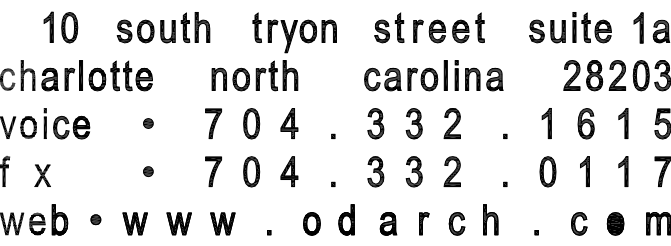




|                  |     |
|------------------|-----|
| Min. Open Space: | 50% |
| Tree Save Areas: | 35% |

1. The development of the site will be controlled by the standards depicted on this site plan and by the standards of the City of Charlotte Zoning Ordinance. The development depicted by this plan is intended to reflect the general arrangement of proposed residential uses on the site, but the exact details of configuration, placement and size of individual buildings and / or site elements may be altered or modified within the limits prescribed by the ordinance as specified in Section 6.206(2). If conflict occurs between Conditional Notes and Ordinance, the more restrictive will apply.
2. The development proposal will allow a Planned Multi-Family residential development as outlined in 9.303(19). The proposed residential uses will include single family detached, duplexes, multi-family attached and a residential amenity building.
3. The new street connection between Sardis Road and Chevron Drive is proposed as a private drive. The curb cut at Sardis Road is existing and is to remain. The number and location of proposed driveways shall be as generally depicted on the site plan. Such driveways shall conform to all requirements for design, construction, etc. of the City of Charlotte DOT.
4. A 8' landscaped area and 5' sidewalk will be provided along Chevron Dr. Sidewalk retaining walls are existing along Sardis Rd.
5. Dumpster and Recyclable areas shall be enclosed on all four sides by a solid wall with one side being a hinged gate. Single family and duplexes will be allowed the option of roll-out service.
6. The architectural style of all residential units will complement the existing structure in terms of massing, materials and character. The actual styles may vary to create a residential village. Materials that are allowed include brick, stone, stucco or synthetic stucco, hardi-plank, architectural grade fiberglass shingles, standing seam copper or metal roofing.
7. The proposed development will comply with the City of Charlotte Post Construction Controls Ordinance. No detention areas will be allowed within any setbacks or required yards.
8. New lighting along the Private Street will be decorative pole lighting not to exceed 20' in height. All lighting fixtures shall be fully capped and shielded such that the illumination is downwardly cast. No "wall-pak" fixtures will be allowed.



SARDIS RD.  
CHARLOTTE, NC

PETITION # 2011-xxx  
FOR PUBLIC HEARING

## KEY PLAN

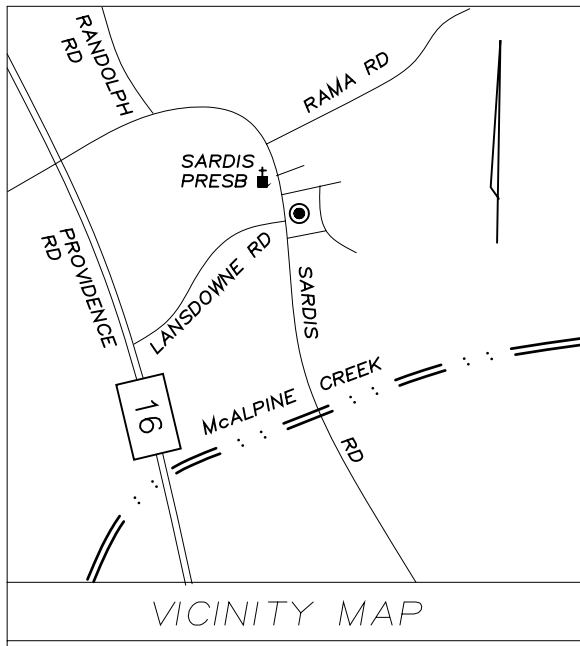
[illegible]

# SITE PLAN

# RZ-1

Copyright 2009, Overcash Demmitt Architects  
ODA No. 112481 CADD File:

 $1'' = 40'$



APPROVED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 20 (SUBDIVISION ORDINANCE) OF THE CITY CODE OF THE CITY OF CHARLOTTE, NORTH CAROLINA. CHARLOTTE MECKLENBURG PLANNING COMMISSION

PLANNING COMMISSION STAFF \_\_\_\_\_ DATE \_\_\_\_\_

### 100+1 Flood Cross-Section Data

| X-Sect. Number | Sta. | 100+1 Flood Elevation |
|----------------|------|-----------------------|
| 0              | 0+00 | 650.50                |
| 1              | 1+00 | 652.04                |
| 2              | 2+00 | 652.41                |
| 3              | 3+00 | 654.20                |
| 4              | 4+00 | 655.57                |
| 5              | 5+00 | 657.24                |
| 6              | 5+78 | 657.54                |

### Min. Flood Protection Elevations

| LOT | ELEVATION |
|-----|-----------|
| 1   | 658.0     |
| 2   | 656.0     |
| 3   | 654.0     |
| 4   | 653.0     |

#### SYMBOL LEGEND

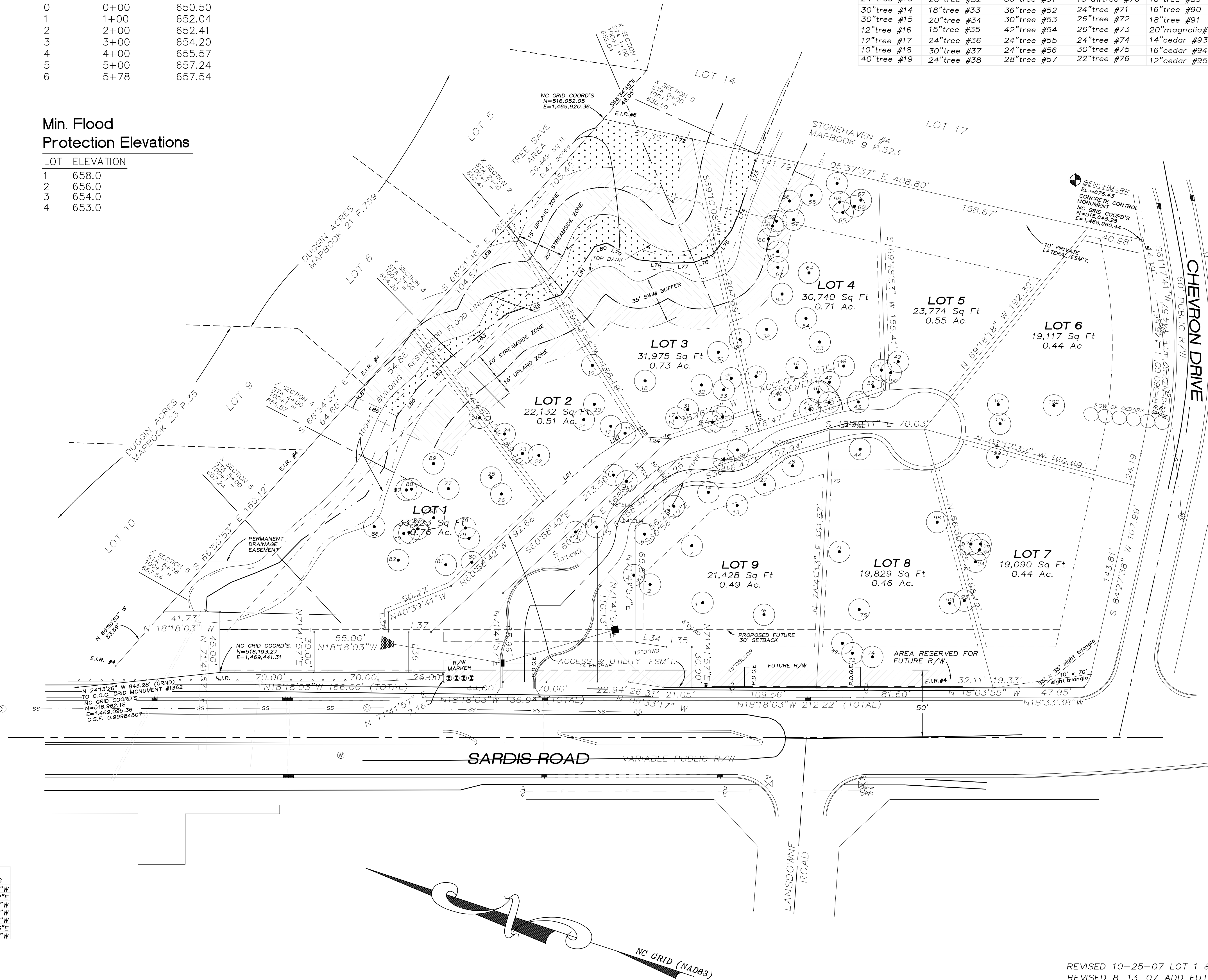
- POWER POLE (P.P.)
- WATER VALVE
- SEWER MAN HOLE
- DRAINAGE MAN HOLE
- FIRE HYDRANT
- CURB INLET
- ELECTRIC LINE
- LIGHT POLE (L.P.)
- RCP REINFORCED CONC. PIPE
- WATER METER
- WATER MAN HOLE
- U.G. PIPE
- TREE LINE
- BARRICADE
- GAS VALVE
- FENCE LINE
- GAS LINE
- SEWER LINE
- N.I.R. NEW IRON REBAR(#5)
- E.I.R. EXISTING IRON REBAR
- P.D.G.E. PERMANENT DOWN GUY EASEMENT

