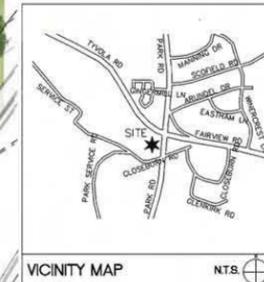


NOTE:
LOCATION DETERMINED BY
MARKERS IN THE FIELD,
ASSUMED TO BE THE
CENTERLINE OF THE
UNDERGROUND AT&T
TRANSCONTINENTAL ROUTE



SURVEY DISCLAIMER
TOPOGRAPHIC SURVEY FOR RYLAND A. WINSTON, ISSUED
MARCH 16, 2010. PROVIDED BY R.B. PHARR & ASSOCIATES,
P.A. SURVEYING & MAPPING, 420 HAWTHORNE LANE,
CHARLOTTE, NC (704) 378-2196. JOB # 76039



DB. 18457, PG. 101 &
DB. 18539, PG. 549
PIN:171-24C-98

LEGEND

SYMBOL	DETAIL
[Pattern]	PROPOSED SIDEWALK CLOS #10.22
[Pattern]	PROPOSED ACCESSIBLE RAMP CLOS #10.32A
[Symbol]	PROPOSED ACCESSIBLE SPACE --/--
[Symbol]	PROPOSED ACCESSIBLE VAN SPACE --/--
[Symbol]	PROPOSED ACCESSIBLE SIGN CLOS #20.10A, B, C
[Symbol]	PROPOSED STOP SIGN --/--
[Pattern]	HEAVY DUTY CONCRETE --/--
[Pattern]	HEAVY DUTY BITUMINOUS CONCRETE --/--
[Pattern]	LIGHT DUTY BITUMINOUS CONCRETE --/--
[Symbol]	PROPOSED 1'-6" CURB & GUTTER CLOS #10.17A
[Symbol]	PROPOSED 2'-6" CURB & GUTTER CLOS #10.17A
[Symbol]	PROPOSED LIGHTING --/--

- STAKING AND MATERIALS PLAN NOTES**
- SEE ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - ALL DIMENSIONS ARE AT 90 DEGREES UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL ESTABLISH AND VERIFY POINT OF BEGINNING (P.O.B.) AND STAKE SITE.
 - AS INDICATED ON CONSTRUCTION DOCUMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION, NOTIFY COLLEMANST & STONE, P.A. IMMEDIATELY OF ANY DISCREPANCIES.
 - ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF BUILDING, OR CENTERLINE UNLESS OTHERWISE NOTED.
 - ALL DETAILS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH SPECIFICATIONS AND CONSTRUCTION DOCUMENTS.
 - ALL RADII SHALL BE 4'-6" (B.O.C.) UNLESS OTHERWISE NOTED.
 - STOP SIGNS SHALL BE R1-1 30"x30".
 - SIGHT TRIANGLES INDICATED ARE THE MINIMUM REQUIRED.











