

Site Development Data:

- Site Acreage: +/- 39 Ac.
- Tax Parcel #: 047-23-108
- Existing Zoning: CC
- Proposed Zoning: B-2(CD)
- Existing Uses: Vacant Pad
- Proposed Principal Uses: Automobile sales and repair excluding tractor-trucks and accompanying trailer units allowed within the B-2 District.
- Maximum Gross Square feet of Development: Up to 275,000 square feet of floor area
- Maximum Building Height: Maximum height is 40'.

1. General Provisions

a. These Development Standards form a part of the Rezoning Plan associated with the Rezoning Petition filed by The Arden Group (the "Petitioner") to accommodate development of an Auto Mall cluster which includes up to five (5) building envelopes within which principal and accessory uses will be located. The site is approximately 39 acres that is part of the Belgate Development, east of Interstate 85, located immediately south of IKEA, along University City Boulevard (the "Site").

b. The development depicted on this plan is intended to reflect the arrangement of proposed uses on the site, but the exact configuration, placement and size of individual site elements may be altered or modified within the limits prescribed by the Ordinance under Section 6.207.

2. Permitted Uses & Development Area

a. Subject to the restrictions and limitations listed below, the site may be developed with up to 275,000 s.f. of gross heated floor area of Automobile sales and repair uses, excluding tractor-trucks and accompanying trailer units. Accessory uses for the site may include, but are not limited to the following:

1. Car Wash
2. Body Shop
3. Automotive sales and repair
4. Automotive service stations, including minor adjustments, repairs and lubrications
5. Automotive repair garages, including engine overhaul, body and paint shops and similar operations
6. Automobile, truck and utility trailer rental

b. Prior to approval by the City Council of 2013-052, the Petitioner and the owner of the property covered by Petition No. 2008-059 will file an administrative site plan amendment for Petition 2008-059 that will adjust the development rights:

- i. Reduce the development rights pertaining to retail and restaurant uses to 388,000 s.f. for Parcels B1, B2, B3, B4 and B5. The maximum gross floor area for retail, restaurant and office uses (excluding hotels) shall be adjusted to 438,000 s.f.

If Petition No. 2013-052 is approved by the City Council, the adjustments will be binding and may not be added back to the Petition through the administrative amendment process. If Petition 2013-052 is not approved by the City Council, the administrative site plan amendment will be null and void.

c. No single building on the site will exceed a total of 75,000 s.f. Development Area A will limit building size to 45,000 s.f.

d. Five (5) Building Envelopes have been identified within each Development Area, as shown on the Technical Data Sheet. The intent of these building envelopes is to designate the general location and number of building areas within which buildings may be constructed. For Areas A, C & D, accessory customer parking, accessory inventory parking areas, freestanding structures for accessory uses and Plazas and outdoor activity may be located within the building envelopes provided that a principal structure is also located within the building envelope. For Area B, the building envelope standards and conditions only applies should a building be located within this Development Area. Development Area B may contain only Inventory Parking without a building.

e. Building Frontage Lines have been defined below and are generally depicted within Development Areas A, B, C & D on the Technical Data Sheet. The buildings constructed within these Development Areas shall generally adhere to the following Building Frontage standards:

- i. Buildings shall extend along the full length of the Building Frontage(s) as shown on the Technical Data Sheet. The Planning Director or his/her designee may approve an alternative configuration that meets the intent of the plan shown.
- ii. Building Frontage(s) will include the main entrance to the building
- iii. Building Frontage(s) will be located to front along public and private streets with no vehicle parking between the building frontage and the street, as depicted on the Technical Data Sheet. Vehicular Display will be permitted between the Building Frontage and Streets, with the exception of Development Area A.
- iv. Building Frontage(s) have been further defined as Primary and Secondary on the Technical Data Sheet.

- Primary Building Frontage(s) shall have fenestrations of 60% of the linear dimension of the building façade.
- Secondary Building Frontage(s) shall have fenestrations of 30% of the linear dimension of the building façade.

The fenestration referenced will be an opening in the exterior building wall with windows and doors with glazing, allowing light and views between the interior and exterior and not screened from view. Glazing of windows and doors shall be transparent under all lighting conditions. Fenestrations shall extend from the sill or from a base of contrasting material, to at least the height of the door head.

- v. Vehicle Service Shops' overhead entry doors shall not be located along the Building Frontage.

f. Inventory Parking areas have been designated on the Technical Data Sheet to show the general arrangement of these Inventory Parking areas to the Building Envelopes and Building Frontages within each Development Area. Inventory Parking areas are provided for the general purposes of storing and displaying vehicles intended for or awaiting sale or service.

3. Transportation Improvements

a. Access to the Site will be from City Boulevard, IKEA Boulevard extension, and MacFarlane Boulevard as generally depicted on the Technical Data Sheet.

b. The number and location of access points to the Development Areas will be determined during the building permit process. Approximate driveway locations are shown on the Technical Data Sheet.

c. The Private Street shown between Development Areas A & B is an existing road that will remain.

d. The IKEA Boulevard extension will connect to MacFarlane Boulevard as generally depicted on the Technical Data sheet. This will be an Office-Wide street classification.

e. The Petitioner plans to provide or cause to be provided on its own or in cooperation with other parties who may implement portions of the improvements, the improvements set forth below to benefit overall traffic patterns throughout the area in accordance with the following implementation provisions, subject to the approval of Duke Energy which owns a power line easement through which such improvements would be built.

1. Provide dedication of right-of-way up to 77 feet as shown on U-05A of the Charlotte Land Development Standards Manual prior to issuance of a final certificate of occupancy or at the time CATS constructs the connection from Lynx Blue Line Connector Road to Ikea Boulevard, whichever occurs first.
2. Public Street R/W dedication (2 access points shown) to the edge of the Site for connection to Parcel 047-231-06 as depicted on the Technical Data Sheet. Provide public street dedication of up to 77 feet of right-of-way as shown on U-05A (office commercial wide street classification) of the Charlotte Land Development Standards Manual prior to the issuance of the first certificate of occupancy.
3. The petitioner shall reserve right-of-way adjacent to Area C equal to 28.5 feet measured from the centerline of the existing easement to allow for the future extension of MacFarlane Boulevard prior to the issuance of the CO for Area C. The petitioner agrees to dedicate the right-of-way at such time development occurs on tax parcel 047-21-05. All setbacks for Area C shall be measured and established from the future curbline of MacFarlane Boulevard.

f. Macfarlane Boulevard shall be built and extended to connect to the east-west private street and/or the east-west private street shall be aligned to connect to the existing portion of MacFarlane Boulevard.



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4. Architectural Standards

a. Building Materials: Architectural Design Guidelines have been provided with this Rezoning Petition in order to define the Project’s architectural character. The exterior elevations of all buildings constructed on the site will be constructed using the Design Guidelines, provided that a mixture of allowable exterior building materials listed below can change among individual buildings. The Design Guidelines provide examples of building design and includes allowable building materials, photographic examples of allowable materials, and a series of conceptual vignettes. The conceptual vignettes are intended only to illustrate examples of a building façade that meets the criteria set forth in the Architectural Standards and is not a specific or binding building elevation nor are they a full list of possibilities.

1. Allowable exterior building materials
 - a. Primary – External vertical elevations (exclusive of windows, doors and overhead entry doors) of all buildings shall be constructed with a minimum of 70% of the following materials:
 - i. Brick (comprising a minimum of 50% of external vertical elevations)
 - ii. Natural Stone (or synthetic equivalent)
 - iii. Architecturally finished Precast Concrete
 - iv. Decorative/ architecturally finished concrete Masonry Units (CMU)
 - b. Secondary – External vertical elevations (exclusive of windows, doors, and overhead entry doors) of all buildings shall be limited to a maximum of 30% of the following materials:
 - i. Stucco
 - ii. Exterior Insulation & Finish Systems (EIFS)
 - iii. Pre-finished Architectural Metal Panel Systems
 - iv. Tile Cladding Systems (i.e. Porcelain, Ceramic, Granite, etc)

Metal entry elements may be incorporated within building facades to accommodate tenant brand images

2. Prohibited exterior building materials
 - a. Vinyl Siding
 - b. Cementitious Fiberboard
 - c. Pre-engineered metal building materials (excluding 1(b)iii above)
 - d. Aluminum Horizontal Siding
 - e. Concrete Masonry Units (CMU) without architecturally or decorative finish
 - f. “Stamp type” brick and stone finishings
- b. Building Base: A recognizable base shall be provided. A building base shall be maintained through material transitions and building articulation. Building Base materials shall include, but are not limited to the following:
 - i. Thicker walls, ledges or sills
 - ii. Integrally textured, colored, or patterned materials such as stone or other masonry
 - iii. Raised planters which are integral to the building façade

A building base is not required at full height fenestrations (i.e. curtain wall systems), and key entry elements (i.e. brand walls).
- c. Massing and development scale: Facades shall be designed to reduce the mass, scale and uniform monolithic appearance of large unadorned walls, while providing visual interest. Large building facades shall be divided into distinct massing elements utilizing methods including but not limited to: façade offsets, pilasters or change in materials. A roof line more than 90 feet in length shall include a change in height. This change in height shall align with the vertical building bays.
- d. The building façade along the frontages shall provide a 2 story appearance to define the street edge. This can be achieved with window placement and building articulation. Upper windows shall relate with the building’s bays and windows on the ground floor.

e. Service Areas Screening – Building service areas (dumpsters, refuse areas and building loading docks) of all buildings will be screened from view with masonry walls. The walls will be a minimum of 5 feet in height and will be designed to match and complement the building architecture of the adjacent buildings. Architectural features such as, but not limited to, banding, medallions, changes in color or design features or materials will be provided to avoid a sterile, unarticulated blank treatment of such walls.f. Roof top HVAC and related mechanical equipment will be screened from public view at grade from the nearest public street.





