

VICINITY MAP

THE NEW BUILDING SHALL COMPLY WITH THE LAND USE REQUIREMENTS OF THE CHARLOTTE FIRE DEPARTMENT AND THE ACCESS REQUIREMENTS OF THE NC STATE FIRE CODE. THE NEW BUILDINGS WILL HAVE TO COMPLY WITH THE WATER SUPPLY REQUIREMENTS OF THE CHARLOTTE FIRE DEPARTMENT.

SOUTH END TRANSIT AREA PLAN SUMMARY

Euclid Avenue:
 Residential Neighborhood Street
 Existing Street Width (partial curb) Varies Approximately 26 Feet
 New Street Width for On-Street Parking Approximately 35 Feet BC to BC
 Frontyard Setback: 20 Feet From Back of Curb (Proposed)
 Planting Strip: 8 Feet
 Sidewalk: 6 Feet

GENERAL SITE DATA

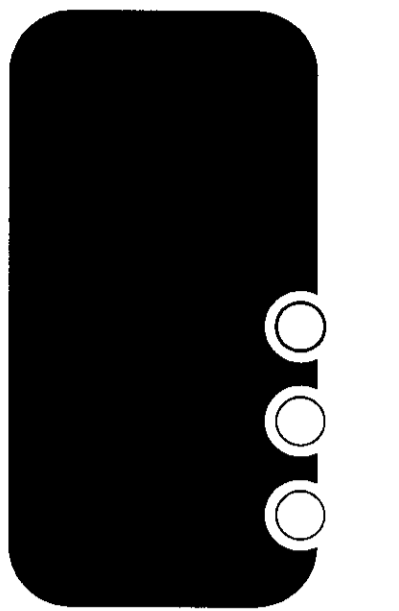
TAX ID NUMBERS FOR LOTS 11, 12, 13, 14 AND 15:
 12-106-716, 12-106-718, 12-106-704, 12-106-705 and 12-106-706
 Existing Zoning: O-2
 Proposed Zoning: TOD- R (Conditional)
 Proposed Use: Multi- Family (Condominiums)
 Proposed Number of Dwelling Units: 82 Max.
 Site Acreage: 1.0095 Acres (43,974 SF)
 Parking Requirements: 1.6 Spaces per Unit (maximum)
 Parking Required: 128 (max)
 Parking Provided: 118
 Typical Parking Dimension: 9' x 18'
 25% increase allowed for Structured Parking.
 Onstreet Parking will be provided.
 Building Height: 3 and 4 Levels of Dwelling Units
 Building Height of 40 Feet and a Maximum not to exceed 120' Feet