DEVELOPMENT STANDARDS

- General Provisions:**
 - These Development Standards form a part of the rezoning plan associated with this B-2(CD) petition to accommodate redevelopment on approximately 1.82 acres located at southwest corner of the intersection of Park Road and Tyvola Road as more particularly shown on the rezoning plan (the RZ1.0 Development of the Site will be governed by the attached plans and these Development Standards together with the plans referred to as the 01g qppl Rkpo as well as the applicable provisions of the City of Charlotte Zoning Ordinance (the 01g qppl Rkpo) Unless the Rezoning Plan (including these Development Standards) establish more stringent standards, the regulations established under the Ordinance for the General Business District (B-2) Zoning Classification shall govern development on the Site
 - The layout of the development; the exact alignments of points of access; the configuration and placements of parking areas; and the depictions of such other site elements on the Rezoning Plan are graphic representations of the proposed development. Consequently, except as otherwise expressly specified on the Rezoning Plan they may, therefore, be subject to alterations or modifications, during the design/development construction phases, and the buildings and parking improvements are located within the Building/Parking Envelope set forth on the Rezoning Plan and subject to compliance with the accompanying Development Standards and Section 6.207 of the Ordinance. For the purposes of Section 6.207 of the Ordinance, accessory buildings and structures located on the Site shall not be considered in any limitation on the number of buildings on the Site; and it is understood that one (1) primary building may be located on the Site in connection with the proposed car wash use. Parking layouts for surface parking may be modified to accommodate changes during the design/development/construction phases to the extent permitted by the Ordinance and subject to the requirements and conditions of the Development Standards.
- Permitted Uses & Development Limitations:**
 - The Site may be developed with the following use: car wash facility.
 - Any car wash facility developed on the Site will be limited to the following hours of operation: 7:00 am to 8:00 pm and the primary vacuuming and cleaning operations will be located within the building. In addition the proposed vacuuming equipment will be outfitted with a muffling device at the discharge point to lessen the noise. Some minor touch up vacuuming will be allowed outside behind the proposed building.
- Transportation:**
 - Subject to approval of the City Department of Transportation the Petitioner will construct a south bound left turn lane on Park Road into Closeburn Road as generally depicted on the Rezoning Plan.
 - Subject to approval of the City Department of Transportation the Petitioner will construct an east bound directional cross-over in the median of Tyvola Road to the existing driveway for the SouthPark Corners condominiums as generally depicted on sheet RZ2.0.
 - Subject to the above-referenced approval, the proposed left turn lane in Park Road and directional cross-over in Tyvola Road will be installed prior to the issuance of a final certificate of occupancy for the proposed building.
 - Subject to the approval of the City Department of Transportation, the Petitioner will install a no u-turn sign on Park Road at its intersection with Tyvola Road.
 - Access to the Site will be from two right-in-right-out driveways, one along Tyvola Road and one Park Road as generally depicted on the Rezoning Plan.
 - The alignment of the internal vehicular circulation and driveways may be modified by the Petitioner to accommodate changes in traffic patterns, parking layouts and any adjustments required for approval by the Charlotte Department of Transportation.

- Architectural Standards:**
 - The attached elevation associated with the building to be located on the Site as part of a car wash facility use on the Site is included to reflect the architectural style and quality of the building that will be constructed in connection with such (the actual building so constructed in connection with such use may vary slightly from this illustration as long as the general architectural concept and intent shown is maintained). The proposed building materials will be a combination of brick, stone, simulated stone, pre-cast stone, stucco, synthetic stucco and glass.
 - The proposed building constructed on the Site will be designed and constructed with a 01 tggp Tqgh0 The proposed 01 tggp Tqgh0 will be designed so that plants installed on the 01 tggp Tqgh0 form a pattern/design that enhances the appearance of the building's roof. This will be accomplished by the use of plants of different colors, textures and heights. Such 01 tggp Tqgh0 will be a modular green roof system that will utilize a mix of sedum plants. The proposed 01 tggp Tqgh0 is conceptually shown on the Rezoning Plan (certain portions of the building will have pitched roofs that will not be constructed as a 01 tggp Tqgh0 The 01 tggp Tqgh0 will be maintained by the building operator and must be installed prior to the issuance of a final certificate of occupancy for the building.
 - All sides of the building(s) to be constructed on the Site will be built using four-sided architecture.
 - Meter banks will be located behind the building and will be screened.
 - Roof top HVAC and related mechanical equipment will not be allowed. HVAC and related equipment will be located behind the building and will be screened.

- Streetscape and Landscaping:**
 - The Petitioner will establish a 30 foot landscape setback along Park Road and a 20 foot landscape setback along Tyvola Road. These landscaped setbacks will be measured from the existing right-of-way lines and accordingly may be reduced to the extent the right-of-way lines are expanded. No buildings, parking or maneuvering or storm water detention/water quality structures may be located within these landscape setbacks. Driveways will be allowed to cross the landscape setbacks as nearly perpendicular to the street right-of-way as reasonably possible.