BRICK

Brick and other masonry materials may be used. Bond patterns and surface finish are to be cohesive with the building character. Brick may be smooth, light textured, heavy textured or tumbled. Careful craftsman-like attention to detail is required at all connections and transitions to other materials.

- Edge details must prevent visible unfinished edges. Exposed edges must be mitered, chamfered or polished to match adjacent surface finish.
- The transition between brick and adjoining materials must be defined by use of reveals.
- Brick must be protected against staining and discoloration by means of sealers appropriate to the material
- Natural, through body color and painted brick are acceptable.
- Decorative CMU may be smooth, split face, ground face, scored or polished. Standard gray CMU is not acceptable as an exposed finish.



STONE

Granite, marble, limestone, slate and other natural and simulated stone products may be used. Stone may be polished, unpolished, sandblasted, flamed, honed, split-face or carved. Careful craftsman-like attention to detail is required at all connections and transitions to other materials.

- Edge details must prevent visible unfinished edges. Exposed edges must be mitered, chamfered or polished to match adjacent surface finish.
- The transition between stone and adjoining materials must be defined by use of reveals.
- Stone must be protected against staining and discoloration by means of sealers appropriate to the material



PRECAST CONCRETE

Many precast concrete products are currently available that may be acceptable for use. Precast may be form finished, etched, sandblasted, polished or stained. Precast elements shall not be monolithic, articulation shall be introduced through reveals, joints, patterns and other detailing to the panel surface. Specific color effects achieved through varying sands, aggregates and pigments are acceptable. Patterned form liners are acceptable. Coarse aggregate finishes are not acceptable

- Edge details must prevent visible unfinished edges. Exposed edges must be mitered, chamfered or finished to match adjacent surface finish.
- The transition between precast concrete and adjoining materials must be defined by use of reveals.
- Precast concrete must be protected against staining and discoloration by means of sealers appropriate to the material.



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STUCCO

Stucco finishes may be considered for limited applications, provided the finish texture is a light dash, sand or smooth finish. Stucco finishes should be used in combination with other high quality materials such as stone, brick or metal and not be the primary material.

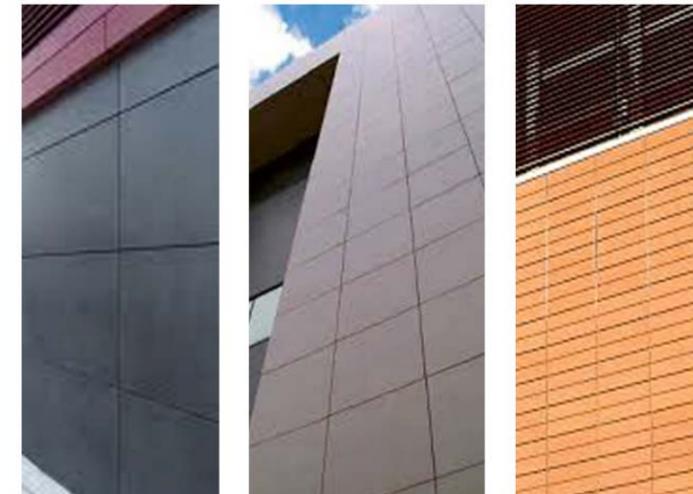
- The transition between stucco and adjoining materials must be defined by use of reveals.
- Stucco must be protected against staining and discoloration by means of sealers appropriate to the material



EXTERIOR INSULATION AND FINISH SYSTEMS (EIFS)

EIFS finishes may be considered for limited applications, provided the finish texture is a light dash, sand or smooth finish. EIFS finishes should be used in combination with other high quality materials such as stone, brick or metal and not be the primary material.

- The transition between EIFS and adjoining materials must be defined by use of reveals.
- EIFS must be protected against staining and discoloration by means of sealers appropriate to the material



TILE CLADDING SYSTEMS

Tile cladding systems may be used in diverse applications. Its use is encouraged to introduce light, decorative texture or graphic quality to the facade.

- Porcelain, ceramic or glass tiles in glazed or natural finishes may be used as accents and in limited field applications. Patterns used over large areas are expected to have a sophisticated, well executed design concept.
- The transition between tile and adjoining materials must be defined by use of reveals.
- Tile systems must be protected against staining and discoloration by means of sealers appropriate to the material.
- All tile must be carefully detailed at outside corners with bull nose edges or special corner trims.

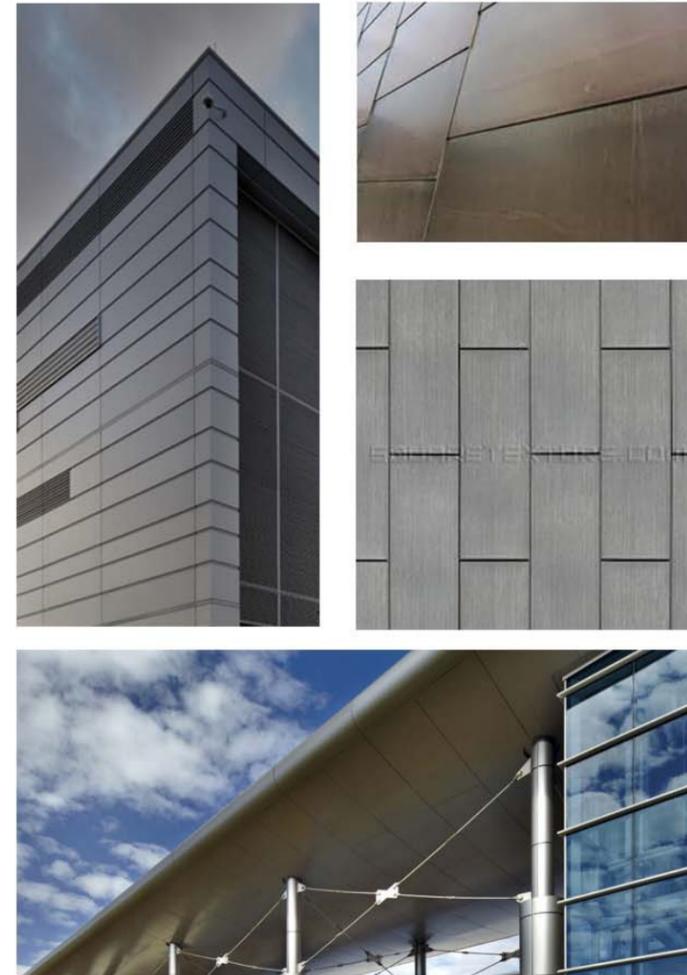


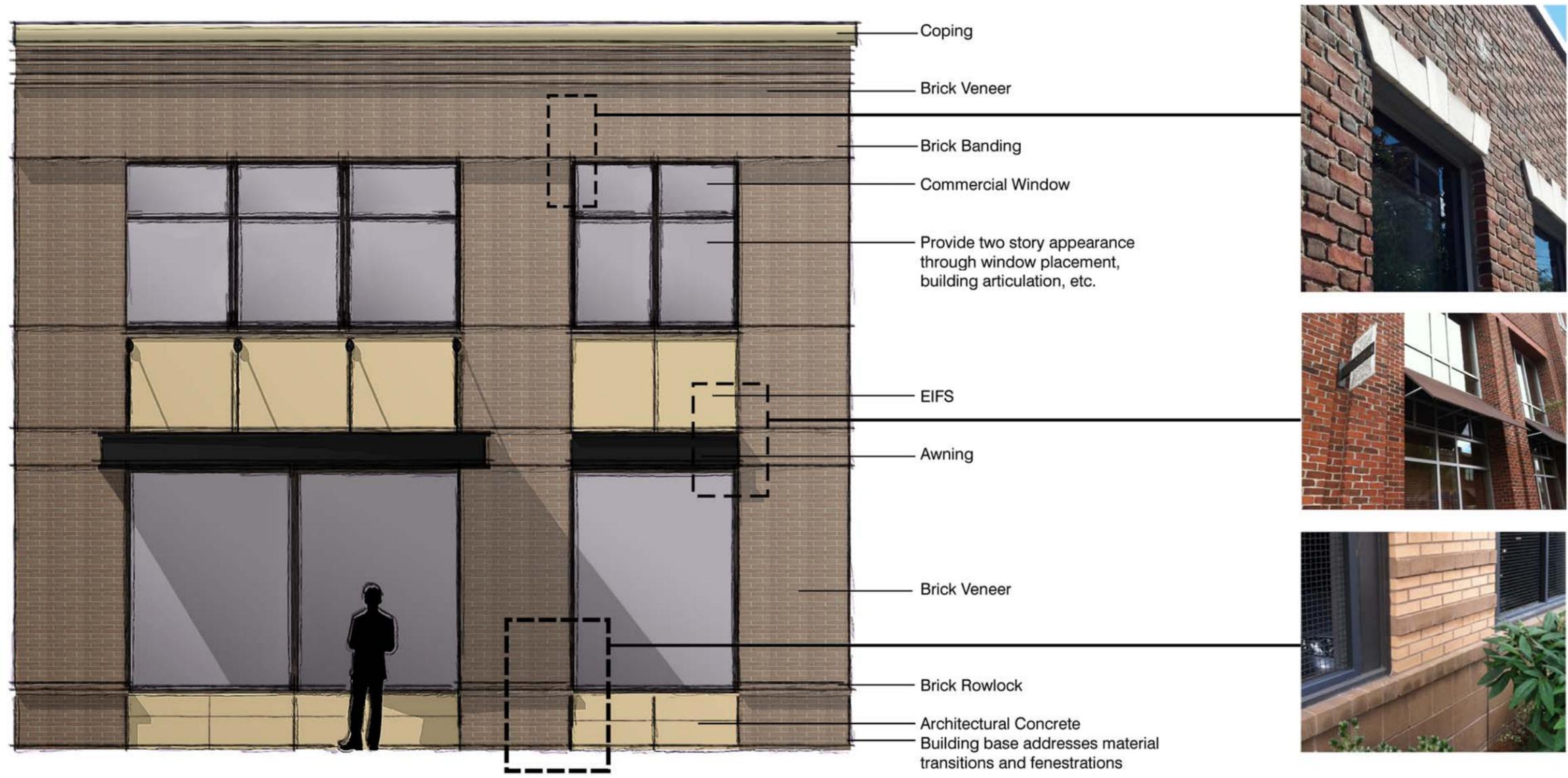
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PREFINISHED ARCHITECTURAL METAL PANEL SYSTEMS

