

DEVELOPMENT DATA:

ADDRESS / PARCEL DATA
 723 West Sugar Creek Road
 Parcel ID: 08705749
 Description: DB 18567, Page 272
 Date Acquired: 4/5/2005

BUILDING DATA
 Building Area: 1025 Sq. Ft.
 Number of Stories: 1
 Building Height: 12' (To Eave)
 Lot Area: 30,853 Sq. Ft.

ZONING
 Existing: R-4
 Proposed: O-1 (CD)
 Current Use: Single Family Residential
 Proposed Use: General / Medical Office

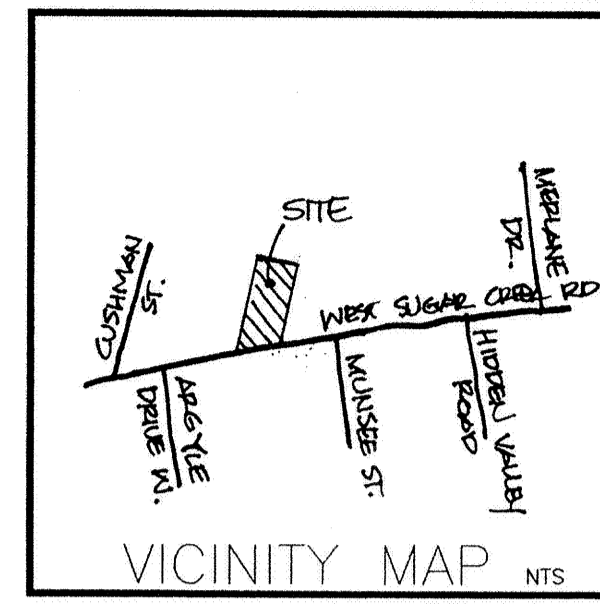
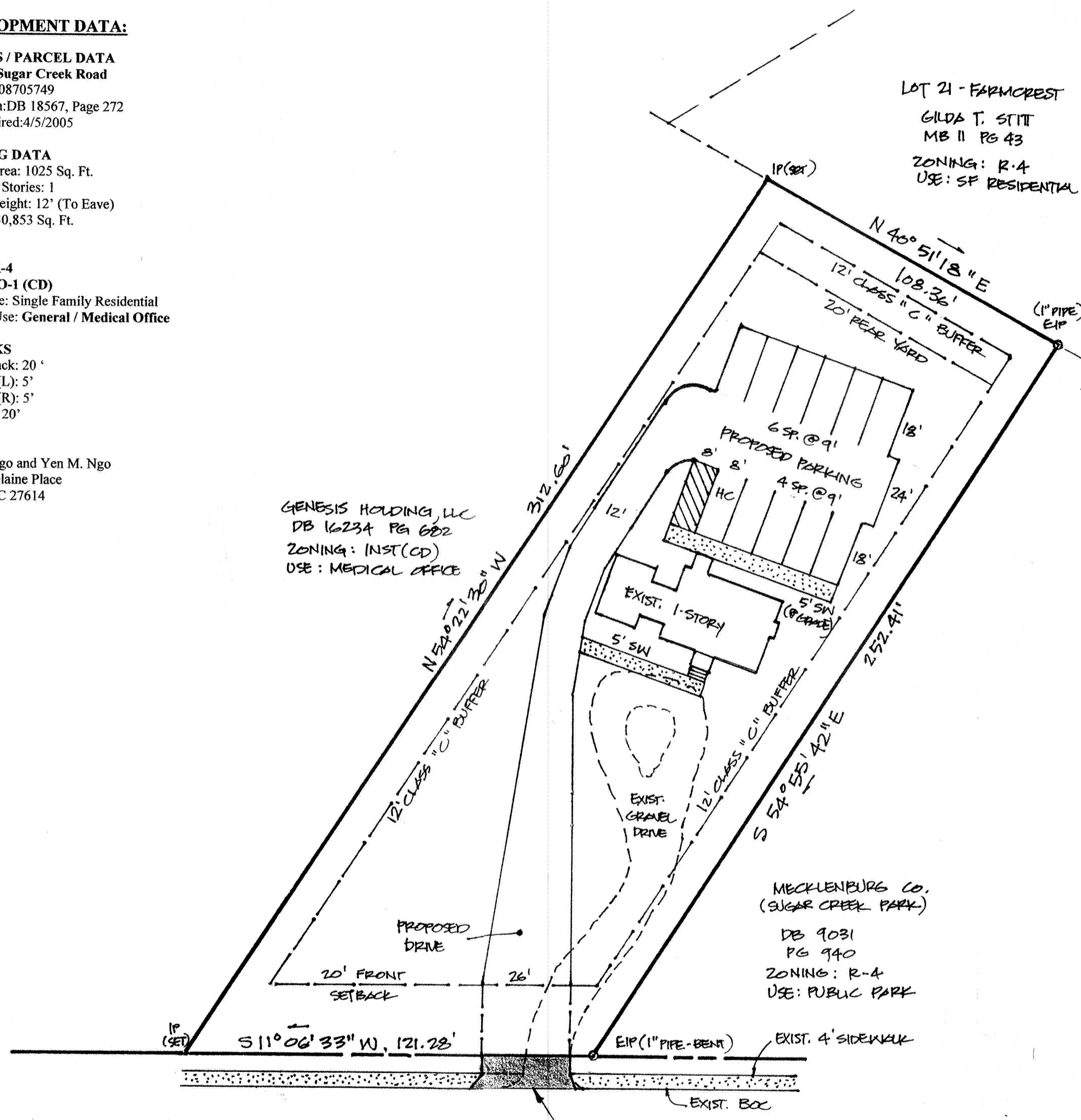
SETBACKS
 Front Setback: 20'
 Side Yard (L): 5'
 Side Yard (R): 5'
 Rear Yard: 20'