- Lighting:**
 - All new lighting shall be full cut-off type lighting fixtures including lower, decorative lighting that may be installed along the driveways, sidewalks, and parking areas.
 - Detached lighting on the Site will be limited to 20 feet in height. The specific locations of the proposed lighting has been indicated on Sheet RZ1.0.
 - No "wall pak" lighting will be allowed, however architectural lighting on building facades, such as scones, will be permitted.
- Other:**
 - Screening requirements of the Ordinance will be met.
 - All mechanical equipment for the building on the Site will be located behind the building or behind the proposed screen wall.
 - Dumpster areas and recycling areas on the Site will be enclosed by a solid wall with one side being a decorative gate. The wall used to enclose the dumpster will be architecturally compatible with the building materials and colors used on the building on the Site. If one or more sides of a dumpster area adjoin a side or rear wall of a building then the side or rear wall may be substituted for a side. The possible location for the dumpster and recycling areas are shown on Sheet RZ1.0.
 - Above ground backflow preventers on the Site will be screened from public view at grade and will be located outside of the required setbacks.
- Amendments to the Rezoning Plan:**
 - Future amendments to the Rezoning Plan (which includes these Development Standards) may be applied for by the then Owner or Owners of the applicable Development Area portion of the Site affected by such amendment in accordance with the provisions of Chapter 6 of the Ordinance.
- Binding Effect of the Rezoning Application:**
 - If this Rezoning Petition is approved, all conditions applicable to the development of the Site under the Rezoning Plan will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

REZONING SUMMARY

REZONING SITE AREA: 1.82 ACRES
TAX PARCEL #: 171-243-01
EXISTING ZONING: R-22MF
PROPOSED ZONING: B-2 (CD)
EXISTING USES: VACANT BUILDING
PROPOSED USES: CAR WASH FACILITY, INSTITUTIONAL USES OR OFFICES USES (AS SET FORTH IN MORE DETAIL IN DEVELOPMENT STANDARDS).