Prefinished architectural metal panel systems may be used. Fabrication must be either heavy gauge material or thinner gauge material shop laminated to solid backing. In no case is oil canning (resulting from light reflection from uneven or buckled surfaces), scratches, warps, dents, occlusions, visible seams or other imperfections allowed. Careful craftsman-like attention to detail is required at all connections and transitions to other materials.

- High quality is expected for all metal applications. Metal such as shop-painted aluminum and steel, stainless steel, solid brass, bronze, pewter or enamel coated steel may be used for hardware, trim and panels when well designed and detailed.
- Lap joints and seams must be even and straight.
- No visible fasteners.
- Edge details must prevent visible unfinished edges. Exposed edges must be mitered, chamfered or concealed.
- The transition between stone and adjoining materials must be defined by use of reveals.
- Sealants on natural metals are required to prevent tarnishing and must be maintained.
- Textured or brushed stainless steel, galvanized, sandblasted and etched metals are encouraged in creative applications.
- Unique treatments such as patina, weathered, etched and imprinted metals will be considered for accent features.





Primary Frontage Vignette

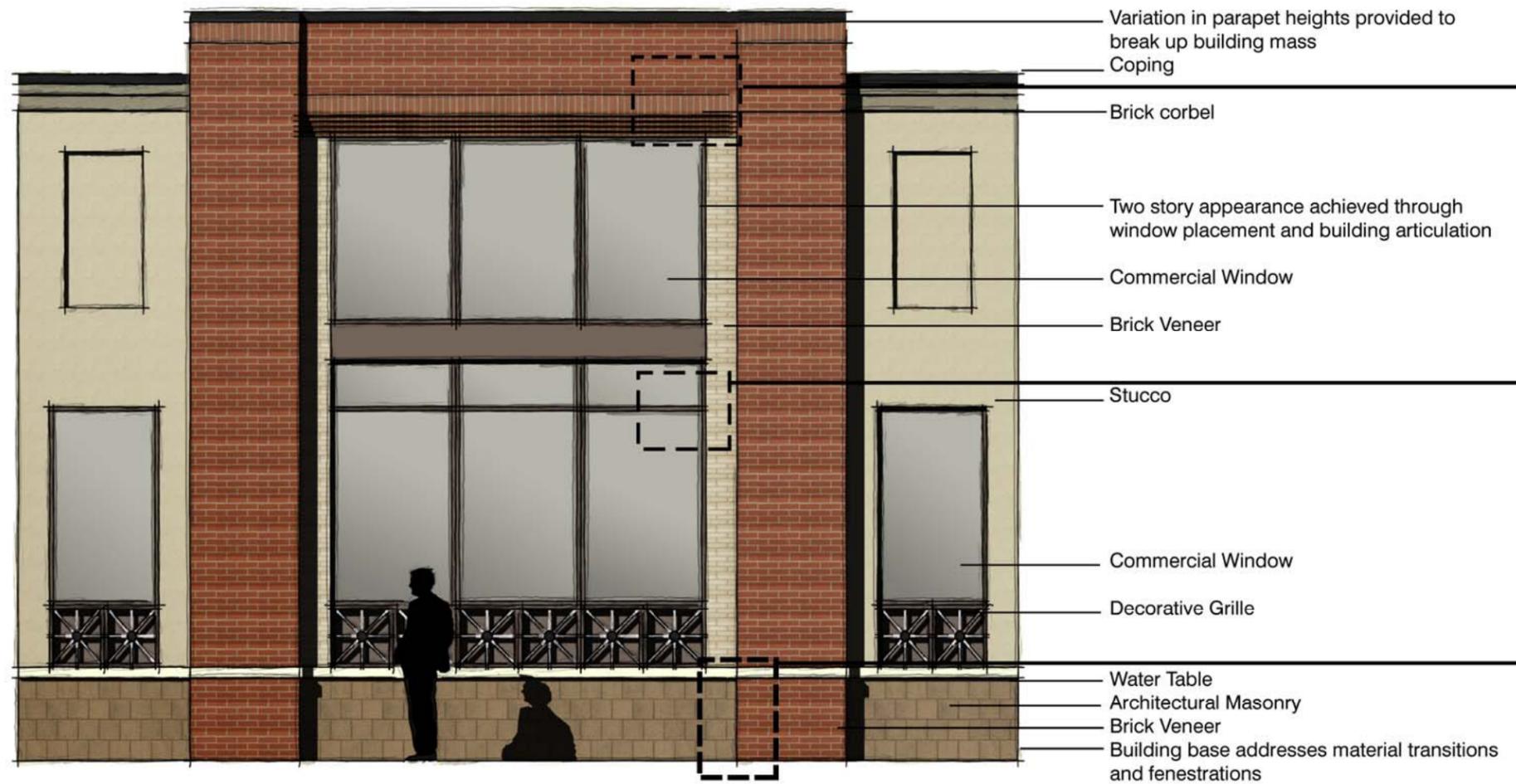
Greater than 60% Fenestration
 Primary Allowable Materials Minimum 70%
 Secondary Allowable Materials Maximum 30%

Conceptual Vignette

The intent of this conceptual vignette is to illustrate an example of a building façade that meets the criteria set forth in the Architectural Standards and is not a specific binding building elevation nor a full list of possibilities.



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Conceptual Vignette

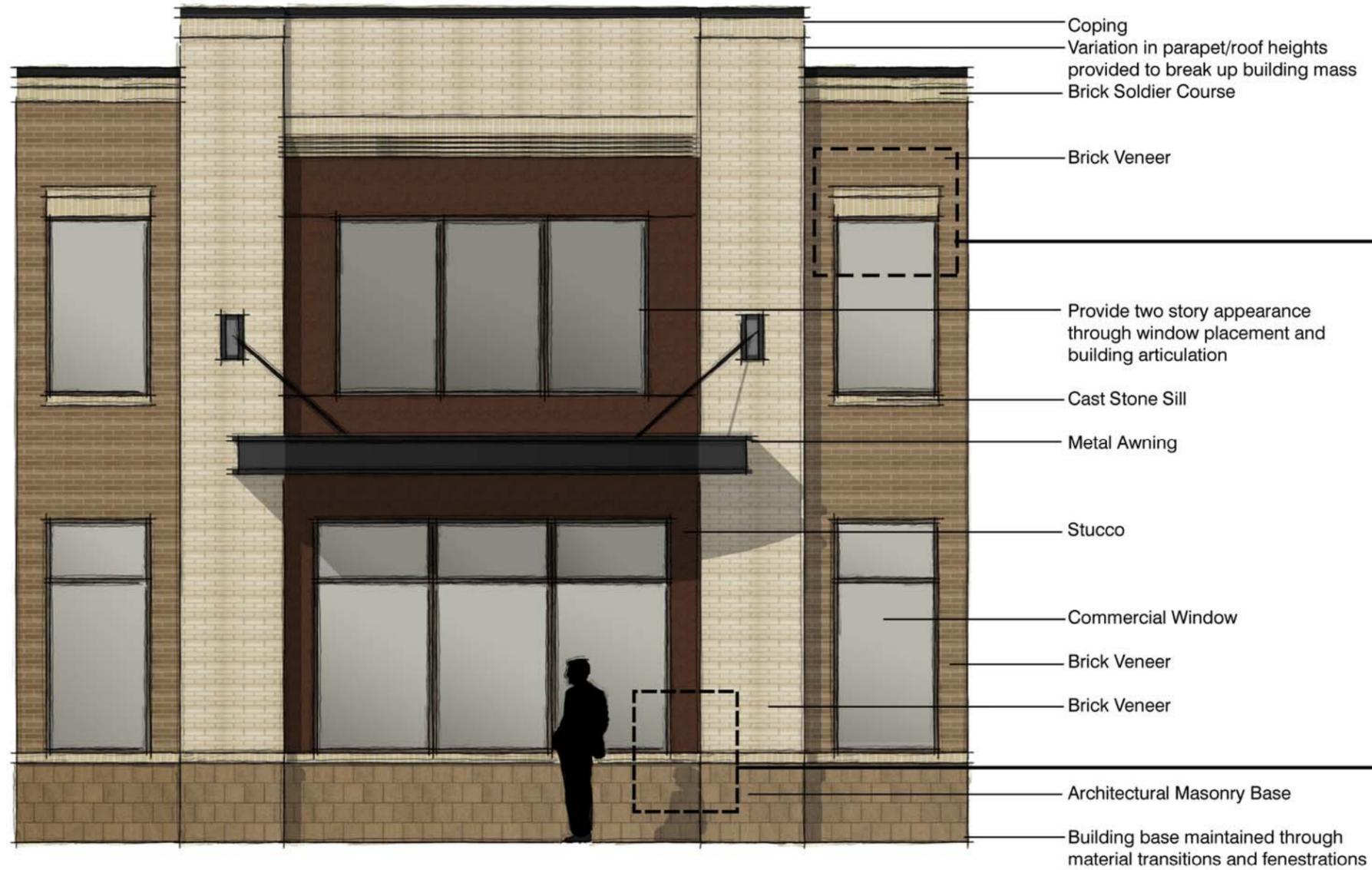
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Primary Frontage Vignette

