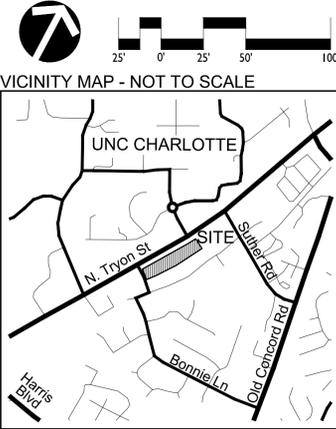


DEVELOPMENT INFORMATION	
SITE AREA	± 204,775.56 SQFT (4.701 ACRES)
TAX PARCEL(S) INCLUDED WITHIN THE AREA TO BE REZONED	04934207
EXISTING ZONING	MULTI-FAMILY RESIDENTIAL DISTRICT "R-17MF"
PROPOSED ZONING	MIXED USE DEVELOPMENT DISTRICT (MUDD-O)
EXISTING USES	MULTI-FAMILY RESIDENTIAL
PROPOSED USES	RESIDENTIAL / COMMERCIAL
RESIDENTIAL UNITS AND TYPES	250 UNITS MAXIMUM - MULTI-FAMILY (TOWNHOMES / APARTMENTS / CONDOMINIUMS)
RESIDENTIAL DENSITY	54 DWELLING UNITS PER ACRE (54 DUA)
NON-RESIDENTIAL USES	25,000 SF COMMERCIAL
FLOOR AREA RATIO	N/A
MAXIMUM BUILDING HEIGHT	70 FT MAXIMUM (AS MEASURED FROM THE AVERAGE FINAL GRADE)
NUMBER OR RATIO OF PARKING SPACES	RESIDENTIAL - 1.5/UNIT; RESTAURANT: 1/150 SF ALL OTHERS USES 1/600 SF
AMOUNT OF OPEN SPACE	PER ZONING ORDINANCE (1 SF / 100 GSF OF PRIMARY USE)

LEGEND	
	VEHICULAR CIRCULATION
	PEDESTRIAN CIRCULATION
	SIGNALIZED INTERSECTION
	RESIDENTIAL GATED ACCESS
	POTENTIAL SOLID WASTE / RECYCLING LOCATIONS

NOTE:
THE REZONING PLAN IS ILLUSTRATIVE IN NATURE AND IS INTENDED TO DEPICT BUILDING, PARKING AND CIRCULATION RELATIONSHIPS.

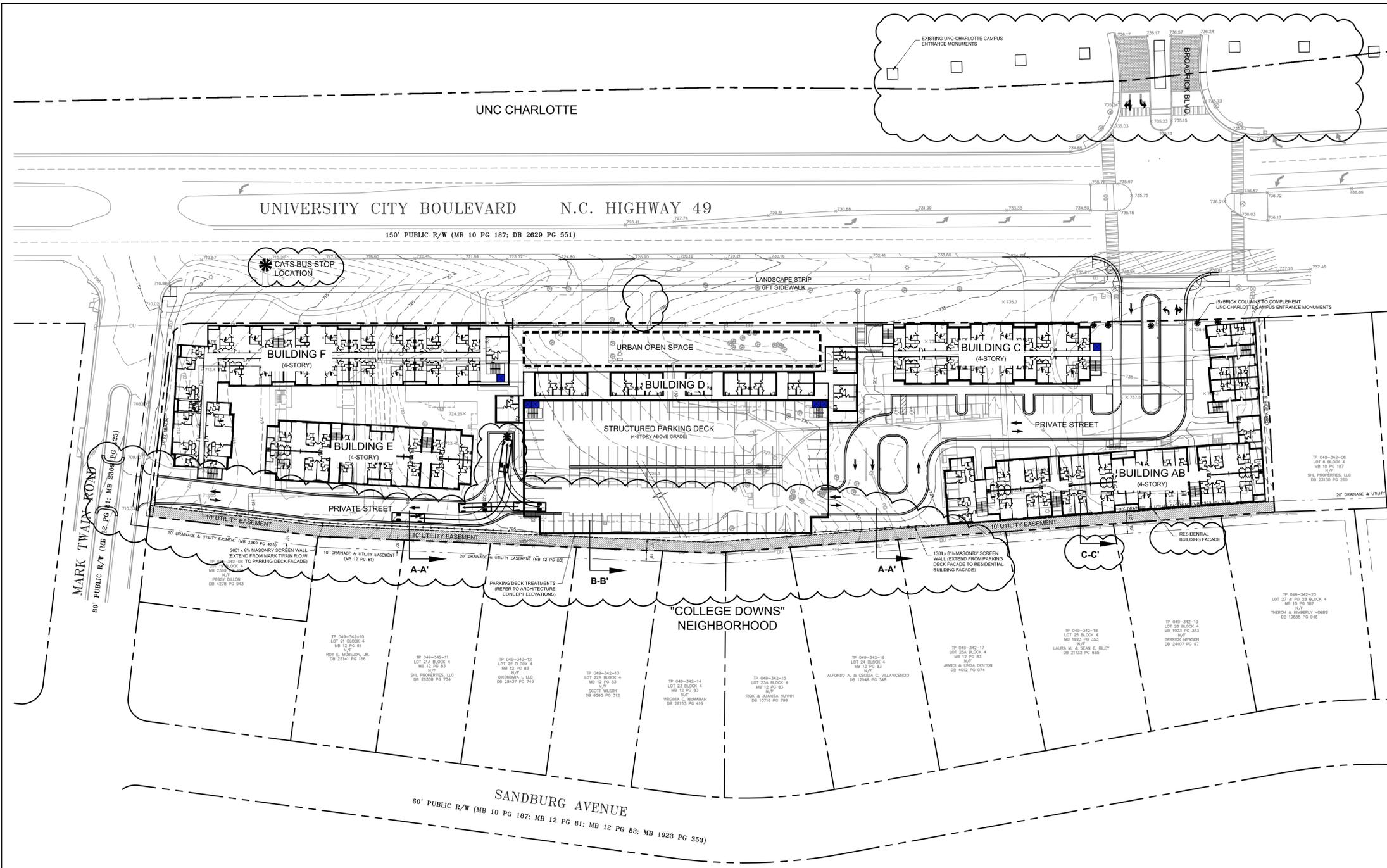


CIRCLE AT UNC CHARLOTTE
MIXED-USE DEVELOPMENT
 CRESCENT RESOURCES, CHARLOTTE, NC
 TECHNICAL DATA SHEET

DATE: NOVEMBER 28, 2011
 DESIGNED BY: RJP
 DRAWN BY: CHK
 CHECKED BY: nbg
 SCALE: 1" = 50'-0"
 PROJECT #: 1010230
 SHEET #:
Z-1.0