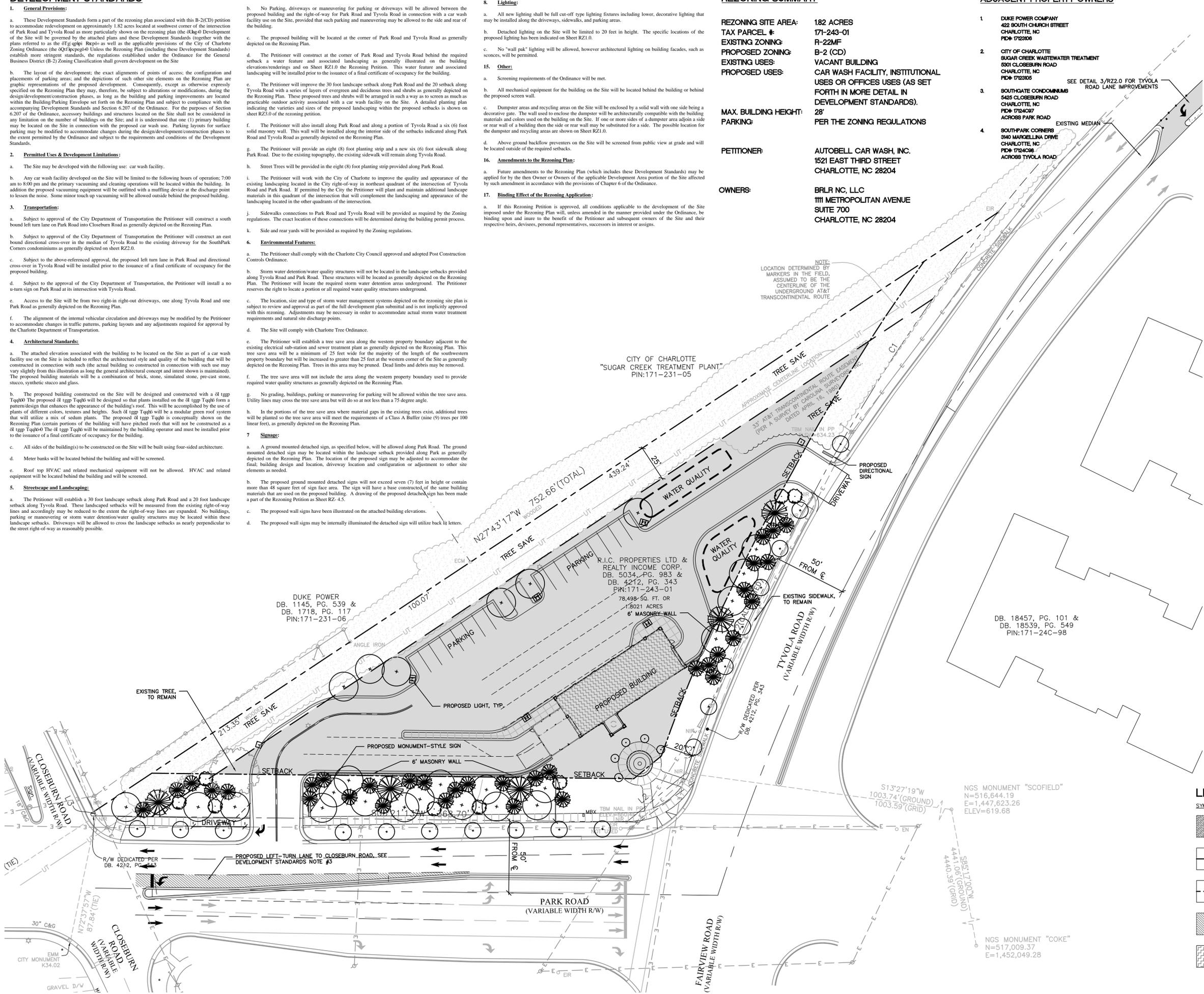
MAX. BUILDING HEIGHT: 28'
PARKING: PER THE ZONING REGULATIONS

PETITIONER: AUTOBELL CAR WASH, INC.
 1521 EAST THIRD STREET
 CHARLOTTE, NC 28204

OWNERS: BRLR NC, LLC
 1111 METROPOLITAN AVENUE
 SUITE 700
 CHARLOTTE, NC 28204

ADJACENT PROPERTY OWNERS

- DUKE POWER COMPANY**
 422 SOUTH CHURCH STREET
 CHARLOTTE, NC
 PIN: 1723208
- CITY OF CHARLOTTE**
 SUGAR CREEK WASTEWATER TREATMENT
 5801 CLOSEBURN ROAD
 CHARLOTTE, NC
 PIN: 1723205
- SOUTHGATE CONDOMINIUMS**
 5483 CLOSEBURN ROAD
 CHARLOTTE, NC
 PIN: 1724327
 ACROSS PARK ROAD
- SOUTH PARK CORNERS**
 3140 MARCELLINA DRIVE
 CHARLOTTE, NC
 PIN: 1724398
 ACROSS TYVOLA ROAD



ColeJenest & Stone
 Shaping the Environment
 Realizing the Possibilities
 Land Planning
 Landscape Architecture
 Civil Engineering
 Urban Design

200 South Tryon Street, Suite 1400
 Charlotte, North Carolina 28202
 p+ 704 376 1555 f+ 704 376 7851
 url+ www.colejeneststone.com

AUTOBELL CAR WASH, INC.

Charlotte
 North Carolina 28204

AUTOBELL PARK ROAD REZONING

Charlotte
 North Carolina 28204

PETITION # 2011 - 035

TECHNICAL DATA SHEET

Project No.
 4062
Issued
 03/28/11

Revised

06/02/11	SITE PLAN REVISION-CDOT COMMENTS
06/06/11	SITE PLAN REVISIONS
06/14/11	SITE PLAN REVISIONS/LIGHTS ADDED
06/20/11	PLAN RESUBMITTAL

LEGEND

- SYMBOL**
- BUILDING/PARKING ENVELOPE
 - PROPOSED SETBACK
 - TREE SAVE BOUNDARY
 - PROPOSED ROAD IMPROVEMENTS
 - PROPOSED GREEN ROOF



RZ1.0

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PETITION # 2011 - 035



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AUTOBELL CAR WASH, INC.