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Primary Allowable Materials Minimum 70%
Secondary Allowable Materials Maximum 30%



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Conceptual Vignette

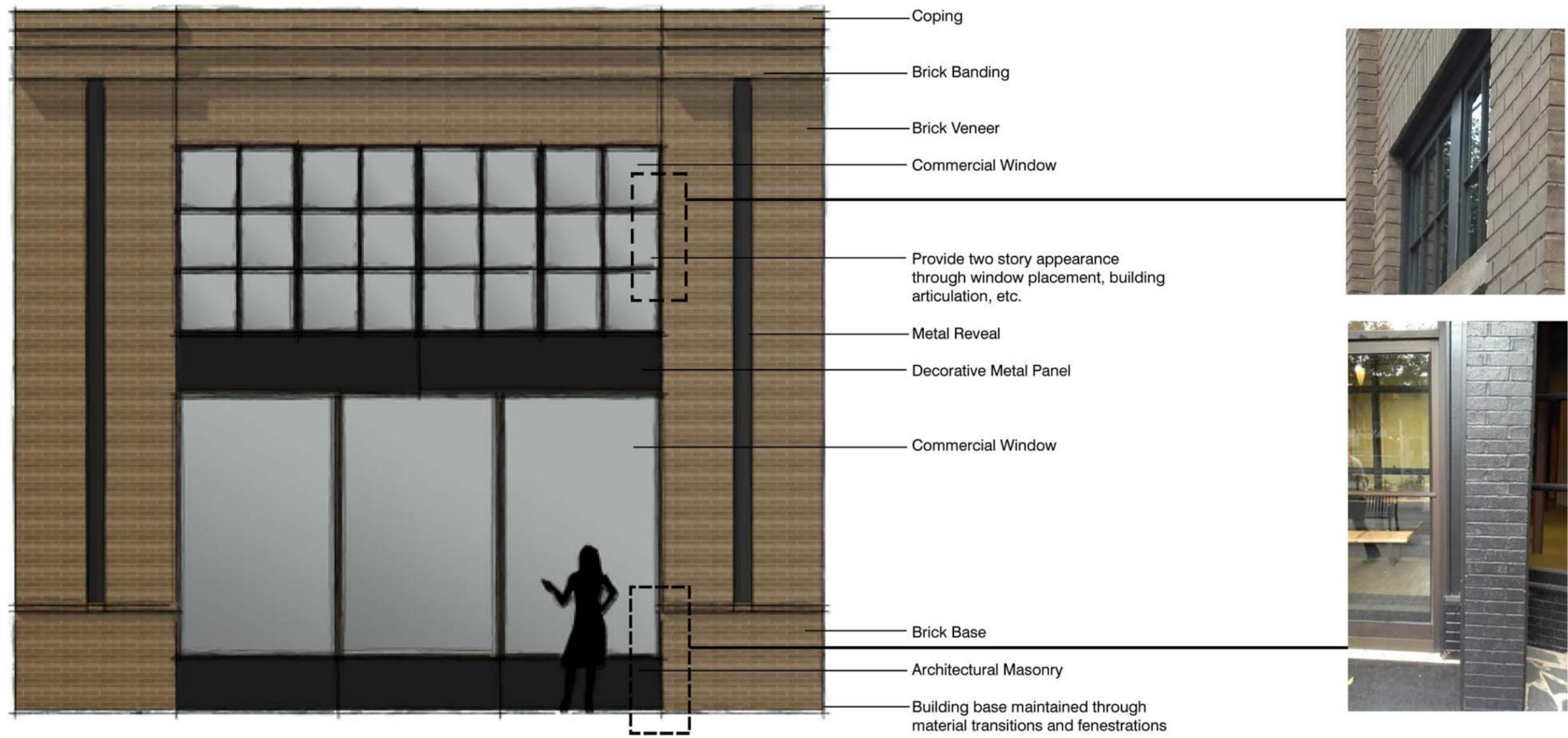
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- Coping
- Variation in parapet/roof heights provided to break up building mass
- Brick Veneer
- Architectural Metal Panel
- Provide two story appearance through window placement and building articulation
- Metal Awning
- Curtain Wall Window System
- Brick Veneer
- Brick Veneer
- Building base maintained through material transitions and fenestrations



Primary Frontage Vignette

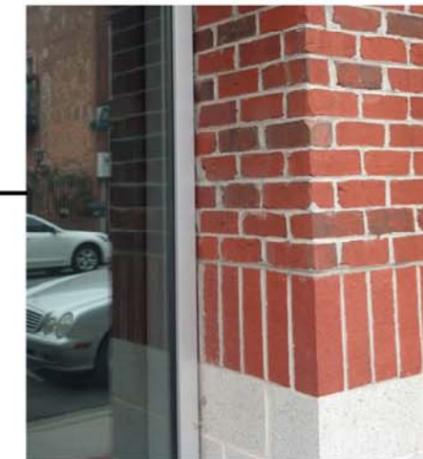
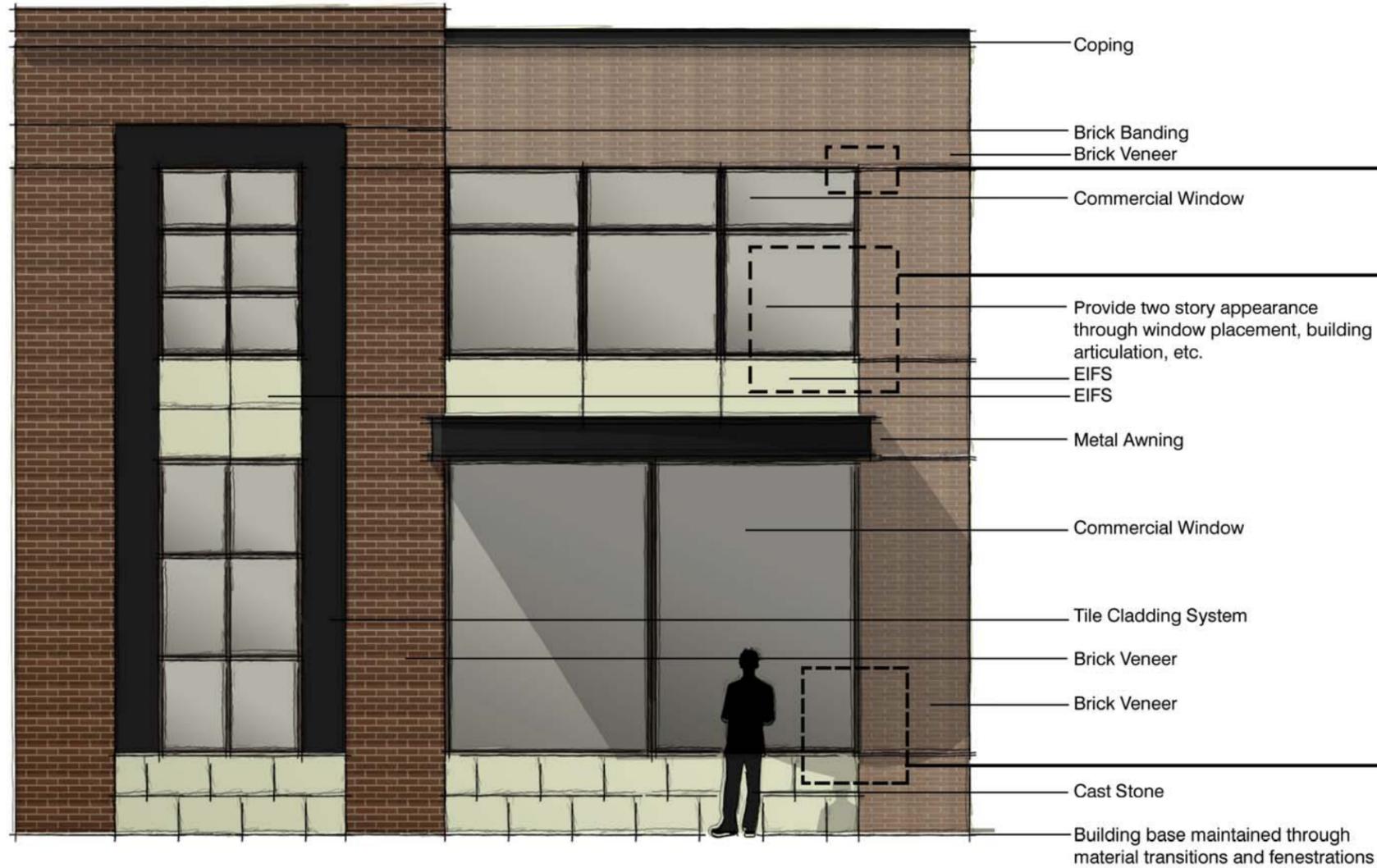
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Primary Frontage Vignette

Greater than 60% Fenestration
 Primary Allowable Materials Minimum 70%
 Secondary Allowable Materials Maximum 30%

Conceptual Vignette

The intent of this conceptual vignette is to illustrate an example of a building façade that meets the criteria set forth in the Architectural Standards and is not a specific binding building elevation nor a full list of possibilities.



