

DEVELOPMENT SUMMARY

Tax Parcel ID#: 14920356

Total Site Area: 1.25 Acres (54,458 S.F.)

Existing Zoning: Mixed-Use Development (MUDD (CD))

Proposed Zoning: Mixed-Use Development District-Optional (MUDD (O))

Existing Use: Office

Proposed Use: Office uses allowed within MUDD zoning district

Proposed Maximum Building Height: 60 Feet

Proposed Maximum Building Area: Not to exceed 12,000 SF

Parking Provided: 1,333 SF

CONTACT INFORMATION

OWNER: BANK OF THE OZARKS
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ARCHITECT: AI DESIGN GROUP, INC.
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LAND PLANNER: DESIGN RESOURCE GROUP, P.A.
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GENERAL PROVISIONS

- These Development Standards form a part of the Rezoning Petition filed by Bank of the Ozarks ("Petitioner" or "Owner") to accommodate the development of that approximately 1.25 acre site located on the west side of Park Road between Drexel Place and Heather Lane and which is more particularly depicted on the Technical Data Sheet (the "Site").
- Petitioner purchased the Site in 1995. Prior to 2008, the Site was zoned O-2. In 2008, the Site was placed under contract for purchase by a developer and rezoned to MUDD (CD) as part of a multi-parcel project (See Rezoning Petition 2008-033, approved March 17, 2008). The Site was not purchased by the developer and the Site has not been developed in accordance with the Approved 2008 Site Plan.
- The Development of the Site will be governed by the Rezoning Petition, these Development Standards and the applicable provisions of the City of Charlotte Zoning Ordinance (the "Ordinance"), subject to the optional provisions set out below.

OPTIONAL PROVISIONS

Petitioner is requesting the following variations as part of this UMUDD-0 Application:

- Drive-in Windows (Section 9.8504): Drive-through service lanes and windows shall be permitted only as an accessory use to a bank or financial institution.
- Parking Standards (Section 9.8507(2)): Parking and circulation between the building (the permitted use) and both Park Road and Heather Lane shall be permitted in order to accommodate the traffic flow through the drive through lanes and make efficient use of the narrow Site.
- Signage (Chapter 13): All signage shall conform to Section 13.108(a) with the exception that Petitioner reserves the right to have a ground mounted sign a maximum of five (5) feet in height and fifty (50) feet in signage area.

PERMITTED USES

Subject to the maximum building area set forth above, the Site may be devoted to any office use allowed in the MUDD Zoning District; and accessory uses allowed in the MUDD zoning district.

ARCHITECTURAL STANDARDS

- The elevations attached to the Rezoning Petition are intended to portray the general conceptual architectural style, character and elements of the new building to be constructed on the Site.
- Accordingly, the new building constructed on the Site shall be substantially similar in character and elements. The predominant building material on all four sides will be masonry (i.e. brick or stone). Changes and alterations which do not materially change the overall conceptual, architectural style and character are permitted based upon final design/construction drawings.
- The building, parking and landscape configuration shown on the Site Plan represents a firm plan for the development of this Site.
- Lightly tinted glass shall be permitted on all ground floor windows. No mirrored glass shall be used in the building.

STREETSCAPE AND LANDSCAPING

- Petitioner shall install a minimum eight (8) foot sidewalk and a minimum eight (8) foot planting strip along the Site's frontage on Park Road, and a minimum six (6) foot sidewalk and minimum eight (8) foot planting strip along the Site's frontage on Heather Lane. Landscaping along the Site's frontage on Park Road and Heather Lane will meet the minimum standards of the Ordinance.

LIGHTING

- Any lighting attached to the new building shall be decorative, capped and downwardly directed. Standard "Wall-Pak" type lighting will not be permitted. Wall-mounted decorative light fixtures such as sconces are permitted.
- Any detached lighting will not exceed 15 feet in height, will be aimed into the Site away from adjoining properties and public streets and shall be a fully shielded cutoff fixture.

TRANSPORTATION

- Vehicular access will be generally depicted on the Rezoning Petition. The placement and configuration of each access point are subject to any minor modifications required to accommodate final Site and architectural construction plans and designs and to any adjustments required for approval by CDOT and/or NCDOT.
- Internal sidewalks shall be provided on the Site as generally depicted on the Schematic Site Plan.
- Petitioner shall keep the existing driveway on Park Road open but limit same to right right out as generally depicted on the Rezoning Petition Site Plan.
- Future right-of-way along Park Road to include 8-foot planting strip and 8-foot sidewalk. Petitioner to convey this additional right-of-way to the City of Charlotte prior to issuance of Certificate of Occupancy.
- Petitioner shall dedicate an additional 5-feet of right-of-way along Heather Lane and a 30-foot radius at the Heather/Park intersection to the City of Charlotte prior to the issuance of the Certificate of Occupancy.
- Petitioner to provide cross access easement to abutting (tax parcel 149-203-52) in the area shown on the site plan for possible future connection between Drexel Place and Heather Lane.

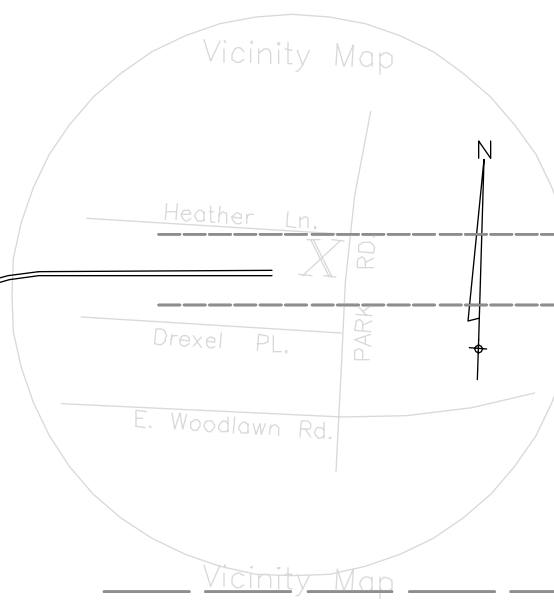
AMENDMENTS TO REZONING PLAN

Future amendments to the Rezoning Petition Site Plan and these Development Standards may be applied for by the then owner or owners of the Site in accordance with the provisions of Section 6.207 "Alterations of Approval" of the Ordinance

BINDING EFFECT OF THE REZONING DOCUMENTS AND DEFINITIONS

If this Rezoning Petition is approved, all conditions applicable to development of Site and proposed under these Development Standards will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of the Petitioners and the current and subsequent owners of the Site and their respective successors in interest and assigns.

Throughout these Development Standards, the terms "Petitioner" and "Owner" or "Owners" shall be deemed to include the heirs, devisees, personal representatives, successors in interest and assigns of Petitioner or the Owner or Owners of the Site from time to time and may be involved in any future development thereon.



A1 ARCHITECTURAL SITE PLAN
SCALE: 1" = 20'-0"

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ARCHITECTURE / INTERIORS

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BANK OF THE OZARKS
4200 PARK RD
CHARLOTTE, NC

Mark	Date	Description
△	5-23-11	REZONING REV. SUBMITTAL #1
△	3-29-11	REZONING SUBMITTAL

Project No.: 11290
Drawn by: JVPW
Checked by:

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REZONING PETITION
PETITION NO. 2011-034

A-100

