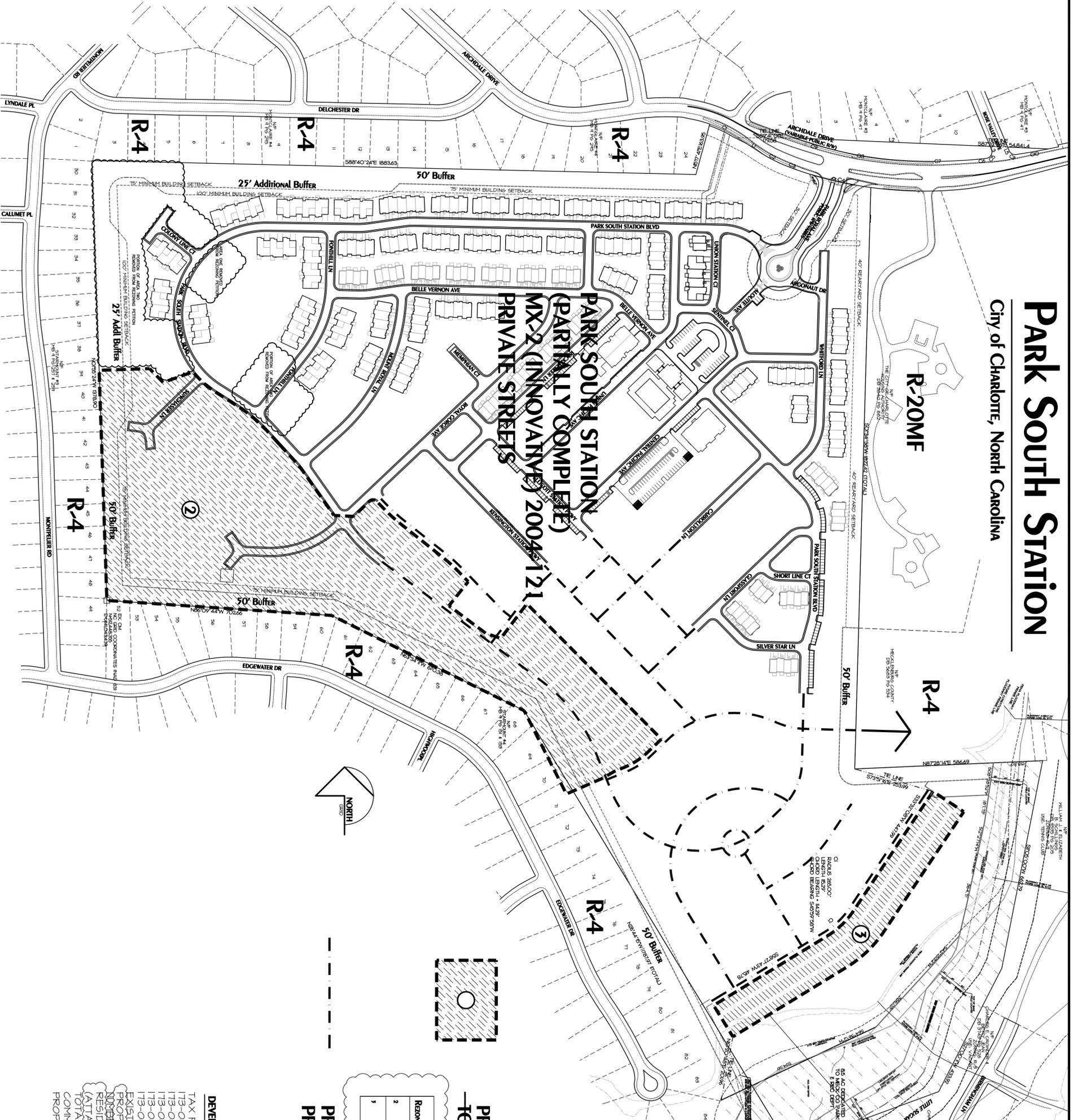
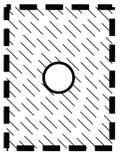


# Park South Station

City of Charlotte, North Carolina



**PARK SOUTH STATION  
(PARTIALLY COMPLETE)  
MX-2 (INNOVATIVE) 20041121  
PRIVATE STREETS**



PRO	FO-1
PRE	PRN
Reasoning	1
Reasoning	2

- DEVELOP**
- TAX PAR
  - 13-06-
  - 13-06-
  - 13-06-
  - 13-06-
  - 13-06-
  - 13-06-
  - EXISTING
  - PROPOS
  - MIXED
  - RESIDEN
  - (ATTACH
  - TOTAL
  - COMMON
  - PROPOS



**DEVELOPMENT STANDARDS**

THESE DEVELOPMENT STANDARDS FORM A PART OF THE TECHNICAL DATA SHEET ASSOCIATED WITH THE REZONING PETITION FILED BY PISTON, LLC TO ACCOMMODATE DEVELOPMENT OF THAT 25.40 ACRE SITE, WHICH IS MORE PARTICULARLY DESCRIBED ON THE TECHNICAL DATA SHEET (THE "SITE").