FOR PUBLIC HEARING
 PETITION NO. 2011-010

LandDesign
 223 N Graham Street Charlotte, NC 28202
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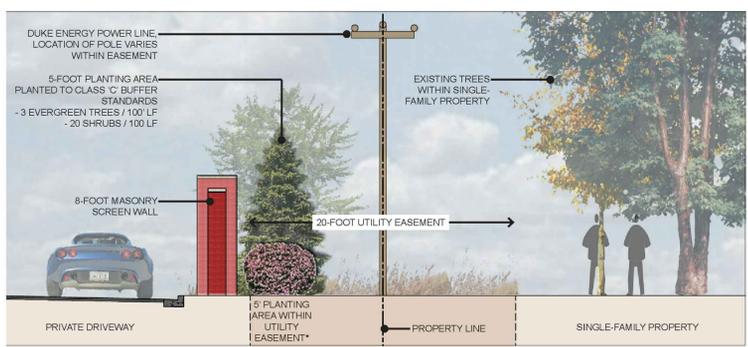
DEVELOPMENT INFORMATION	
SITE AREA	+/- 204,775.56 SQFT (4.701 ACRES)
TAX PARCEL(S) INCLUDED WITHIN THE AREA TO BE REZONED	04934207
EXISTING ZONING	MULTI-FAMILY RESIDENTIAL DISTRICT "R-17MF"
PROPOSED ZONING	MIXED USE DEVELOPMENT DISTRICT (MUDD-C)
EXISTING USES	MULTI-FAMILY RESIDENTIAL
PROPOSED USES	RESIDENTIAL / COMMERCIAL
RESIDENTIAL UNITS AND TYPES	250 UNITS MAXIMUM - MULTI-FAMILY (TOWNHOMES / APARTMENTS / CONDOMINIUMS)
RESIDENTIAL DENSITY	54 DWELLING UNITS PER ACRE (54 DUA)
NON-RESIDENTIAL USES	25,000 SF COMMERCIAL
FLOOR AREA RATIO	N/A
MAXIMUM BUILDING HEIGHT	70 FT MAXIMUM (AS MEASURED FROM THE AVERAGE FINAL GRADE)
NUMBER OR RATIO OF PARKING SPACES	RESIDENTIAL - 1.5/UNIT; RESTAURANT: 1/150 SF ALL OTHERS USES 1/600 SF
AMOUNT OF OPEN SPACE	PER ZONING ORDINANCE (1 SF / 100 GSF OF PRIMARY USE)

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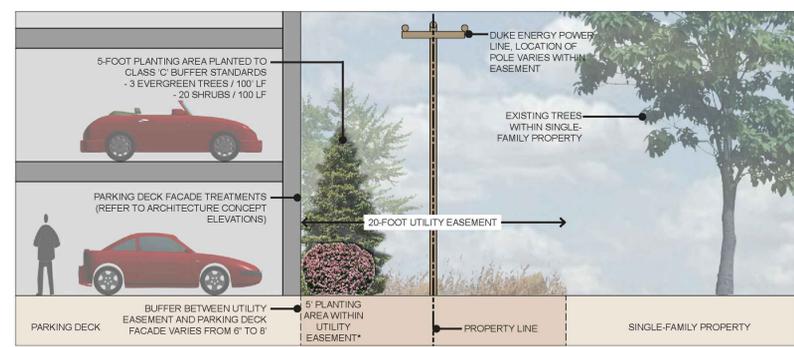
FOR PUBLIC HEARING
 PETITION NO. 2011-010

CIRCLE AT UNC CHARLOTTE
MIXED-USE DEVELOPMENT
 CRESCENT RESOURCES, CHARLOTTE, NC
SCHEMATIC SITE PLAN

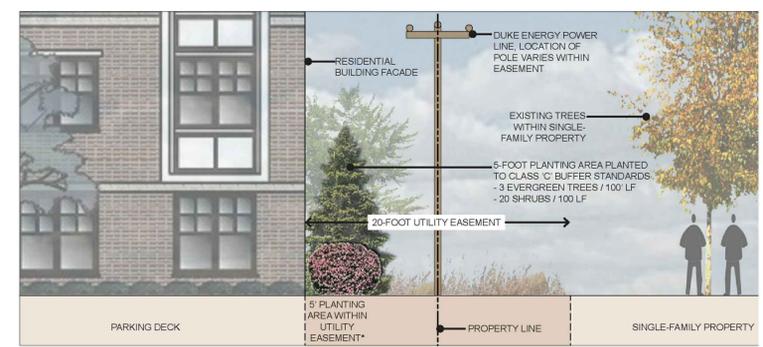
NOTE:
 THE REZONING PLAN IS ILLUSTRATIVE IN NATURE AND IS INTENDED TO DEPICT BUILDING, PARKING AND CIRCULATION RELATIONSHIPS.



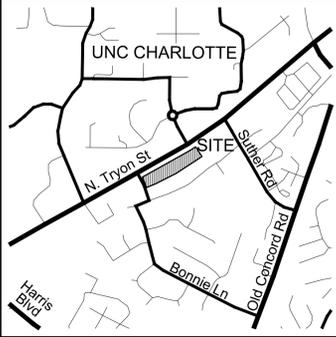
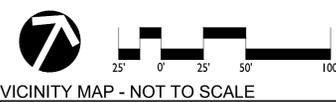
CROSS SECTION A-A
 *ALL PLANTINGS WITHIN UTILITY EASEMENT WILL REQUIRE REVIEW AND APPROVAL BY UTILITY COMPANIES



CROSS SECTION B-B
 *ALL PLANTINGS WITHIN UTILITY EASEMENT WILL REQUIRE REVIEW AND APPROVAL BY UTILITY COMPANIES



CROSS SECTION C-C
 *ALL PLANTINGS WITHIN UTILITY EASEMENT WILL REQUIRE REVIEW AND APPROVAL BY UTILITY COMPANIES



DATE: NOVEMBER 28, 2011
 DESIGNED BY: RJP
 DRAWN BY: CHK
 CHECKED BY: nd
 SCALE: 1" = 50'-0"
 PROJECT #: 1010230
 SHEET #:
Z-2.0

DEVELOPMENT STANDARDS

1. DEVELOPMENT INFORMATION

Table with 2 columns: SITE AREA, TAX PARCEL(S) INCLUDED WITHIN THE AREA TO BE REZONED, EXISTING ZONING, PROPOSED ZONING, EXISTING USES, PROPOSED USES, RESIDENTIAL UNITS AND TYPES, RESIDENTIAL DENSITY, NON-RESIDENTIAL USES, FLOOR AREA RATIO, MAXIMUM BUILDING HEIGHT, NUMBER OR RATIO OF PARKING SPACES, AMOUNT OF OPEN SPACE.