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- Coping
- Brick Veneer
- Brick Banding
- Commercial Window
- Provide two story appearance through window placement, building articulation, etc.
- Decorative Light
- Recessed Brick Panel
- Metal Awning
- EIFS
- Brick Rowlock
- Brick Veneer



Conceptual Vignette

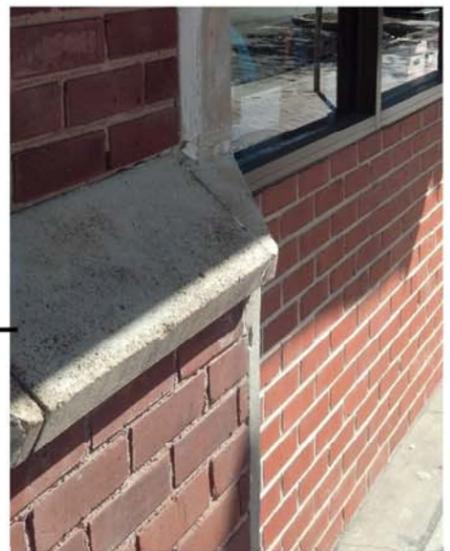
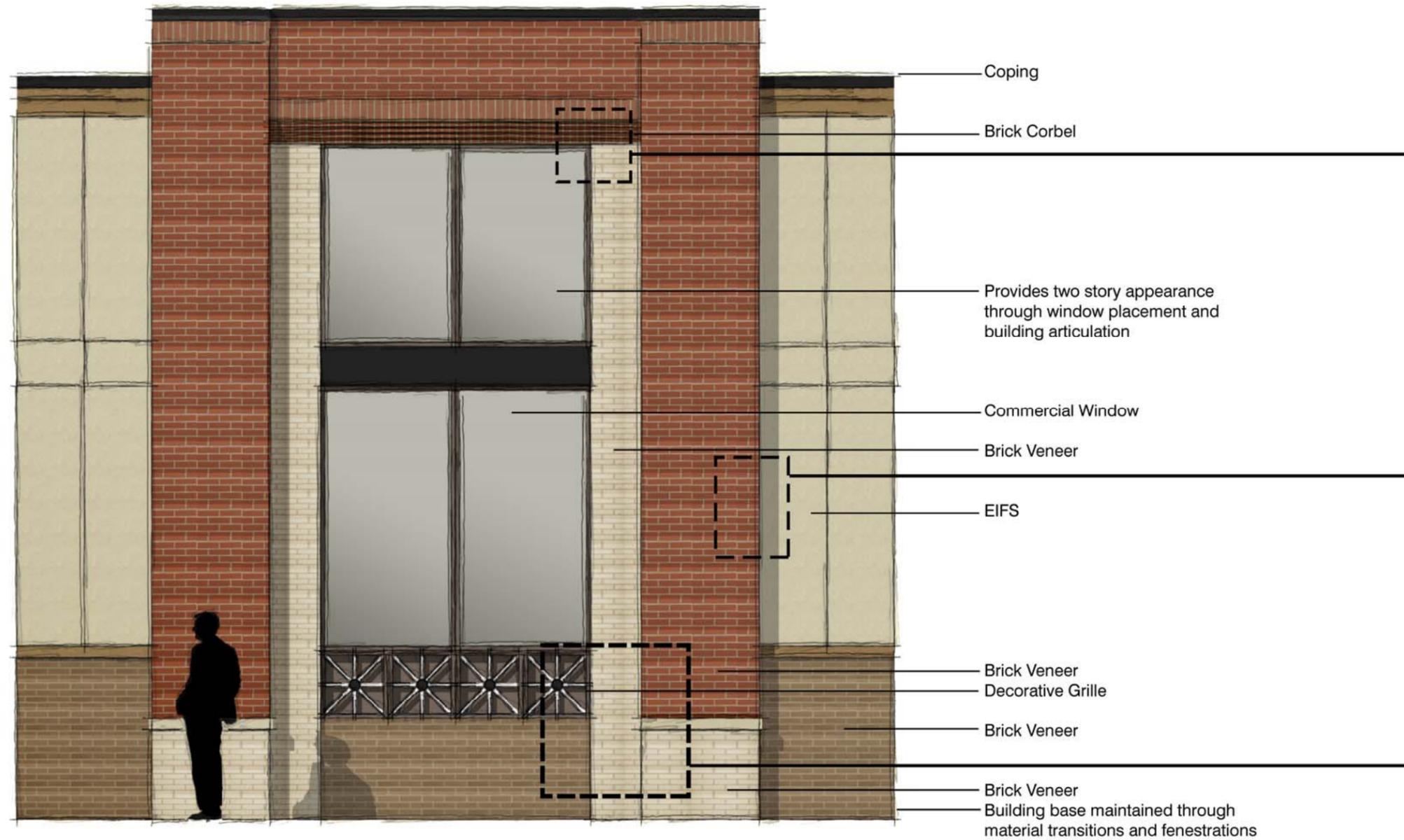
The intent of this conceptual vignette is to illustrate an example of a building façade that meets the criteria set forth in the Architectural Standards and is not a specific binding building elevation nor a full list of possibilities.

Secondary Frontage Vignette

Greater than 30% Fenestration
 Primary Allowable Materials Minimum 70%
 Secondary Allowable Materials Maximum 30%



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Conceptual Vignette

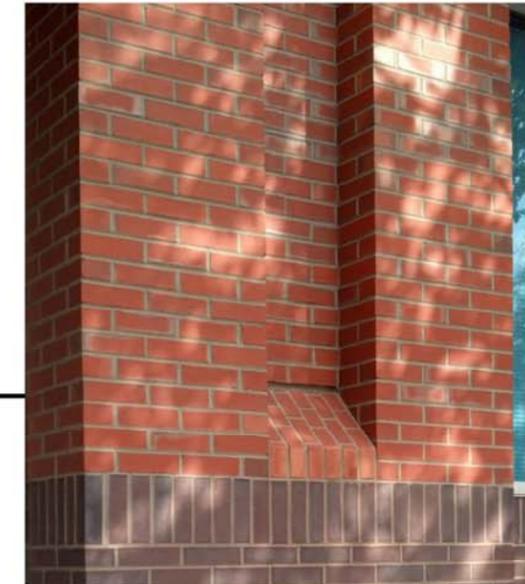
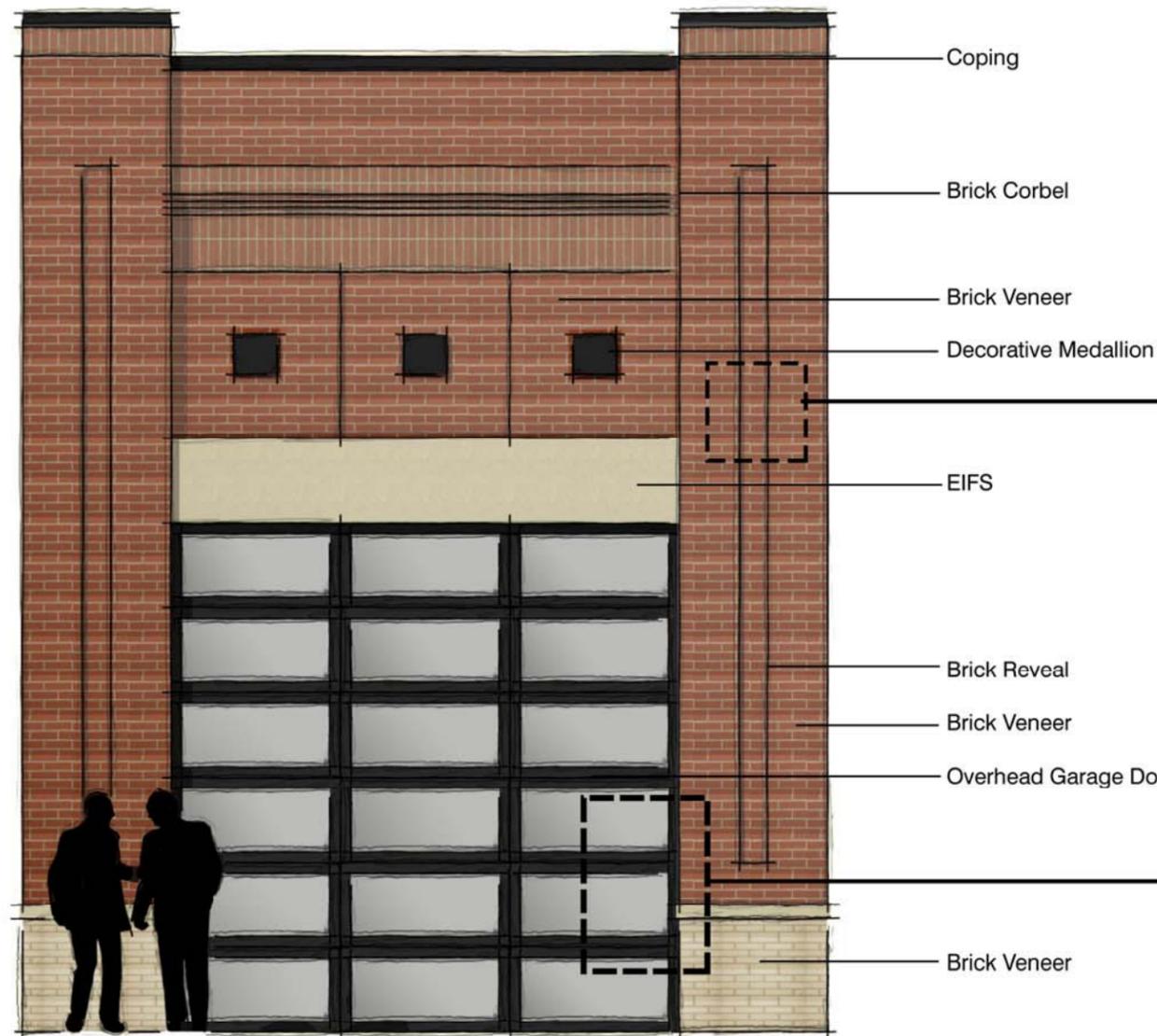
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Secondary Frontage Vignette