THE INTENT OF THIS REZONING IS TO ALLOW THE CONSTRUCTION OF SINGLE FAMILY DETACHED HOMES IN PORTIONS OF THE PARK SOUTH STATION PROJECT (PREVIOUS REZONING PETITION 2004-121) DESIGNATED ON THE SCHEMATIC PLAN. THE DEVELOPER/PETITIONER RESERVES THE RIGHT TO CONSTRUCT SINGLE FAMILY ATTACHED (TOWNHOMES WITH LAND FOR SALE) ON THE SITE IN THE AREAS DESIGNATED FOR SINGLE FAMILY.

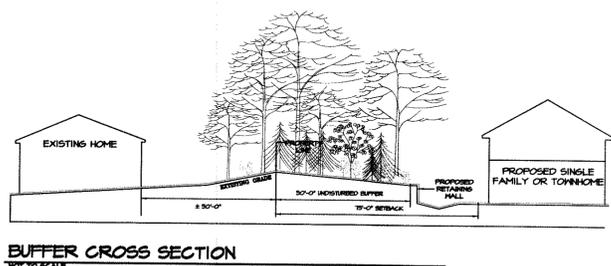
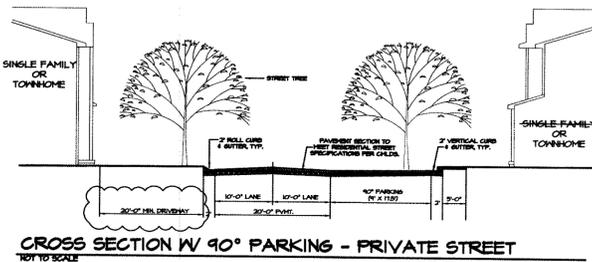
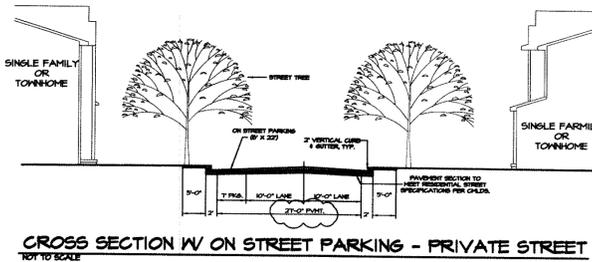
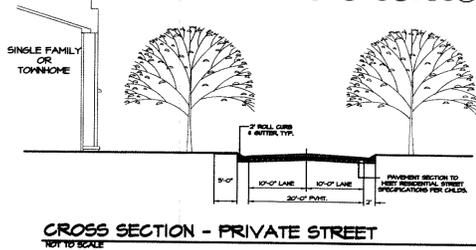
DEVELOPMENT OF THE SITE WILL BE GOVERNED BY THE TECHNICAL DATA SHEET, SCHEMATIC SITE PLAN, OTHER ATTACHED ILLUSTRATIONS AND THESE DEVELOPMENT STANDARDS AND THE APPLICABLE PROVISIONS OF THE CITY OF CHARLOTTE ZONING ORDINANCE (THE "ORDINANCE"), UNLESS THE TECHNICAL DATA SHEET, SCHEMATIC SITE PLAN, OTHER ATTACHED ILLUSTRATIONS OR THESE DEVELOPMENT STANDARDS ESTABLISH MORE STRINGENT STANDARDS, THE REGULATIONS ESTABLISHED UNDER THE ORDINANCE FOR THE MX-2 ZONING CLASSIFICATIONS SHALL GOVERN ALL DEVELOPMENT TAKING PLACE ON THE SITE.

STREET AND PARKING LAYOUTS MAY BE MODIFIED TO ACCOMMODATE FINAL BUILDING LOCATIONS.

ALL OF THE DEVELOPMENT STANDARDS INCLUDED IN REZONING PETITION 2004-121 SHALL REMAIN IN EFFECT EXCEPT FOR THE ABILITY OF THE DEVELOPER/PETITIONER TO CONSTRUCT SINGLE FAMILY DETACHED DWELLINGS IN THE AREAS SHOWN ON TECHNICAL DATA SHEET AND SCHEMATIC PLAN.