2. GENERAL PROVISIONS

- A. THESE DEVELOPMENT STANDARDS FORM A PART OF THE SCHEMATIC SITE PLAN ASSOCIATED WITH THE REZONING PETITION FILED BY CRESCENT RESOURCES (THE "PETITIONER" OR "DEVELOPER") TO ACCOMMODATE DEVELOPMENT TO BE KNOWN AS "CIRCLE AT UNC CHARLOTTE" ON AN APPROXIMATELY 4.701 ACRE SITE GENERALLY LOCATED AT THE SOUTHEASTERN CORNER OF THE INTERSECTION OF UNIVERSITY CITY BOULEVARD (NC HWY 49) AND MARK TWAIN ROAD (THE "SITE"). DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE SCHEMATIC PLAN, THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"), UNLESS THE SCHEMATIC PLAN OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MIXED USE DEVELOPMENT DISTRICT (MUDD) ZONING CLASSIFICATIONS, SUBJECT TO THE PROVISIONS PROVIDED BELOW, SHALL GOVERN DEVELOPMENT TAKING PLACE ON THOSE PORTIONS OF THE SITE GENERALLY DEPICTED ON THE SCHEMATIC PLAN.
B. THE DEVELOPMENT DEPICTED ON THE SCHEMATIC SITE PLAN (Z-2.0) IS SCHEMATIC IN NATURE AND IS INTENDED ONLY TO DESCRIBE THE POSSIBLE ARRANGEMENT OF USES ON THE SITE AND ILLUSTRATE DESIGN PRINCIPALS. ACCORDINGLY, THE CONFIGURATION, PLACEMENT AND SIZE OF THE BUILDING FOOTPRINTS OUTLINED ON THE REZONING PLAN ARE SCHEMATIC AND, SUBJECT ONLY TO THE PROVISIONS SET FORTH BELOW MAY BE ALTERED OR MODIFIED DURING DESIGN, DEVELOPMENT AND CONSTRUCTION PHASES WITHIN THE MAXIMUM BUILDING/PARKING ENVELOPE LINES ESTABLISHED ON THIS SHEET. PARKING LAYOUTS MAY ALSO BE MODIFIED TO ACCOMMODATE FINAL BUILDING LOCATIONS AND OFF-STREET PARKING SPACES MAY BE LOCATED INSIDE AND OUTSIDE BUILDING ENVELOPES TO THE EXTENT PERMITTED BY THE ORDINANCE. ALL SUCH CHANGES ARE SUBJECT TO REVISIONS PER CHAPTER 6 OF THE ORDINANCE.
C. THE PETITIONER ACKNOWLEDGES THAT OTHER STANDARD DEVELOPMENT REQUIREMENTS IMPOSED BY OTHER CITY ORDINANCES, STANDARDS, POLICIES, AND APPROPRIATE DESIGN MANUALS WILL EXIST. THOSE CRITERIA (FOR EXAMPLE, THOSE THAT REQUIRE BUFFERS, REGULATE STREETS, SIDEWALKS, SETBACKS, TREES, AND SITE DEVELOPMENT, ETC.) WILL APPLY TO THE DEVELOPMENT SITE. THIS INCLUDES CHAPTERS 6, 9, 12, 17-21 OF THE CITY CODE. CONDITIONS SET FORTH IN THIS PETITION ARE SUPPLEMENTAL REQUIREMENTS IMPOSED ON THE DEVELOPMENT IN ADDITION TO OTHER STANDARDS.
D. FUTURE AMENDMENTS TO THE SCHEMATIC SITE PLAN AND THESE DEVELOPMENT STANDARDS MAY BE APPLIED FOR BY THE THEN OWNER OR OWNERS OF THE TRACT OR TRACTS INVOLVED, IN ACCORDANCE WITH SECTION 6.207 OF THE ORDINANCE.

3. OPTIONAL PROVISIONS

- A. THE PETITIONER REQUESTS A DEVIATION FROM PART 8.5: MIXED USE DEVELOPMENT DISTRICT (MUDD) AND PORTIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE FOR THE FOLLOWING:
1. PRIVATE DRIVE WITH UTILITY EASEMENT - REFER TO NOTE 6.E, THIS SHEET
2. CLEAR RIGHT TRIANGLES (SECTION 12.100) - REFER TO NOTE 6.F, THIS SHEET
3. SIGNAGE (CHAPTER 13 AND SECTION 9.8506.2.c) - REFER TO NOTE 11.D, THIS SHEET- PETITIONER MAY INSTALL BRICK COLUMNS TO COMPLEMENT THE EXISTING BRICK COLUMNS LOCATED AT THE MAIN ENTRANCE OF UNC-CHARLOTTE AT THE INTERSECTION OF NC HWY 49 AND BROADRICK BLVD. BRICK COLUMNS WILL BE ALLOWED TO BE CONSTRUCTED IN THE RIGHT-OF WAY OF NC HWY 49. THE PETITIONER RESERVES THE RIGHT TO CONSTRUCT A MAXIMUM OF (5) BRICK COLUMNS. EACH COLUMN WILL BE A MAXIMUM OF 20 FEET IN HEIGHT AND HAVE A MAXIMUM 100sf FOR EACH FACE OF THE COLUMN. A MAXIMUM 25sf OF SIGNAGE MAY BE PLACED ON (1) COLUMN.
4. VESTED RIGHT (SECTION 1.110) - REFER TO NOTE 11.C, THIS SHEET PURSUANT TO THE PROVISIONS OF SECTION 1.110 OF THE ORDINANCE AND N.C.G.S. §160A-385.1, DUE TO THE ECONOMIC CYCLES AND MARKET CONDITIONS, THIS PETITION INCLUDES VESTING OF THE APPROVED REZONING PLAN ASSOCIATED WITH THIS PETITION FOR A FIVE (5) YEAR PERIOD.
5. STREET WALLS (SECTION 9.8506.2.a) - REFER TO NOTE 6.A AND 6.B, THIS SHEET WHILE BUILDINGS PROPOSED HAVE A POSITIVE ORIENTATION TO THE PUBLIC RIGHT-OF-WAY OF NC HWY 49, INDIVIDUAL UNITS SHALL NOT HAVE DOORS WHICH OPEN OUT TO NC HWY 49. BUILDINGS C, D, AND F SHALL HAVE EITHER BUILDING END ACCESS POINTS AND/OR MID BUILDING CORRIDOR ACCESS POINTS WHICH MAY OR MAY NOT CONNECT PEDESTRIANS DIRECTLY TO SIDEWALKS LOCATED ON NC HWY 49.
4. PERMITTED USES
B. THE USES PERMITTED IN THIS REZONING SHALL INCLUDE THE FOLLOWING USES PERMITTED BY RIGHT, UNDER PRESCRIBED CONDITIONS, AND AS ACCESSORY USES IN THE MIXED USE DEVELOPMENT DISTRICT (MUDD):
1. BARBER AND BEAUTY SHOPS
2. DWELLINGS, DETACHED, DUPLEX, TRIPLEX, QUADRAPLEX, ATTACHED, MULTI-FAMILY AND PLANNED MULTI-FAMILY DEVELOPMENTS, AND MIXED USE BUILDINGS.
3. INDOOR COMMERCIAL AMUSEMENT, SUCH AS BOWLING ALLEYS, ARCADES, INDOOR PLAYGROUNDS.
4. PET SERVICES INDOOR
5. POST OFFICES
6. PROFESSIONAL BUSINESSES AND GENERAL OFFICES SUCH AS BANKS, CLINICS, MEDICAL, DENTAL AND DOCTORS OFFICES, VETERINARY CLINICS, GOVERNMENT, POST OFFICES, OPTICIAN OFFICES, AND SIMILAR USES.
7. RESTAURANTS, INCLUDING OPEN AIR OR SIDEWALK CAFES
8. RETAIL SALES LIMITED TO DISTRICT
9. SERVICES SUCH AS BEAUTY SHOPS AND BARBER SHOPS, FUNERAL HOMES, LAUNDRIES AND DRY CLEANING ESTABLISHMENTS UP TO 4,500 SQUARE FEET, AND LOCKSMITHS
10. STRUCTURED PARKING DECKS AS A PRINCIPAL OR ACCESSORY USE
11. STUDIOS FOR ARTISTS DESIGNERS, PHOTOGRAPHERS, MUSICIANS, SCULPTORS, GYMNASTS, POTTERS, WOOD AND LEATHER CRAFTSMEN, GLASS BLOWERS, WEAVERS, SILVERSMITHS, AND DESIGNERS OF ORNAMENTAL AND PRECIOUS JEWELRY
12. BUS STOP SHELTERS
13. CHILDCARE CENTERS, SUBJECT TO THE REGULATIONS OF SECTION 12.502
14. DUMPSTERS, TRASH HANDLING AREAS AND SERVICE ENTRANCES, SUBJECT TO THE REGULATIONS OF SECTION 12.403
15. OUTDOOR LIGHTING, SUBJECT TO REGULATIONS OF SECTION 12.402
16. VENDING MACHINES
C. THE TOTAL RESIDENTIAL DENSITY FOR THE SITE SHALL NOT EXCEED 54 DWELLING UNITS PER ACRE (54 DUA).
D. PROVISIONS FOR PARKING AND LOADING SHALL CONFORM TO THE GENERAL REQUIREMENTS OF SECTION 9.8507 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.
E. THE PETITIONER SHALL HAVE THE OPTION TO DEVELOP UP TO 25,000 SF OF COMMERCIAL DEVELOPMENT LOCATED ON THE SITE, EITHER AS A SINGLE USE COMMERCIAL STRUCTURE AND/OR AS A GROUND FLOOR COMMERCIAL USES TO A RESIDENTIAL BUILDING.