Greater than 30% Fenestration
 Primary Allowable Materials Minimum 70%
 Secondary Allowable Materials Maximum 30%



LandDesign.



Secondary Frontage Vignette

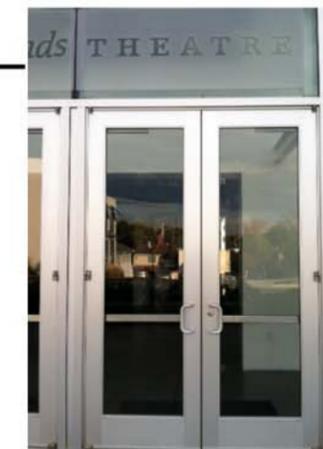
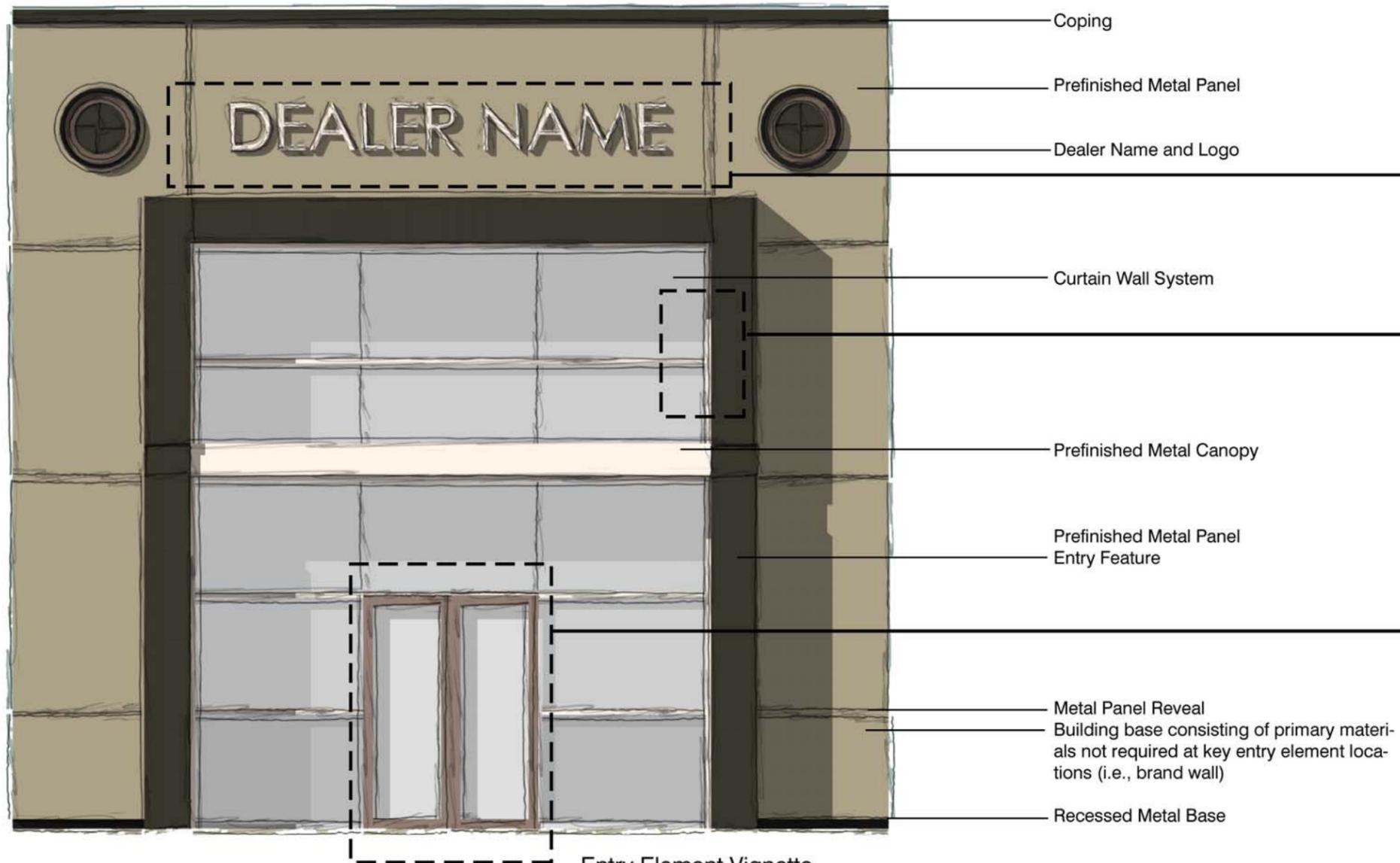
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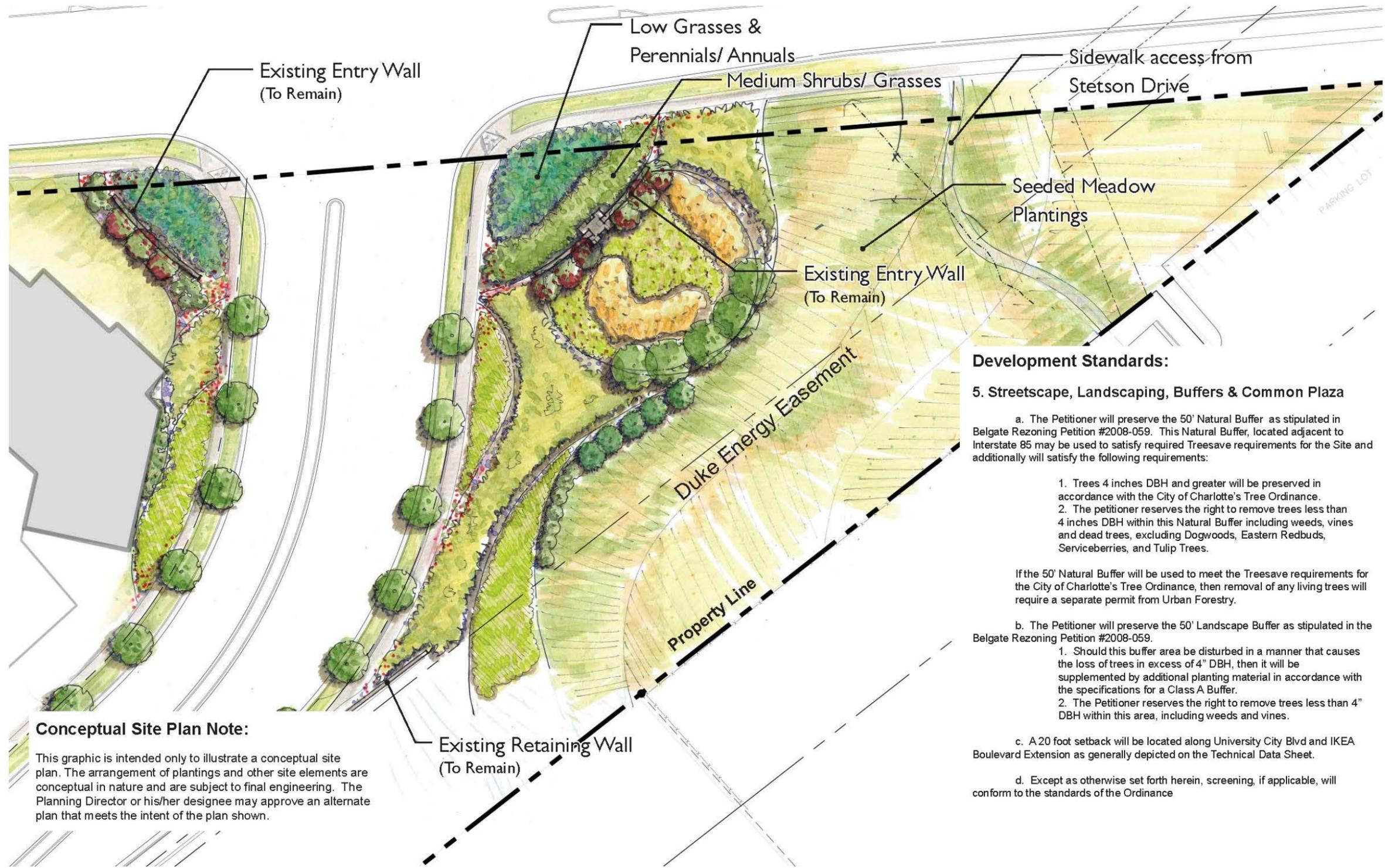
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Entry Element Vignette
 Greater than 60% Fenestration and 30% Secondary material are provided. This vignette does not individually meet the Primary allowable material requirements but is acceptable if the overall percentages of the building facade are in compliance.