| LINE | LENGTH | BEARING     |
|------|--------|-------------|
| L1   | 20.04  | N71°40'56"E |
| L2   | 29.99  | S78°22'39"E |
| L3   | 104.25 | S04°08'43"E |
| L4   | 7.60   | S28°20'36"E |
| L5   | 10.00  | N61°20'16"E |
| L6   | 9.80   | S28°20'36"E |
| L7   | 98.82  | S04°08'43"E |
| L8   | 39.78  | S78°22'39"E |
| L9   | 29.60  | N71°40'56"E |
| L10  | 11.37  | S77°37'41"W |
| L11  | 10.16  | S75°54'53"W |
| L12  | 43.29  | S24°21'38"E |
| L13  | 73.15  | S09°10'29"E |
| L14  | 3.03   | S83°21'13"E |
| L15  | 19.49  | N17°46'07"W |
| L16  | 19.49  | N17°46'07"W |
| L17  | 15.13  | S83°21'13"E |
| L18  | 79.56  | S09°10'29"E |
| L19  | 43.95  | S24°21'38"E |
| L20  | 8.18   | S34°45'01"W |
| L21  | 51.91  | S58°59'10"E |
| L22  | 36.63  | S51°46'48"E |
| L23  | 6.75   | N39°23'54"E |
| L24  | 20.67  | S14°26'38"E |
| L25  | 15.00  | S53°43'13"W |
| L26  | 57.79  | S36°39'54"E |
| L27  | 33.08  | N27°43'59"W |
| L28  | 36.87  | N34°27'16"W |
| L29  | 17.48  | S56°00'39"E |
| L30  | 14.94  | S12°22'27"E |
| L31  | 17.83  | N55°50'34"W |
| L32  | 17.20  | S60°58'42"E |
| L33  | 12.77  | S72°25'12"W |
| L34  | 23.13  | S09°33'11"E |
| L35  | 18.76  | S18°18'03"E |
| L36  | 30.00  | N71°41'57"E |
| L37  | 16.61  | S18°18'03"E |
| L38  | 15.00  | N71°41'57"E |

| CURVE | LENGTH | RADIUS | CHORD | CHD_BRG     |
|-------|--------|--------|-------|-------------|
| C1    | 32.30  | 30.50  | 30.82 | N06°19'18"W |
| C2    | 97.11  | 30.50  | 60.99 | S64°46'02"E |
| C3    | 20.80  | 22.00  | 20.04 | N00°38'41"W |
| C4    | 4.43   | 37.76  | 4.43  | N31°05'38"W |
| C5    | 10.40  | 27.65  | 10.34 | N45°13'58"W |
| C6    | 33.07  | 43.42  | 32.28 | S34°11'33"E |
| C7    | 23.76  | 31.32  | 23.20 | N34°06'31"W |