5. TRANSPORTATION

- A. FULL COORDINATION WILL OCCUR FOR ITEMS PERTAINING TO THE FULL MOVEMENT ACCESS AT THE SIGNALIZED INTERSECTION OF NC HWY 49 AND BROADRICK BLVD., NC HWY 49 R.O.W RELOCATION, OVERHEAD UTILITY RELOCATION, AND CURB EXTENSION ALONG NC HWY 49 AT SIGNALIZED INTERSECTION ALONG THE PETITIONERS PROPERTY FRONTAGE OF NC HWY 49 DURING THE PERMITTING PROCESS.
B. THE PROPOSED BUILDINGS AND PRIVATE STREET DESIGN SHALL NOT PRECLUDE THE POSSIBILITY OF A FUTURE VEHICULAR AND PEDESTRIAN CONNECTION FROM THE PROPOSED PRIVATE STREET BETWEEN BUILDING AB AND THE PARKING STRUCTURE THROUGH TO SANDBURG AVENUE. THIS FUTURE CONNECTION IS NOT THE RESPONSIBILITY OF THIS PETITIONER OR FUTURE PROPERTY OWNERS. THE PETITIONER/OWNER SHALL PROVIDE ADEQUATE SPACE FOR A POTENTIAL FUTURE CONNECTION POINT OF AT LEAST 40' IN WIDTH AND ALLOW FOR THE CONSTRUCTION OF THE CONNECTION BY OTHERS. ANY MODIFICATION OF PROPOSED LANDSCAPE SCREENING, SCREENING WALLS, PAVING, OR OTHER SITE IMPROVEMENTS ON THE PROPERTY TO FACILITATE THIS CONNECTION MUST BE APPROVED BY THE OWNER. THIS CONNECTION SHALL BE A PUBLIC ACCESS THROUGH THE PROPERTY AT SUCH TIME AS WHEN COMPLETED.
A. THE FULL MOVEMENT ACCESS AT THE SIGNALIZED INTERSECTION ON NC HWY 49 AND BROADRICK BLVD. (MAIN ENTRANCE TO UNC CHARLOTTE ON NC HWY 49) IS CURRENTLY UNDER REVIEW WITH NCDOT. ONCE A RESOLUTION BETWEEN THE PETITIONER AND NCDOT HAS BEEN AGREED TO WITH REGARDS TO THE TRAFFIC MOVEMENT AND ASSOCIATED TRAFFIC PATTERN AT THE SIGNALIZED INTERSECTION, IMPROVEMENTS TO THE INTERSECTION WILL BE IMPLEMENTED DURING THE PERMITTING PROCESS.

- ~~B. THE PETITIONER IS CURRENTLY UNDER NEGOTIATIONS WITH NCDOT FOR RELOCATING THE RIGHT-OF-WAY LINE ALONG NC HWY 49 IN THE DIRECTION OF THE EXISTING EDGE OF PAVEMENT LOCATED ON THE SITE. ONCE AN AGREEMENT HAS BEEN REACHED BETWEEN THE PETITIONER AND NCDOT, RIGHT-OF-WAY REDUCTIONS / DEDICATIONS WILL BE IMPLEMENTED DURING THE PERMITTING PROCESS.~~
~~C. THE EXISTING OVERHEAD UTILITIES THAT CURRENTLY PARALLEL NC HWY 49 ON THE SITE WILL BE RELOCATED WITHIN THE NEWLY ESTABLISHED RIGHT-OF-WAY LINE FOR NC HWY 49.~~
D. THE EXISTING LANDSCAPE MEDIAN ON MARK TWAIN ROAD SHALL BE RECONFIGURED TO ALLOW FOR A FULL MOVEMENT ACCESS FROM MARK TWAIN ROAD TO THE SITE. ALL SIGNAGE WILL BE RELOCATED AS NECESSARY.
~~E. THE PRIVATE DRIVE ACCESS FROM MARK TWAIN ROAD SHALL BE ALLOWED TO ENCROACH WITHIN THE DRAINAGE & UTILITY EASEMENT AND RUN PARALLEL TO, AS NECESSARY TO ACCESS THE PROPOSED PARKING DECK.~~
~~F. THE CLEAR RIGHT TRIANGLE PER SECTION 12.100 OF THE ZONING ORDINANCE SHALL ONLY BE MEASURED FROM THE TRIANGLE BOUNDED ON TWO SIDES BY THE CURB (OR PAVEMENT EDGE WHERE THERE IS NO CURB), MEASURED IN EACH DIRECTION ALONG THE CURB OR PAVEMENT EDGE FOR 60 FEET FROM THE MIDPOINT OF THE RADIUS OF THE CURB OR PAVEMENT EDGE, AND ON THE THIRD SIDE BY THE DIAGONAL LINE CONNECTING THE ENDS OF THE 60 FOOT SIDES AS ILLUSTRATED IN FIGURE 12.100 OF THE ZONING ORDINANCE AND SHALL NOT BE BASED ON 35:35 RIGHT-OF-WAY TRIANGLE.~~

- 6. ARCHITECTURAL STANDARDS
ALL BUILDINGS AND USES DEVELOPED IN THIS DEVELOPMENT MUST MEET THE FOLLOWING MINIMUM STANDARDS:
~~A. THE FIRST FLOOR OF ALL BUILDINGS MUST BE DESIGNED TO ENCOURAGE AND COMPLEMENT PEDESTRIAN SCALE INTEREST AND ACTIVITY. THE FIRST FLOOR OF ALL BUILDINGS WILL BE DESIGNED AND/OR USED FOR USES FRONTING DIRECTLY TO A STREET AND MUST INCLUDE TRANSPARENT WINDOWS ARRANGED SO THAT THE USES ARE VISIBLE FROM THE STREET ON AT LEAST 50% OF THE LENGTH OF THE FIRST FLOOR BUILDING ELEVATION ALONG THE FIRST FLOOR STREET FRONTAGE.~~
~~B. WHILE BUILDINGS PROPOSED HAVE A POSITIVE ORIENTATION TO THE PUBLIC RIGHT-OF-WAY OF NC HWY 49, INDIVIDUAL UNITS SHALL NOT HAVE DOORS WHICH OPEN OUT TO NC HWY 49. BUILDINGS C, D, AND F SHALL HAVE EITHER BUILDING END ACCESS POINTS AND/OR MID-BUILDING CORRIDOR ACCESS POINTS WHICH MAY OR MAY NOT CONNECT PEDESTRIANS DIRECTLY TO SIDEWALKS LOCATED ON NC HWY 49.~~