**A. INNOVATIVE DEVELOPMENT STANDARDS FOR SINGLE FAMILY HOMES**

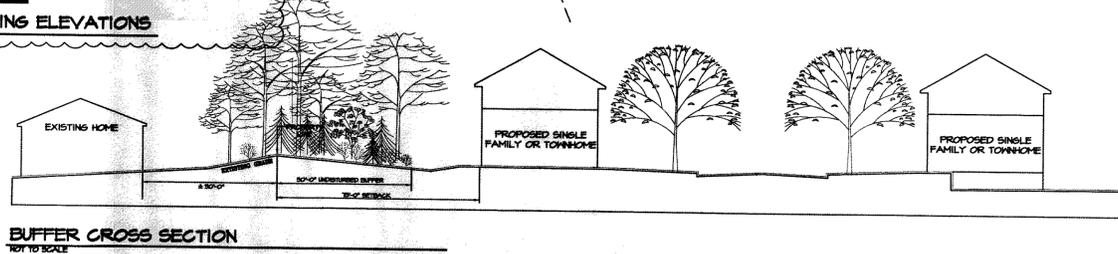
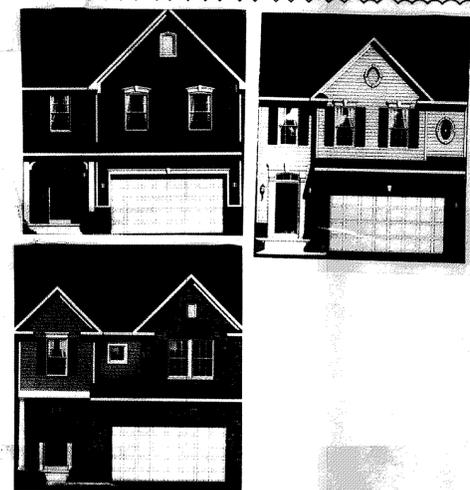
1. THE DEVELOPMENT MAY USE PRIVATE STREETS IN AREAS DESIGNATED FOR SINGLE FAMILY HOUSING.
2. THE PRIVATE STREETS SHALL BE CONSTRUCTED AS INDICATED BY THE BELOW CROSS SECTIONS.
3. THE MINIMUM FRONT SETBACK FOR SINGLE FAMILY HOMES SHALL BE 20 FEET FROM THE BACK OF CURB. ALL DRIVEWAYS SHALL HAVE A MINIMUM LENGTH OF 20 FEET FROM THE BACK OF SIDEWALK OR BACK OF CURB, WHICHEVER IS GREATER.
4. THE MINIMUM REAR YARD FOR SINGLE FAMILY HOMES SHALL BE 20 FEET.
5. THE MINIMUM LOT AREA FOR SINGLE FAMILY HOMES SHALL BE 3500 SF.
6. SINGLE FAMILY LOTS MAY FRONT ON PRIVATE STREETS.
7. THE BUILDING SEPARATION FOR SINGLE FAMILY LOTS SHALL BE NO LESS THAN 10 FEET FROM OTHER SINGLE FAMILY BUILDINGS.
8. NO INTERNAL BUFFERS REQUIRED BETWEEN THE VARIOUS RESIDENTIAL TYPES LOCATED WITHIN THE UNIFIED PARK SOUTH STATION DEVELOPMENT.