OWNER
 James P. Ngo and Yen M. Ngo
 2901 Chatelaine Place
 Raleigh, NC 27614

GENESIS HOLDING, LLC
 DB 16234 PG 602
 ZONING: INST(CD)
 USE: MEDICAL OFFICE

MECKLENBURG CO.
 (SUGAR CREEK PARK)
 DB 9031
 PG 940
 ZONING: R-4
 USE: PUBLIC PARK

LOT 21 - FARMCREST
 GILDA T. STITT
 MB II PG 43
 ZONING: R-4
 USE: SF RESIDENTIAL



CONDITIONAL NOTES:

General Provisions

- Development of this property will be controlled by the standards depicted on this site plan and by the Standards of the Charlotte Zoning Ordinance; the development depicted this plan is intended to reflect the arrangement of the proposed uses on this property. However, the exact configuration, placement and size of individual site elements may be altered or modified within the limits prescribed in the Zoning Ordinance, Section 6.207 Alterations to approval.
- Future owners of these properties will be bound by the Zoning restrictions which bind the current owner.
- Uses allowed on these sites are **General and Medical Office Only**. The petitioner's intent for this rezoning is to allow for this property to be used for small, professional service firms or neighborhood medical offices. No use of this site as a **TATTOO PARLOR, CHECK-CASHING SERVICES** or as a **SWEEPSTAKES/GAMING CENTER, electronic or otherwise, will be allowed.**
- The petitioner acknowledges that in addition to the conditions set forth in this petition and in the Zoning Ordinance, development requirements imposed by other City ordinances, construction standards and design manuals do exist, are not waived or modified by the rezoning approval, and may be applicable to the proposed development. These requirements may include the regulation of streets, sidewalks, trees and storm water. Where the conditions set forth in this rezoning plan conflict with other City development requirements, the stricter condition or requirement shall apply.

Transportation

- Parking shall be located at the rear of all structures wherever practical. Parking requirements for all parcels will be determined at the time of construction plan submittal and will be based on the proposed use of the property.
- This site will have a new Type II driveway at the location of the existing drive as shown. The existing driveway, as shown, will be closed and curb, gutter and sidewalk will be installed.
- The proposed driveway connection to West Sugar Creek Road will require a driveway permit to be submitted to CDOT and NCDOT for review and approval. The exact driveway locations and type/width of the driveways will be determined by CDOT during the driveway permit process and the location as shown is subject to change to comply with City Driveway Regulations.
- Any fence or wall constructed along or adjacent to any sidewalk or street right-of-way requires a certificate issued by CDOT.
- A Right-of-Way Encroachment Agreement is required for the installation of any non-standard items (irrigation systems, decorative pavement, etc) within a proposed/existing City maintained street right-of-way. An encroachment agreement must be approved by CDOT prior to the construction/installation of the non-standard items.
- Adequate sight triangles must be reserved at the existing/proposed street entrances. Two 35' x 35' and two 10' x 70' sight triangles are required.

Architectural Standards

- All existing structures are to remain.
- Future additions to the existing structure must be to the rear of the building and added square footage shall not exceed 25% of the existing square footage of the structure.

Environmental Features

- All existing trees within the established front yards shall be preserved; only those in conflict with driveways can be removed.

Signage

- Signage on the site will be limited to 9 square feet – no grandfathered signage is currently on site.

Lighting

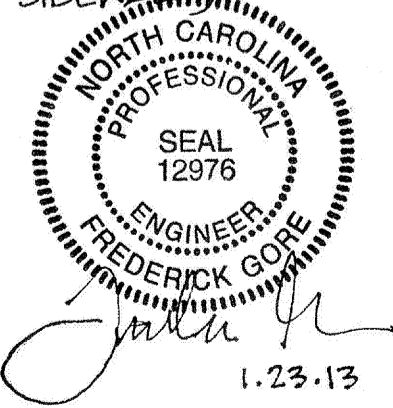
- Any detached lighting on the site will not exceed 8 feet in height and will be aimed internal to the site and away from adjoining properties and the public street; no "wall pack" lighting will be used on any existing building and all lighting will have **full cut off type fixtures.**

Other

- The 10-foot buffers will conform to the provisions of Section 12.302.
- Screening will conform to the provisions of Section 12.303.
- All garbage/trash disposal areas, dumpsters, recycling containers, etc will be screened with a solid enclosure and gates at the rear of the structure as per section 12.403.

WEST SUGAR CREEK RD.
 (PUBLIC R/W VARIES > 100')

NEW 26' TYPE II DRIVE
 (CLOSE EXIST. DRIVE & REPLACE CURB AND SIDEWALK)



Civiltek Associates
 C - 1099

8521 Beidgreen Ct.
 Charlotte, NC 28216
 (704) 900 - 4059

Conditional Rezoning Plan
 for
 723 W. Sugar Creek Rd.
 Mecklenburg County, North Carolina

Drawn by:	MBG/FIG
Approved by:	FIG
Date:	1/17/2013
Scale:	1" = 30'
Dwg. name	SugarCreekRZ