- A. ANY PROPOSED BUILDING ENTRANCE FACING THE PUBLIC RIGHT-OF-WAY MUST BE DISTINGUISHABLE FROM THE REST OF THE BUILDING. SUCH ENTRANCES MUST BE RECESSED INTO THE FACE OF THE BUILDING WITH A MINIMUM 15 SQUARE FOOT AREA TO PROVIDE A SENSE OF ENTRY AND TO ADD VARIETY TO THE STREETScape. NO NEW DOORS WILL BE ALLOWED TO SWING INTO THE MINIMUM SETBACK, EXCEPT FOR EMERGENCY EXIT DOORS.
B. FOR ALL BUILDINGS, EXPANSES OF BLANK WALLS MAY NOT EXCEED 20 FEET IN LENGTH. A BLANK WALL IS A FACADE THAT DOES NOT ADD TO THE CHARACTER OF THE STREETScape AND DOES NOT CONTAIN TRANSPARENT WINDOWS OR DOORS OR SUFFICIENT ORNAMENTATION, DECORATION OR ARTICULATION.
C. THE EXCLUSION OF BLANK WALLS IS INTENDED TO BE ACCOMPLISHED PRINCIPALLY BY THE USE OF TRANSPARENT WINDOWS AND/OR DOORS ARRANGED SO THAT THE USES ARE VISIBLE FROM AND/OR ACCESSIBLE TO THE STREET ON AT LEAST 25% OF THE LENGTH OF THE FIRST FLOOR STREET FRONTAGE. WHEN THIS APPROACH IS NOT FEASIBLE, A COMBINATION OF DESIGN ELEMENTS MUST BE USED ON THE BUILDING FACADE AND/OR IN RELATIONSHIP TO THE BUILDING AT STREET LEVEL TO ANIMATE AND ENLIVEN THE STREETScape. THESE DESIGN ELEMENTS MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: ORNAMENTATION; MOLDING; STRING COURSES; BELT COURSES; CHANGES IN MATERIAL OR COLOR; ARCHITECTURAL LIGHTING; WORKS OF ART; FOUNTAINS AND POOLS; STREET FURNITURE; LANDSCAPING AND GARDEN AREAS; AND DISPLAY AREAS.
D. IN RELATION TO THE STRUCTURED PARKING DECK, ALONG THE SOUTHERN PROPERTY LINE, ADJACENT TO THE SINGLE FAMILY HOMES ALONG SANDBURG AVENUE, A MINIMUM 8-FOOT SCREENING WALL SHALL BE INSTALLED. THE SCREENING WALL SHALL BE EITHER THE EXTERIOR WALL OF THE STRUCTURED PARKING DECK OR A SOLID, FREE-STANDING WALL.
E. VENTILATION GRATES OR EMERGENCY EXIT DOORS LOCATED AT THE FIRST FLOOR LEVEL IN THE BUILDING FACADE ORIENTED TO ANY PUBLIC STREET MUST BE DECORATIVE.
F. ALL ROOF-MOUNTED MECHANICAL EQUIPMENT WILL BE SCREENED FROM VIEW FROM ADJOINING PUBLIC RIGHTS-OF-WAY AND ABUTTING PROPERTIES AS VIEWED FROM GRADE.
G. ALL BUILDINGS CONSTRUCTED ON THE SITE SHALL BE ARCHITECTURALLY COMPATIBLE IN APPEARANCE THROUGH THE USE OF SIMILAR, AS WELL AS COMPLEMENTARY BUILDING MATERIALS, COLORS AND DESIGN (GIVING DUE CONSIDERATIONS TO THE USE OF EACH BUILDING).
H. MATERIALS THAT MAY BE INCLUDED AS PART OF THE BUILDING ELEVATIONS MAY INCLUDE BUT ARE NOT LIMITED TO:
1.1. MASONRY (I.E. BRICK, STONE, GRANITE, ETC.)
1.2. TILE (CERAMIC, PORCELAIN, ETC.)
1.3. STUCCO OR SYNTHETIC STUCCO
1.4. PRECAST CONCRETE
1.5. METAL PANEL
1.6. ALUMINUM CURTAIN WALL
1.7. FABRIC AWNINGS
1.8. METAL CANOPIES

- I. MATERIALS THAT ARE EXCLUDED AS PART OF THE BUILDING ELEVATIONS INCLUDE:
1.1. VINYL SIDING FOR COMMERCIAL USES (VINYL WINDOWS MAY BE USED)

- J. THERE SHALL NOT BE A MINIMUM LOT AREA.
K. LIMIT BASE BUILDING HEIGHT TO 40 FEET AT THE 10' REAR YARD/EASEMENT. ONE ADDITIONAL FOOT OF HEIGHT IS ALLOWED FOR EVERY TWO FEET IN DISTANCE THE PORTION OF THE BUILDING IS FROM THE REAR YARD/BUFFER, UP TO A MAXIMUM HEIGHT OF 70 FEET AS MEASURED FROM THE AVERAGE FINAL GRADE. MAXIMUM BUILDING STORIES SHALL NOT EXCEED 4.

- 7. STREETScape AND LANDSCAPING
A. STREETS WITHIN SHALL BE PRIVATE AS INDICATED ON THE SCHEMATIC PLAN. ALL PRIVATE STREETS WITHIN THE SITE SHALL REMAIN OPEN AND ACCESSIBLE TO THE PUBLIC, HOWEVER, PUBLIC ACCESS TO THE PARKING STRUCTURE MAY BE RESTRICTED IN WHOLE OR IN PART.
B. PRIVATE STREETS LOCATED WITHIN THE SITE OR IMPROVED AS A RESULT OF DEVELOPMENT RELATED TO THE SITE SHALL FOLLOW THE GUIDELINES FOR PUBLIC STREETS DESIGNATED BY THE CITY OF CHARLOTTE LAND DEVELOPMENT STANDARDS MANUAL (CLDSM) AND ASSOCIATED DETAILS.
C. NO SURFACE PARKING OR MANEUVERING FOR PARKING IS PERMITTED WITHIN ANY REQUIRED OR ESTABLISHED SETBACK, OR BETWEEN THE PERMITTED USE AND THE REQUIRED SETBACK, EXCEPT THAT DRIVEWAYS PROVIDING ACCESS TO THE PARKING AREA MAY BE INSTALLED ACROSS THESE AREAS. IT IS THE INTENT THAT THESE DRIVEWAYS BE AS NEARLY PERPENDICULAR TO THE STREET RIGHT-OF-WAY AS POSSIBLE.
D. NO LOADING SPACES MAY BE PERMITTED WITHIN ANY REQUIRED OR ESTABLISHED SETBACK, OR BETWEEN THE PERMITTED USE AND THE REQUIRED SETBACK, EXCEPT THAT DRIVEWAYS PROVIDING ACCESS TO THE LOADING AREA MAY BE INSTALLED ACROSS THESE AREAS. IT IS THE INTENT THAT THESE DRIVEWAYS ARE AS NEARLY PERPENDICULAR TO THE STREET RIGHT-OF-WAY AS POSSIBLE.
E. PLANTINGS IN ANY EXISTING OR PROPOSED UTILITY EASEMENT SHALL CONFORM TO SUCH UTILITIES PLANTING REQUIREMENTS.

- 8. ENVIRONMENTAL FEATURES
A. THE PETITIONER SHALL ADHERE TO THE REQUIREMENTS OF THE POST CONSTRUCTION CONTROL ORDINANCE FOR THE CITY OF CHARLOTTE FOR THIS DEVELOPMENT AREA.
B. THE SITE SHALL ADHERE TO THE REQUIREMENTS OF THE CITY OF CHARLOTTE TREE ORDINANCE.