Charlotte
North Carolina 28204

AUTOBELL PARK ROAD REZONING

Charlotte
North Carolina 28204

PETITION # 2011 - 035

CROSS SECTIONS

Project No.
4062

Issued
03/28/11

Revised

06/06/11 SITE PLAN REVISIONS
06/20/11 PLAN RESUBMITTAL

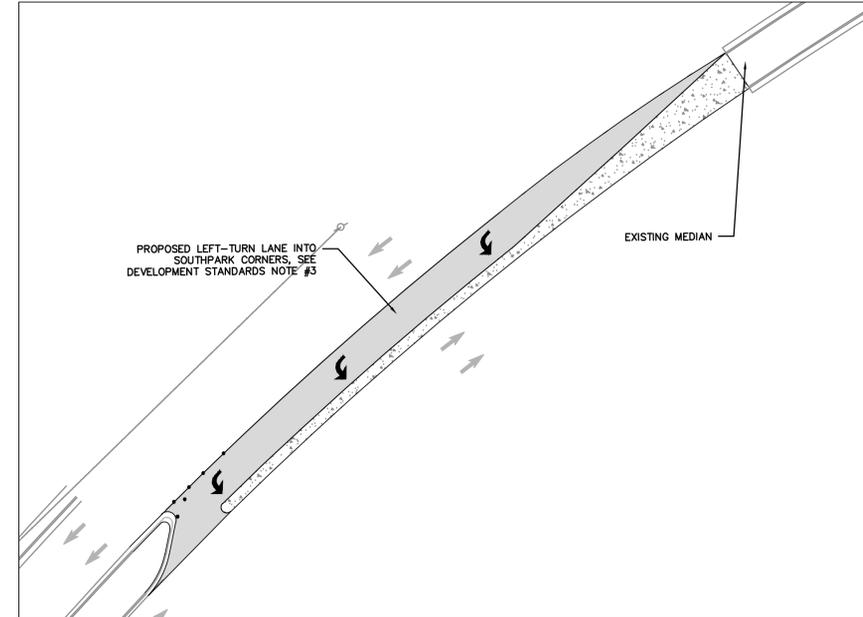


RZ2.0

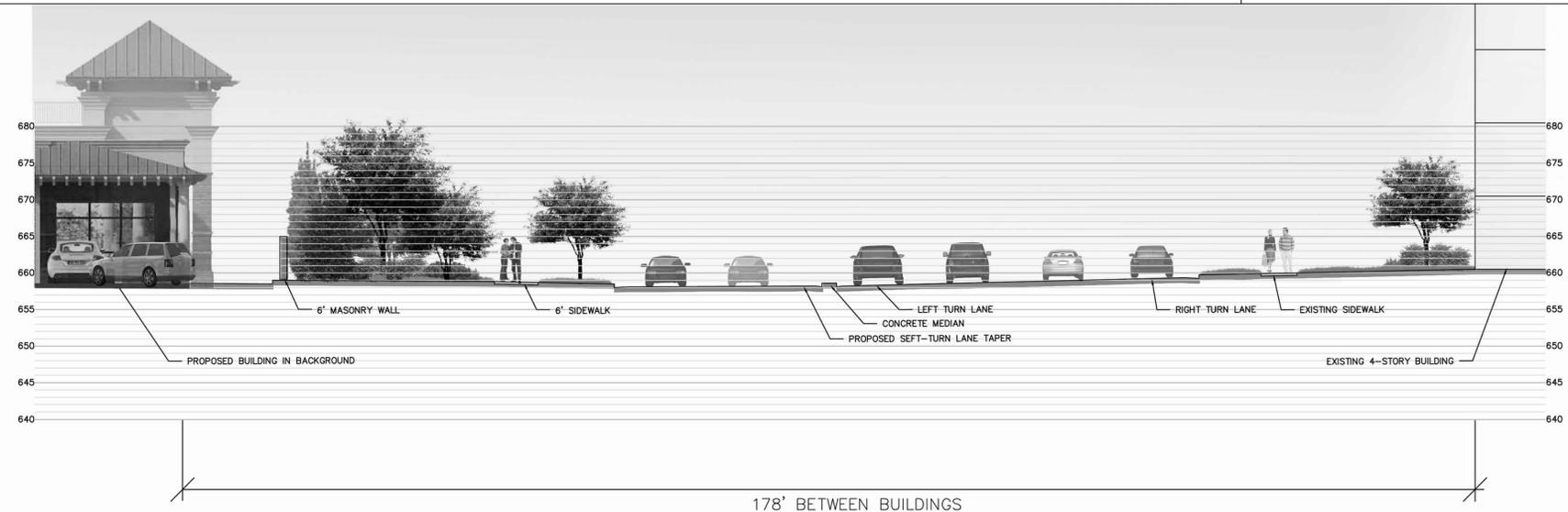
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PETITION # 2011 - 035