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Conceptual Site Plan Note:
 This graphic is intended only to illustrate a conceptual site plan. The arrangement of plantings and other site elements are conceptual in nature and are subject to final engineering. The Planning Director or his/her designee may approve an alternate plan that meets the intent of the plan shown.

Development Standards:

5. Streetscape, Landscaping, Buffers & Common Plaza

a. The Petitioner will preserve the 50' Natural Buffer as stipulated in Belgate Rezoning Petition #2008-059. This Natural Buffer, located adjacent to Interstate 85 may be used to satisfy required Treesave requirements for the Site and additionally will satisfy the following requirements:

1. Trees 4 inches DBH and greater will be preserved in accordance with the City of Charlotte's Tree Ordinance.
2. The petitioner reserves the right to remove trees less than 4 inches DBH within this Natural Buffer including weeds, vines and dead trees, excluding Dogwoods, Eastern Redbuds, Serviceberries, and Tulip Trees.

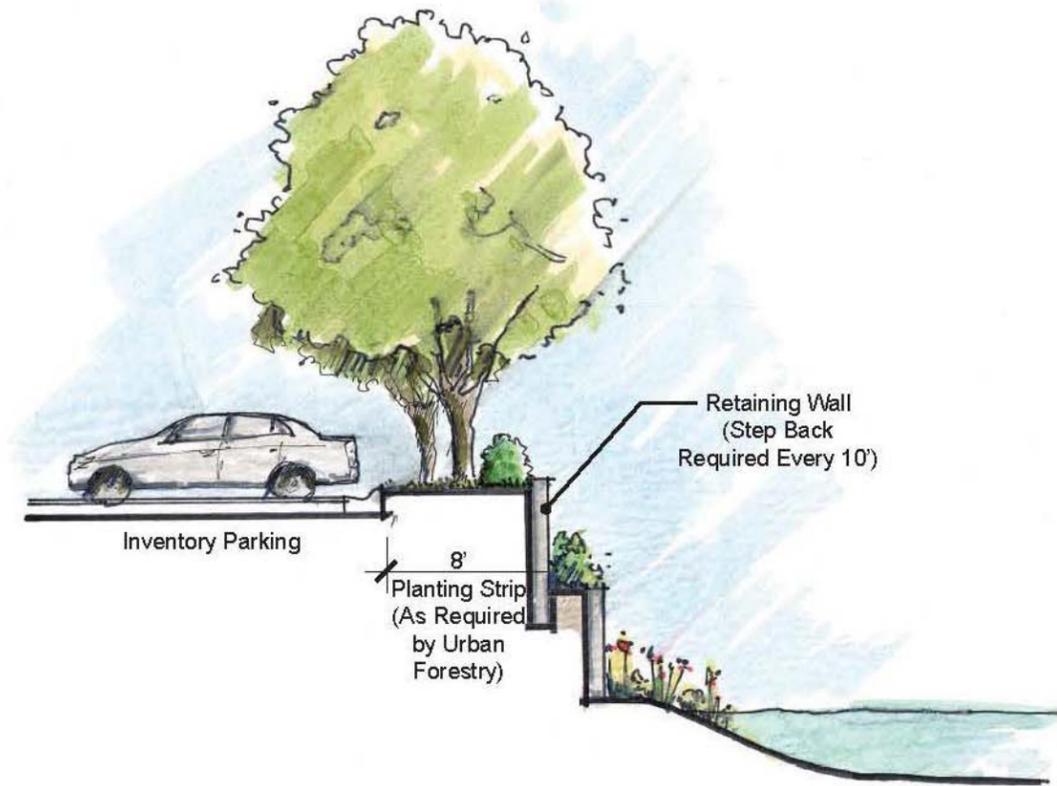
If the 50' Natural Buffer will be used to meet the Treesave requirements for the City of Charlotte's Tree Ordinance, then removal of any living trees will require a separate permit from Urban Forestry.

b. The Petitioner will preserve the 50' Landscape Buffer as stipulated in the Belgate Rezoning Petition #2008-059.

1. Should this buffer area be disturbed in a manner that causes the loss of trees in excess of 4" DBH, then it will be supplemented by additional planting material in accordance with the specifications for a Class A Buffer.
2. The Petitioner reserves the right to remove trees less than 4" DBH within this area, including weeds and vines.

c. A 20 foot setback will be located along University City Blvd and IKEA Boulevard Extension as generally depicted on the Technical Data Sheet.

d. Except as otherwise set forth herein, screening, if applicable, will conform to the standards of the Ordinance



Retaining Wall Section

Development Standards:

5. Streetscape, Landscaping, Buffers & Common Plaza

e. All new retaining walls located on the Site will be treated with landscaping to help soften their appearance. New retaining walls greater than 10 feet in height will have one step back for every 10 feet in vertical height. In addition, the top, bottom and each step back of the wall will be landscaped. Walls along stormwater facilities may exclude the landscape requirement along the base. The plant material will be a minimum of 24 inches in height at time of planting and will reach a minimum of 4 feet in height at maturity.



Development Standards:

5. Streetscape, Landscaping, Buffers & Common Plaza

f. Ikea Boulevard - The streetscape edge along Ikea Boulevard shall contain an enhanced streetscape within the public right-of-way as well as the 20 foot setback indicated on the Technical Data Sheet.

a. Ikea Boulevard Right-of-Way Streetscape – shall include street trees (large maturing species) planted on both sides of the street, spaced at 40' on center (subject to standards by Urban Forestry). Trees may be staggered on either side of the sidewalk and 10' sidewalk/trail, located within and outside of the right-of-way in order to create the aesthetic of a double row along the sidewalk.

b. Setback Edge – the 20 foot setback shall be landscaped with a variety of evergreen and deciduous shrubs, ornamental grasses and seasonal color. No less than 30 shrubs per 100 linear feet will be provided. For setback edges that do not contain Building Frontage, an additional row of trees spaced at 40' on center will be provided (subject to approval by Urban Forestry).

i. Low Accent Walls – will be provided at the Private Street entrance from Ikea Boulevard. These walls may be integrated into the design of the plaza area located at the corner.

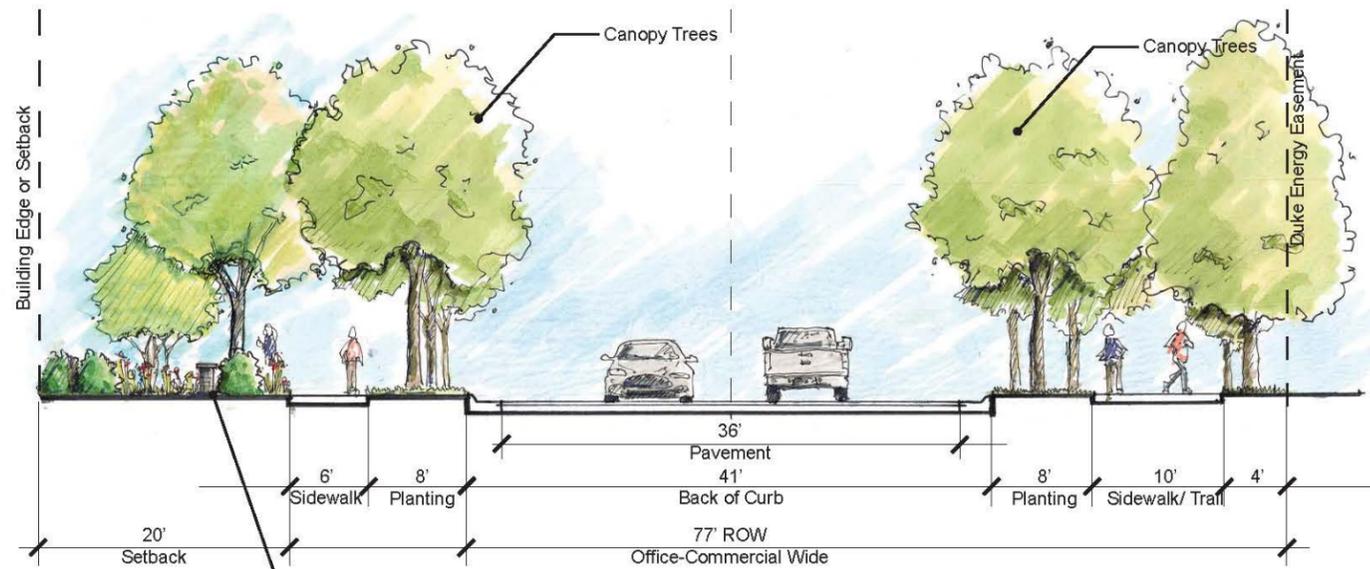
g. The Southeast and Southwest corners of the City Boulevard and IKEA Boulevard intersection will be designed to create a sense of entry that complements the monumentation for Belgate across City Boulevard. The existing monumentation will remain but may be added to, provided that it will comply with the ordinance.