- 9. PARKS, GREENWAYS, AND OPEN SPACE
A. THE PETITIONER SHALL ADHERE TO THE REQUIREMENTS OF THE CITY OF CHARLOTTE ZONING ORDINANCE FOR URBAN OPEN SPACE WITHIN THIS DEVELOPMENT AREA.

- 10. FIRE PROTECTION
A. THE PETITIONER SHALL ADHERE TO THE REQUIREMENTS OF THE CHARLOTTE FIRE DEPARTMENT FOR THIS DEVELOPMENT AREA.

- 11. SIGNAGE
A. WHERE SIGNS, BANNERS, FLAGS AND PENNANTS FOR IDENTIFICATION OR DECORATION ARE PROVIDED, THEY MUST CONFORM TO THE REQUIREMENTS OF CHAPTER 13 OF THE CITY OF CHARLOTTE ZONING ORDINANCE.

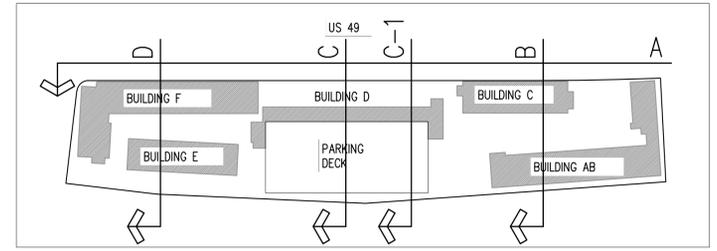
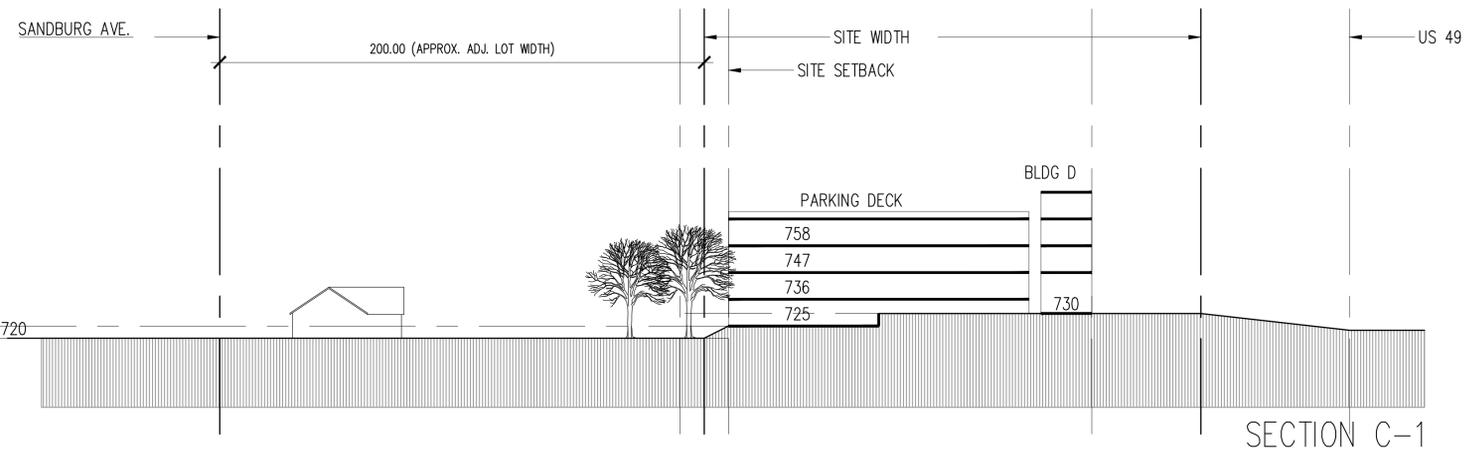
- ~~B. PETITIONER MAY INSTALL BRICK COLUMNS TO COMPLEMENT THE EXISTING BRICK COLUMNS LOCATED AT THE MAIN ENTRANCE OF UNC-CHARLOTTE AT THE INTERSECTION OF NC HWY 49 AND BROADRICK BLVD. BRICK COLUMNS WILL BE ALLOWED TO BE CONSTRUCTED IN THE RIGHT-OF-WAY OF NC HWY 49. THE PETITIONER RESERVES THE RIGHT TO CONSTRUCT A MAXIMUM OF (5) BRICK COLUMNS. EACH COLUMN WILL BE A MAXIMUM OF 20 FEET IN HEIGHT AND HAVE A MAXIMUM 100sf FOR EACH FACE OF THE COLUMN. A MAXIMUM 25sf OF SIGNAGE MAY BE PLACED ON (1) COLUMN.~~

- 12. LIGHTING
A. THE MAXIMUM HEIGHT OF THE LIGHT SOURCE (LIGHT BULB) DETACHED FROM A BUILDING SHALL BE 20 FEET.
B. ALL OUTDOOR LIGHTING WILL BE SCREENED IN SUCH A WAY THAT THE LIGHT SOURCE CAN NOT BE SEEN FROM ANY ADJACENT RESIDENTIALLY USED OR ZONED PROPERTY.
ALL FREESTANDING LIGHTING AND ALL EXTERIOR LIGHTING ON BUILDINGS WILL BE FULLY SHIELDED AND FULL CUT-OFF TYPE FIXTURES DOWNWARDLY DIRECTED. NO "WALK" TYPE LIGHTING SHALL BE USED, BUT ATTACHED DECORATIVE LIGHTING FIXTURES SUCH AS SCONCES MAY BE USED.
C. AS THE PROJECT DEVELOPS, PEDESTRIAN SCALE LIGHTING WILL BE INSTALLED ALONG BOTH INTERIOR STREETS AND STREETS THAT BORDER THE SITE.