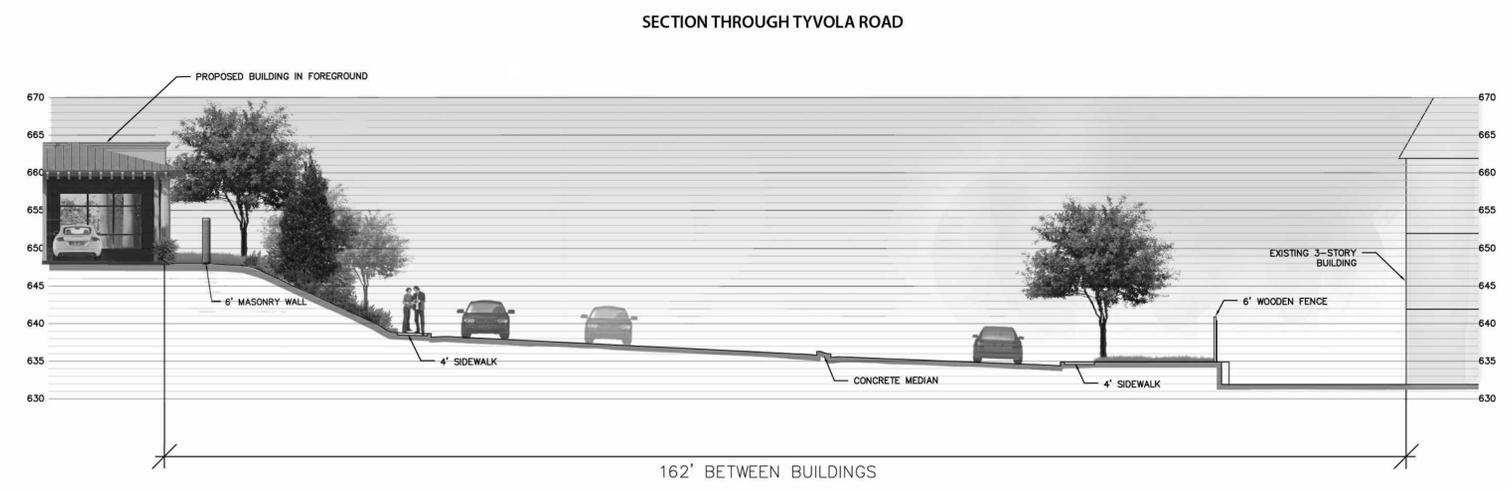


TYVOLA ROAD TURN LANE IMPROVEMENTS (SOUTHPARK CORNERS) SCALE: 1"=30' 3



PARK ROAD CROSS SECTION

SCALE: 1"=10' 2



TYVOLA ROAD CROSS SECTION

SCALE: 1"=10' 1



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AUTOBELL CAR WASH, INC.

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North Carolina 28204

AUTOBELL PARK ROAD REZONING

Charlotte
North Carolina 28204

PRELIMINARY PLANTING PLAN

Project No.

4062

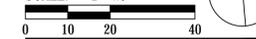
Issued

06/06/11

Revised

06/20/11 PLAN RESUBMITTAL

SCALE: 1"= 20'