h. An easement will be granted and a sidewalk connection will be constructed at the end of Stetson Drive, which will connect to the corner of Ikea Boulevard and City Boulevard and City Boulevard. This connection must be made prior to the issuance of the Certificate of Occupancy.

i. Sidewalk and streetscape improvements will be constructed along the frontage of MacFarlane Boulevard, in accordance with the office-wide street classification standard.

j. This Rezoning Petition agrees to carry over specific design standards from Rezoning Petition No. 2008-059:

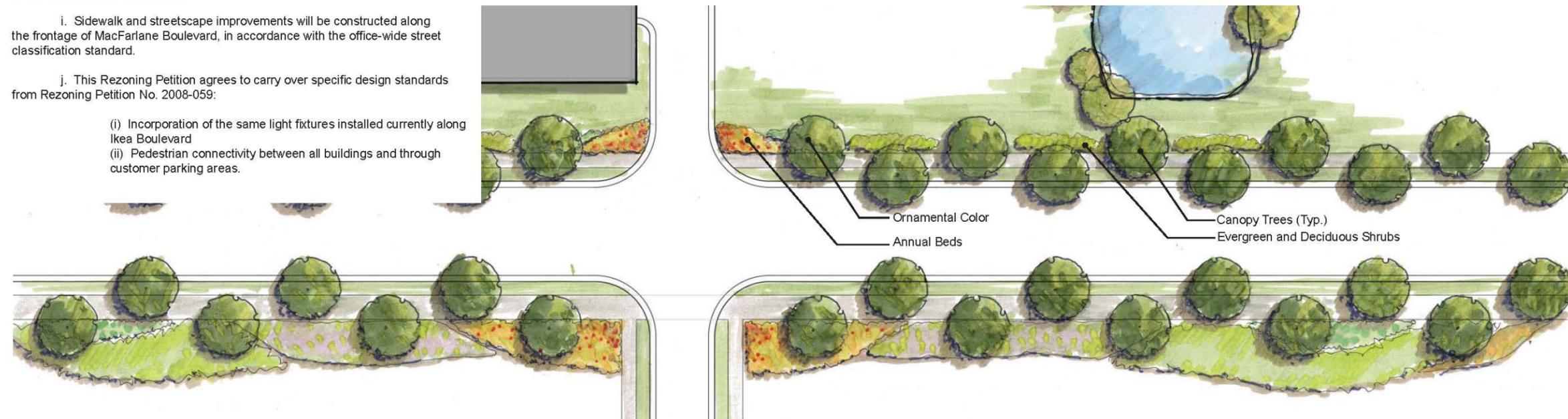
- (i) Incorporation of the same light fixtures installed currently along Ikea Boulevard
- (ii) Pedestrian connectivity between all buildings and through customer parking areas.



Low accent wall located at the corner of Ikea Blvd and the Private Street accessing Development Areas C & D. The wall may or may not be continuous along the edge.

Conceptual Site Plan Note:

This graphic is intended only to illustrate a conceptual site plan. The arrangement of plantings and other site elements are conceptual in nature and are subject to final engineering. The Planning Director or his/her designee may approve an alternate plan that meets the intent of the plan shown.

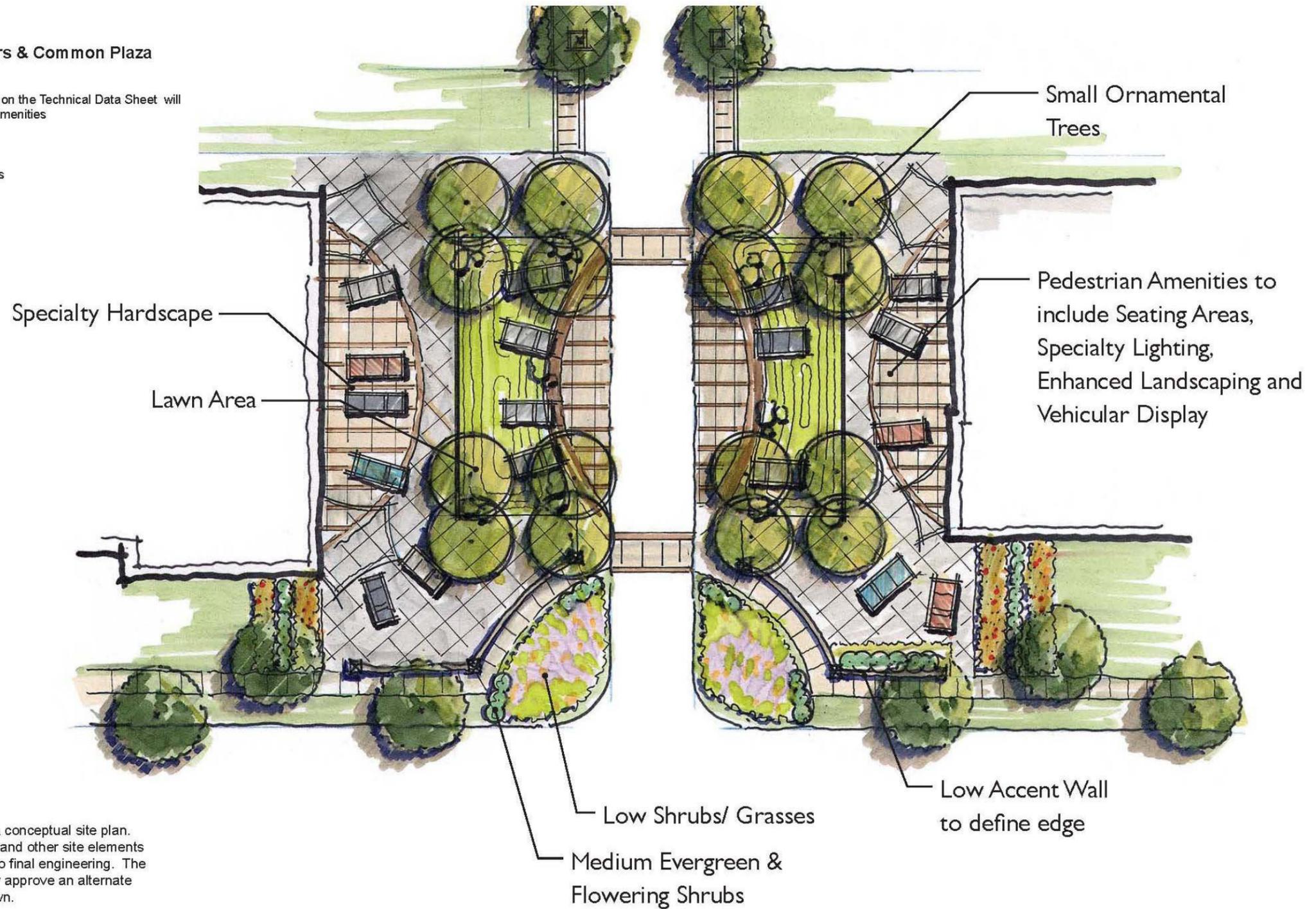


Development Standards:

5. Streetscape, Landscaping, Buffers & Common Plaza

k. The Common Plaza area shown on the Technical Data Sheet will contain a combination of the following pedestrian amenities

- Seating Areas
- Specialty Hardscape Surfaces
- Enhanced Landscape Features
- Vehicular Display Areas



Conceptual Site Plan Note:

This graphic is intended only to illustrate a conceptual site plan. The arrangement of hardscape, plantings and other site elements are conceptual in nature and are subject to final engineering. The Planning Director or his/her designee may approve an alternate plan that meets the intent of the plan shown.



LandDesign.

Development Standards:

Rezoning Petition No. 2013-052 (University City Auto Mall)

6. Environmental Features

- a. The Petitioner shall comply with the Charlotte City Council approved and adopted Post Construction Controls Ordinance.
- b. The location, size and type of storm water management systems depicted on the Rezoning Plan is subject to review and approval as part of the full development plan submittal and is not implicitly approved with this Petition. Adjustments may be necessary in order to accommodate actual storm water treatment requirements and natural site discharge points.
- c. The Site will comply with the Tree Ordinance.

7. Signage

- a. Signage as allowed by the Ordinance may be provided. The Site will be viewed as a Planned Development. The petitioner reserves the right to utilize the Sign Flexibility provisions of the Ordinance (Section 13.110) to implement a master signage plan for the site, provided however that all new signs will be monument style, not to exceed 10 feet in height. No billboards will be permitted on site.

8. Lighting

- a. All Site lighting fixtures will be designed and/or capped to direct light toward the Site and away from adjoining properties.
- b. Freestanding lights will be limited to a height of 25'.