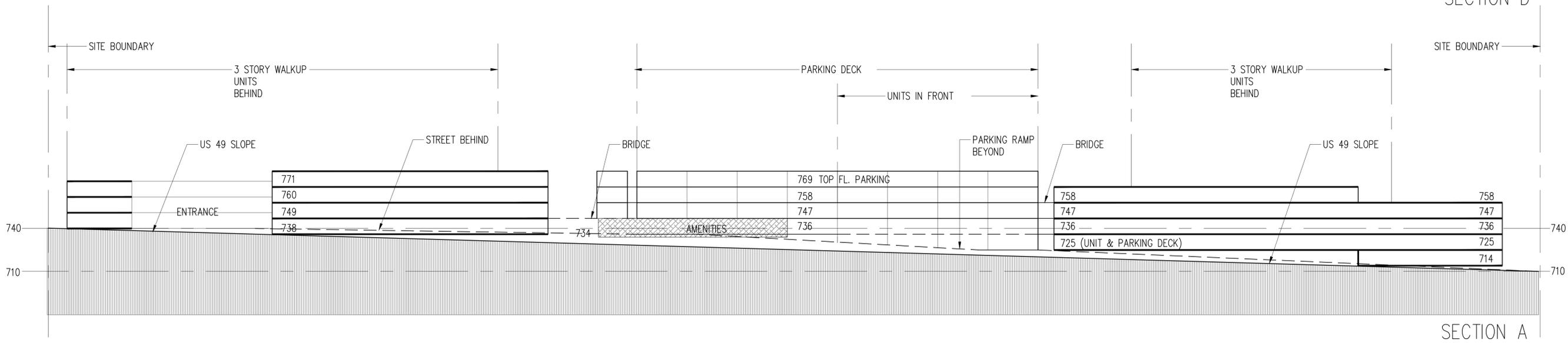
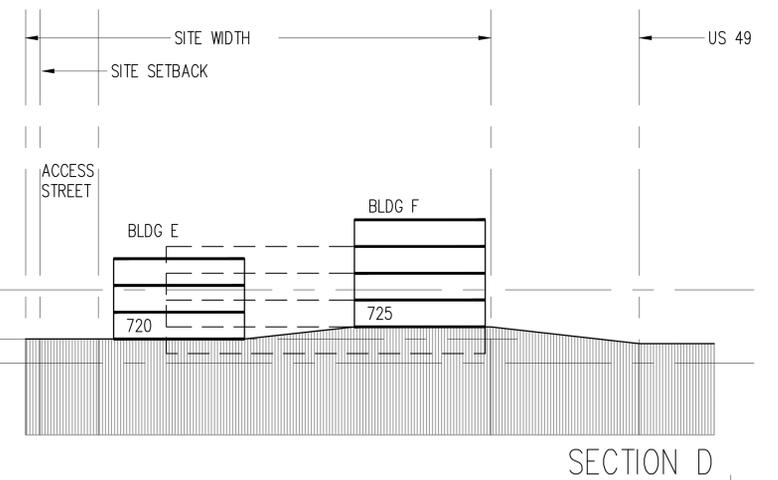
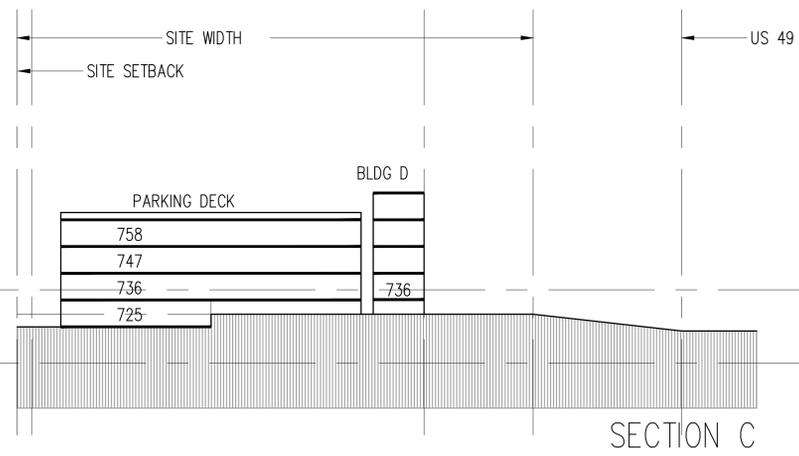
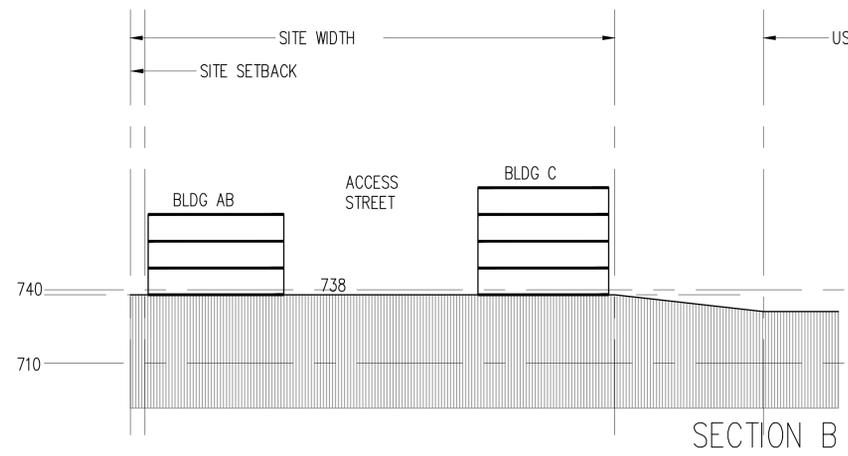
- 13. PHASING
A. SHOULD THE PETITIONER SO CHOOSE, DEVELOPMENT OF THE SITE MAY BE PHASED TO RESPOND TO MARKET CONDITIONS. HOWEVER, ANY PHASED REQUIREMENTS WILL NOT CREATE A SITUATION WHERE PARKING AND/OR MANEUVERING IS LOCATED BETWEEN THE BUILDING AND THE STREET. ALSO, BUILDING D MUST BE CONSTRUCTED AT THE TIME THE STRUCTURED PARKING IS CONSTRUCTED.

- 14. OTHER
A. IF THIS REZONING PETITION IS APPROVED, THE DEVELOPMENT PROGRAM ESTABLISHED UNDER THESE DEVELOPMENT STANDARDS AND THE SCHEMATIC PLAN SHALL, UNLESS AMENDED IN THE MANNER PROVIDED UNDER THE ORDINANCE, BE BINDING UPON AND INURE TO THE BENEFIT OF THE PETITIONERS AND THE OWNERS (FROM TIME TO TIME) AND THEIR RESPECTIVE HEIRS, DEVISEES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNS.
B. THROUGHOUT THIS REZONING PETITION, THE TERMS "PETITIONERS", "OWNER" OR "OWNERS," SHALL, WITH RESPECT TO EACH TRACT WITHIN THE SITE, BE DEEMED TO INCLUDE THE HEIRS, DEVISES, PERSONAL REPRESENTATIVES, SUCCESSORS IN INTEREST AND ASSIGNEES OF THE OWNER OR OWNERS OF THE SITE, OR PORTIONS THEREOF, WHO MAY BE INVOLVED IN ITS DEVELOPMENT FROM TIME TO TIME.

- ~~C. PURSUANT TO THE PROVISIONS OF SECTION 1.110 OF THE ORDINANCE AND N.C.G.S. §160A-385.1, DUE TO THE ECONOMIC CYCLES AND MARKET CONDITIONS, THIS PETITION INCLUDES VESTING OF THE APPROVED REZONING PLAN ASSOCIATED WITH THIS PETITION FOR A FIVE (5) YEAR PERIOD.~~



NOTE:
THE REZONING PLAN IS ILLUSTRATIVE IN NATURE
AND IS INTENDED TO DEPICT BUILDING, PARKING
AND CIRCULATION RELATIONSHIPS.