#### Site Development Data

|                          |                     |
|--------------------------|---------------------|
| Existing Zoning          | R-3                 |
| Total Site Area          | 4.56 Acres          |
| Density                  | 0.57 Units/Acre     |
| Public Street R.O.W.     | VARIABLE (as shown) |
| Min. Lot Size            | 16,230 SF           |
| Minimum Building Setback | 30 Feet             |
| Minimum Side Yard        | 6 Feet              |
| Minimum Rear Yard        | 45 Feet             |
| Minimum Lot Width        | 70 Feet             |



| TREE SCHEDULE |             |             |               |                |                |
|---------------|-------------|-------------|---------------|----------------|----------------|
| 30"tree #1    | 24"tree #20 | 30"tree #39 | 24"tree #58   | 18"tree #77    | 15"elm #96     |
| 24"tree #2    | 18"tree #21 | 24"ree #40  | 12"dbtree #59 | 24"tree #78    | 12"holly #97   |
| 24"tree #3    | 15"tree #22 | 20 tree #41 | 36"tree #60   | 10"tree #79    | 30"magnolia#98 |
| 16"tree #4    | 36"tree #23 | 15 tree #42 | 24"tree #61   | 48"dbtree #80  | 16"cedar #99   |
| 24"tree #5    | 24"tree #24 | 24"tree #43 | 24"tree #62   | 8"dgwdtree #81 | 11"pine #100   |
| 30"tree #6    | 30"tree #25 | 30 tree #44 | 14"tree #63   | 16"pine #82    | 32"elm #101    |
| 30"tree #7    | 30"tree #26 | 18 tree #46 | 22"tree #64   | 14"pine #83    | 24"elm #102    |
| 30"tree #8    | 30"tree #27 | 28 tree #45 | 24"tree #65   | 14"tree #84    |                |
| 36"tree #9    | 24"tree #28 | 12"tree #47 | 14"tree #66   | 14"tree #85    |                |
| 30"tree #10   | 24"tree #29 | 15"tree #48 | 12"tree #67   | 24"dbtree #86  |                |
| 30"tree #11   | 36"tree #30 | 24"tree #49 | 14"tree #68   | 16"pine #87    |                |
| 30"tree #12   | 30"tree #31 | 24"tree #50 | 18"tree #69   | 6"tree #88     |                |
| 36"tree #13   | 20"tree #32 | 36"tree #51 | 10"dwtree #70 | 10"tree #89    |                |
| 30"tree #14   | 18"tree #33 | 36"tree #52 | 24"tree #71   | 16"tree #90    |                |
| 30"tree #15   | 20"tree #34 | 30"tree #53 | 26"tree #72   | 18"tree #91    |                |
| 12"tree #16   | 15"tree #35 | 42"tree #54 | 26"tree #73   | 20"magnolia#92 |                |
| 10"tree #17   | 24"tree #36 | 24"tree #55 | 24"tree #74   | 14"cedar #93   |                |
| 40"tree #18   | 30"tree #37 | 24"tree #56 | 30"tree #75   | 16"cedar #94   |                |
|               | 24"tree #38 | 28"tree #57 | 22"tree #76   | 12"cedar #95   |                |

I, \_\_\_\_\_, REVIEW OFFICER OF MECKLENBURG COUNTY CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

#### CERTIFICATION:

I, JACK R. CHRISTIAN, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION (DEED DESCRIPTION RECORDED IN DEED BOOK 7822, PAGE 928, OF THE PUBLIC REGISTRY FOR MECKLENBURG COUNTY); THAT THE BOUNDARIES NOT SURVEYED ARE CLEARLY INDICATED AS DRAWN FROM INFORMATION FOUND IN BOOK \_\_\_\_\_, PAGE \_\_\_\_\_; THAT THE RATIO OF PRECISION IS 1:10,000; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED, WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL THIS 28th DAY OF MAY, A.D., 2005.