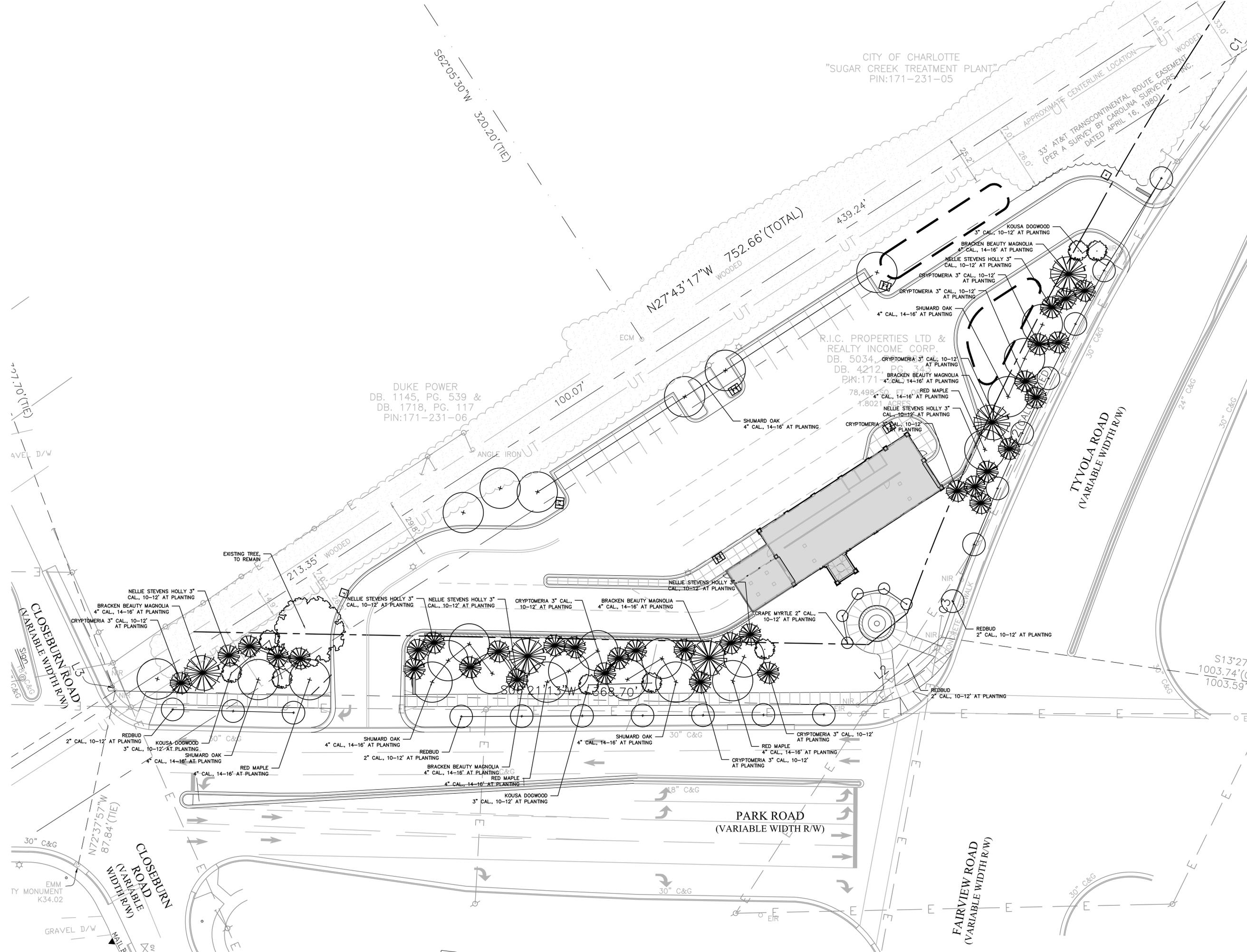


RZ3.0

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PETITION # 2011 -035

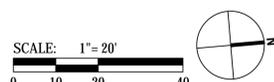


CITY OF CHARLOTTE
"SUGAR CREEK TREATMENT PLANT"
PIN:171-231-05

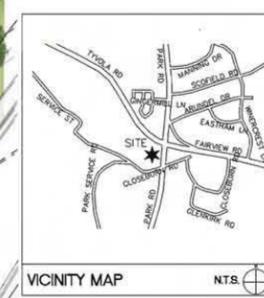
DUKE POWER
DB. 1145, PG. 539 &
DB. 1718, PG. 117
PIN:171-231-06

R.I.C. PROPERTIES LTD &
REALTY INCOME CORP.
DB. 5034, PG. 34
DB. 4212, PG. 34
PIN:171-231-05
78,498 SQ. FT. OF
1,802 ACRES

S13°27'18"
1003.74'(GR)
1003.59'(GR)



NOTE:
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DB. 18457, PG. 101 &
DB. 18539, PG. 549
PIN:171-24C-98

LEGEND

SYMBOL	DETAIL
[Symbol]	PROPOSED SIDEWALK CLOS #10.22
[Symbol]	PROPOSED ACCESSIBLE RAMP CLOS #10.32A
[Symbol]	PROPOSED ACCESSIBLE SPACE -/-
[Symbol]	PROPOSED ACCESSIBLE VAN SPACE -/-
[Symbol]	PROPOSED ACCESSIBLE SIGN CLOS #20.10A, B, C
[Symbol]	PROPOSED STOP SIGN -/-
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