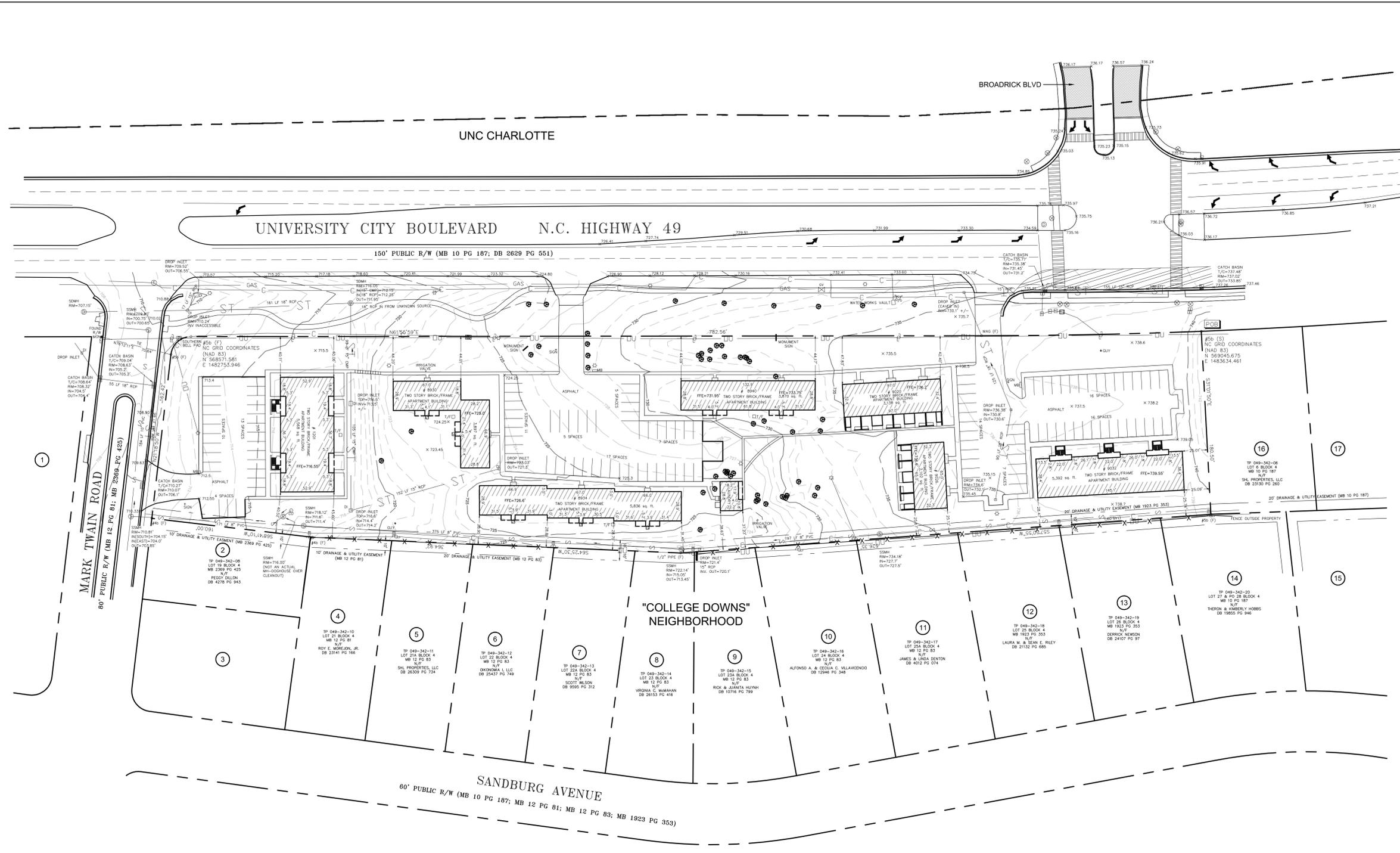


NC HIGHWAY 49 ELEVATION



STRUCTURED PARKING DECK ELEVATION ALONG SOUTH PROPERTY LINE

NOTE:
 THE REZONING PLAN IS ILLUSTRATIVE IN NATURE
 AND IS INTENDED TO DEPICT BUILDING, PARKING
 AND CIRCULATION RELATIONSHIPS.



SITE INFORMATION

SITE ADDRESS: 9000 UNIVERSITY CITY BOULEVARD CHARLOTTE, NC 28262

PROPERTY OWNER(S): CENTURY PARTNERS, LLC 100 SOUTH LINK AVENUE SALISBURY, NC 28144

TAX PARCEL ID #: 04934207

EXISTING ZONING: MULTI-FAMILY RESIDENTIAL DISTRICT "R-17MF"

TOTAL SITE SF (ACREAGE): +/- 204,775.56 (4.701 AC)

AREA PLANS: UNIVERSITY CITY AREA PLAN - ADOPTED 2007
NORTHEAST DISTRICT PLAN - ADOPTED 1996

SURVEY PROVIDED BY: LUCAS-FORMAN INCORPORATED
4000 STUART ANDREW BOULEVARD
CHARLOTTE, NC 28217
704.527.6626

ADJACENT OWNERS

1 #04934101 ADVENT LUTHERAN CHURCH AND CELIA C. VILLAVICENCIO 9205 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 & R-17MF EXISTING USE: GOV'T - INST

2 #04934208 PEGGY A. DILLON 342 HORTON GROVE RD. FORT MILL, SC 29715 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

3 #04934209 JY SHING WU AND LIHWA LIANG WU 1215 MARK TWAIN RD. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

4 #04934210 ROY E. MOREJON JR. 9105 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

5 #04934211 SHL PROPERTIES, LLC PO BOX 307 NEWELL, NC 28126 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

6 #04934212 OKIONOMIA LLC 9154 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

7 #04934213 SCOTT A. WILSON 9121 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

8 #04934214 VIRGINIA C. MCMAHAN 9127 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

9 #04934215 RICK N. HUYNH AND JUANITA S. HUYNH 402 KEMP LN. CHESAPEAKE, VA 23325 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

10 #04934216 ALFONSO A. VILLAVICENCIO AND CELIA C. VILLAVICENCIO 9205 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

11 #04934217 JAMES C. DENTON AND LINDA K. DENTON 9211 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

12 #04934218 LAURA MANNING RILEY AND SEAN EDWARD RILEY 9223 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

13 #04934219 DERRICK NEWSON 9227 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

14 THERON R. HOBBS AND KIMBERLY C. HOBBS 9233 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

15 THERON R. HOBBS AND KIMBERLY C. HOBBS 9233 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: VACANT

16 SHL PROPERTIES LLC 9100 UNIVERSITY CITY BLVD CHARLOTTE, NC 28213 EXISTING ZONING: R-17MF EXISTING USE: SINGLE-FAMILY RESIDENTIAL

17 RICK N. HUYNH AND JUANITA S. HUYNH 402 KEMP LN. CHESAPEAKE, VA 23325 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

18 #04934220 THERON R. HOBBS AND KIMBERLY C. HOBBS 9233 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

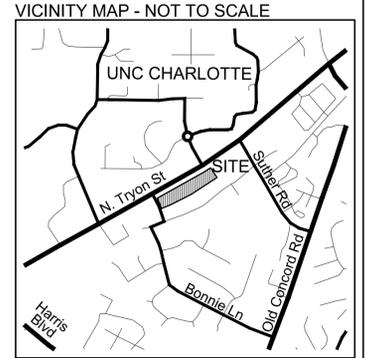
19 #04934221 THERON R. HOBBS AND KIMBERLY C. HOBBS 9233 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

20 #04934222 VIRGINIA C. MCMAHAN 9127 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

21 #04934223 VIRGINIA C. MCMAHAN 9127 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

22 #04934224 VIRGINIA C. MCMAHAN 9127 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL

23 #04934225 VIRGINIA C. MCMAHAN 9127 SANDBURG AVE. CHARLOTTE, NC 28213 EXISTING ZONING: R-3 EXISTING USE: SINGLE-FAMILY RESIDENTIAL



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www.LandDesign.com

FOR PUBLIC HEARING
PETITION NO. 2011-010

CIRCLE AT UNC CHARLOTTE
MIXED-USE DEVELOPMENT
CRESCENT RESOURCES, CHARLOTTE, NC
EXISTING CONDITIONS

X-1.0

DATE: NOVEMBER 28, 2011
DESIGNED BY:
DRAWN BY:
CHECKED BY:
SCALE: 1"=50'-0"
PROJECT #: 1010230
SHEET #:

REVISIONS:
01/20/2012 - PER REZONING COMMENTS