JACK R. CHRISTIAN, PLS #L-2624

#### NOTES:

- TAX PARCEL - #189-142-02
- ZONING - R-3
- IRON PINS SET AT ALL PROPERTY CORNERS, UNLESS OTHERWISE NOTED (#5 REBAR).
- THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF MECKLENBURG COUNTY WHICH HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.
- TREE SAVE AREA PER THE REQUIREMENTS OF THE CITY OF CHARLOTTE TREE ORDINANCE, CHAPTER 21 CITY CODE
- BASE REFERENCE DEED FOR SURVEY WAS FOUND IN DEED BOOK 7627 PAGE 29 OF THE MECKLENBURG COUNTY PUBLIC REGISTRY AND IS PART OF PROPERTY SHOWN IN MAPBOOK 1166 AT PAGE 677.

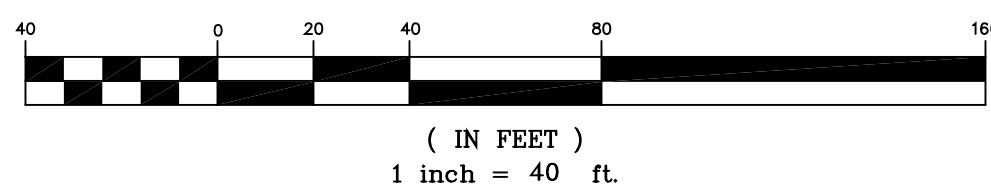
#### FLOOD NOTES:

- ANY CONSTRUCTION OR USE WITHIN ANY DELINEATED FLOOD AREAS IS SUBJECT TO THE RESTRICTIONS IMPOSED BY THE FLOODWAY REGULATIONS
- ALL OPENINGS (I.E.: DOORS, WINDOWS, VENTS) IN STRUCTURES BUILT ON LOT 4 & 5 SHOULD BE LOCATED A MINIMUM OF 1 FOOT ABOVE THE ADJACENT FINISHED GROUND SURFACE (APPLIES TO LOTS WHICH MAY EXPERIENCE CONSIDERABLE OVERLAND FLOW NOT CONSIDERED IN THE 100+1 FLOOD ANALYSIS)
- FLOODLINES SHOWN HAVE BEEN LOCATED FROM A FIELD SURVEY.
- BENCHMARK FOR SITE IS THE CENTERLINE OF A SAN. SEWER MANHOLE LOCATED AT THE REAR OF LOT 5. ELEV.=571.85' (NAD88)
- THE LOTS SHOWN WITHIN THE BUILDING RESTRICTION FLOODLINE (B.R.F.L.) ARE SUBJECT TO FLOODING DURING HEAVY RAINFALL AND THE CONSTRUCTION OF BUILDINGS OR STRUCTURES BELOW THE FLOOD PROTECTION ELEVATION, AS SHOWN, IS PROHIBITED, AS FURTHER DESCRIBED BY SECTION 7.200 OF THE CHARLOTTE-MECKLENBURG SUBDIVISION ORDINANCE.

#### REVISION NOTES:

- THIS PLAT WAS REVISED TO REARRANGE LOT LINES TO FACILITATE UTILITY SERVICES AND ACCESS ROAD.
- THIS MAP WAS PREVIOUSLY RECORDED IN MAPBOOK 48 PAGE 185.
- THIS PLAT SUPERCEDES ALL OTHER PLATS OF THIS PORTION OF THE SARDIS ROAD SUBDIVISION.

#### GRAPHIC SCALE



#### REVISED RECORD PLAT FOR

### SARDIS ROAD SUBDIVISION

OWNER: SARDIS ROAD LAND COMPANY  
DEED 21739 P.476

CITY OF CHARLOTTE  
MECKLENBURG COUNTY NORTH CAROLINA

JACK R. CHRISTIAN + ASSOCIATES  
-SURVEYING-

PHONE (704) 596-2214 FAX (704) 596-2338  
7811 OLD CONCORD RD. CHARLOTTE, NORTH CAROLINA 28213

REVISED 10-25-07 LOT 1 & 2  
REVISED 8-13-07 ADD FUTURE SB  
REVISED 8-13-07 LOTS, DRIVE  
REVISED 4-11-07 ADD TREES

|           |                          |                              |
|-----------|--------------------------|------------------------------|
| DWG: JRC  | CHECKED BY: TAC          | DATE: APRIL 11, 2007         |
| FILE: 302 | FILE NAME: SARDISRECTREE | SCALE: 1"=40' FILE: 05-11-15 |