**PROPOSED REZONING AREA 3**

ALL SINGLE FAMILY DETACHED LOTS SHALL HAVE A 5' SIDEWALK BEHIND CURB

CI  
RADIUS 265.00'  
LENGTH 115.29'  
CHORD LENGTH = 114.29'  
CHORD BEARING S45°59'58"W



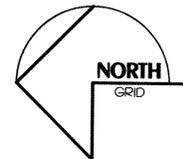
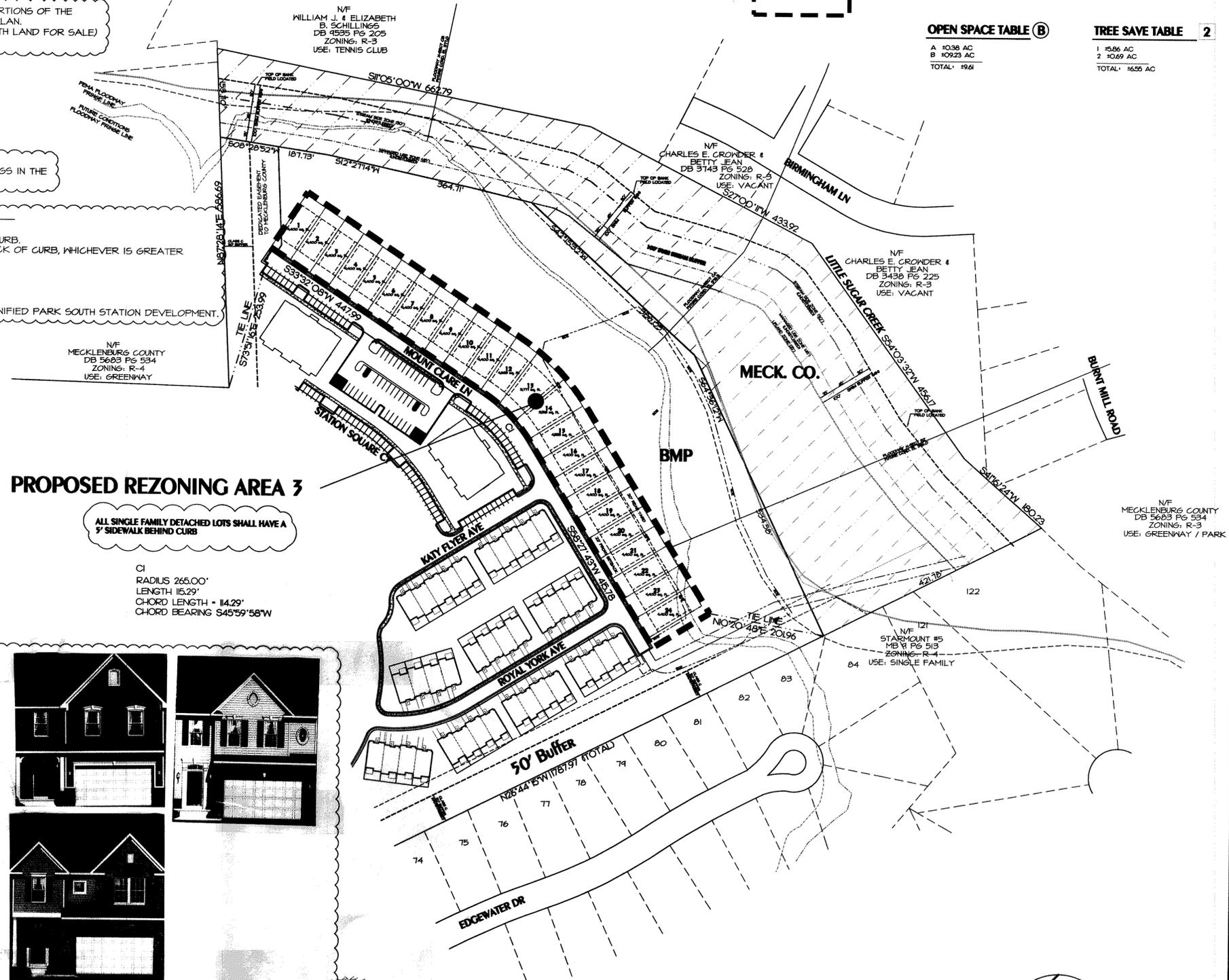
**PROPOSED REZONING AREAS TO ALLOW SINGLE FAMILY**

**OPEN SPACE TABLE (B)**

A 10.38 AC  
B 10.22 AC  
TOTAL 19.60

**TREE SAVE TABLE 2**

1 10.66 AC  
2 10.69 AC  
TOTAL 16.55 AC



Revisions:  
5/18/11 Submittal #2 Revised per CMP comments

**ORIGINAL PLANS BY KENNEY DESIGN GROUP, PA**

**J&B Development and Management, Inc.**  
9450 Moss Plantation Ave, Suite 201 Concord, North Carolina 28027  
VOICE: 704-782-7800 FAX: 704-782-7899

Scale: 1" = 100'  
Date: 3/19/2011  
Drawn By: RGH  
Designed By: RGH  
Job No.:

**Schematic Site Plan, Development Notes, and Details**  
**Park South Station Rezoning Petition 2011-032**  
City of Charlotte, Mecklenburg County, North Carolina  
J & B Development and Management, Inc. 9450 Moss Plantation Ave, Suite 201, Concord, NC 28025

Revisions:  
5/18/11 Submittal #2 Revised per CMP comments

Sheet No. **3** of 3