GENERAL ZONING NOTES

- The development of the site will be controlled by the standards depicted on this site plan and by the standards of the City of Charlotte Zoning Ordinance. The development depicted by this plan is intended to reflect the general arrangement of proposed uses on the site, dwelling units and/or site elements may be altered or modified within the limits prescribed by the ordinance as specified in Section 6.208 (2) as may be applicable. Minor and incidental changes of detail which do not alter the basic overall layout and/or the relationship of abutting sites are permitted as a matter of right for the petitioner/developer.
- All proposed development on the site shall comply with applicable ordinance requirements regarding such things as the number and arrangement of off-street parking, setbacks, yard dimensions, signage, buffers, screening, open space, landscaping, Tree Ordinance, etc... unless otherwise indicated.
- Vehicular points of access are as shown. The exact location may vary from that depicted, but shall comply with all applicable design/location requirements of the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.
- Proposed new curb locations, setbacks, planting strips and sidewalks were taken from the "South End Transit Station Area Plan".
- All landscape planting will conform to Chapter 21 of the City of Charlotte Ordinance.
- Sidewalks and planting strips along the site's public street frontage shall be established as indicated on site plan.
- The driveway connections to Euclid Avenue shall be designed and constructed as CM1D Standard drop curb Type II modified driveways with 3' radii. Driveway standard requirements will be established during the permit review and approval process. This rezoning petition should only reflect a conceptual plan of the proposed entrances.
- Parking Standards:
 Residential use in TOD-R zoning has a maximum of 1.6 parking spaces per dwelling unit. Parking maximums may be exceeded by up to a total of 25% if a structured underground parking deck is provided on site. (Section 9.1208.6(a)2).
 On-street parking spaces may count towards a minimum required number of spaces, but do not count in calculating maximum parking spaces.
 Bicycle parking will be located inside the parking structure.
- Balconies may encroach 2 feet into the setback provided they are 10 feet above grade per Section 9.1208 of the Charlotte Zoning Ordinance.
- The petitioner acknowledges that other standard development requirements imposed by other city ordinances, standards, policies and appropriate design manuals will exist. Those criteria (for example, those that require buffers, regulate streets, sidewalks, trees, stormwater and site development, etc...) will apply to the development site. This includes Chapters 6, 9, 12, 17, 18, 19, 20 and 21 of the City Code. Conditions set forth in this petition are supplemental requirements imposed on the development in addition to other standards. Where conditions on this plan differ from ordinances, standards, policies and approaches in existence at the time of formal engineering plan review submission, the stricter condition or existing requirements shall apply.
- The Developer will comply with all requirements regarding compactor and recycling areas as stated in Chapters 9 and 12 of the Charlotte City Code. Compactors and recycling facilities will be located inside parking structure.
- All lighting will be fully shielded and no "wall pak" type lighting will be allowed.
- Any fence or wall constructed along or adjacent to any sidewalk or street right of way requires a certificate issued by CDOT.

**A tree survey of the setback and right of way is required with the petition for commercial sites.

6 feet three

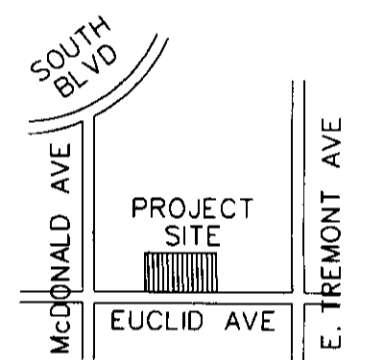


COMPANY NAME:

PROJECT NAME:

EUCLID CONDOMINIUMS CHARLOTTE, NC

Key Plan:



Revision	Date	Description
1	May 17, 2007	City Review Comments

JOB NO.:

DRAWN BY:

cmd/bt

Sheet Title:

TECHNICAL DATA SHEET

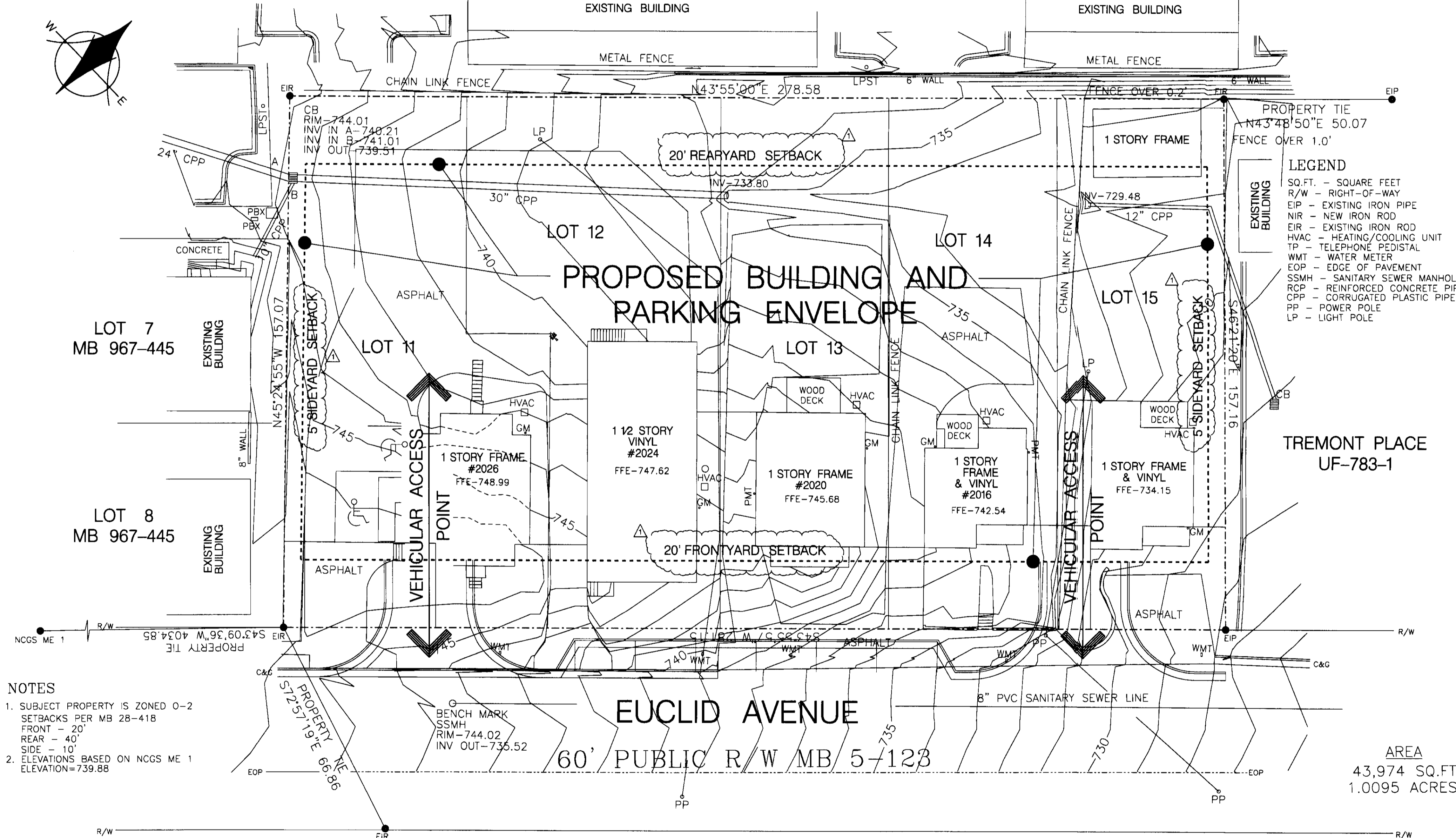
Issue Date:

May 12, 2007

Sheet Number:

RZ-1

BOULEVARD AT ATHERTON HEIGHTS UF-440-1



- LEGEND**
- SQ. FT. - SQUARE FEET
 - R/W - RIGHT-OF-WAY
 - EIP - EXISTING IRON PIPE
 - NIR - NEW IRON ROD
 - EIR - EXISTING IRON ROD
 - HVAC - HEATING/COOLING UNIT
 - TP - TELEPHONE PEDISTAL
 - WMT - WATER METER
 - EOP - EDGE OF PAVEMENT
 - SSMH - SANITARY SEWER MANHOLE
 - RCP - REINFORCED CONCRETE PIPE
 - CPP - CORRUGATED PLASTIC PIPE
 - PP - POWER POLE
 - LP - LIGHT POLE

AREA
 43,974 SQ.FT
 1.0095 ACRES

NOTES

- SUBJECT PROPERTY IS ZONED O-2 SETBACKS PER MB 28-418 FRONT - 20' REAR - 40' SIDE - 10'
- ELEVATIONS BASED ON NCGS ME 1 ELEVATION = 739.88

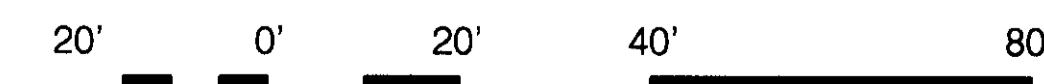
BENCH MARK
 SSMH
 RIM - 744.02
 INV OUT - 735.52

CHARLOTTE TOWNSHIP,
 MECKLENBURG COUNTY, N.C.
 MAP BOOK 5 PAGE 123
 TAX NUMBER: 12106716,18,04,05,06

FLOOD CERTIFICATION
 THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, DATED FEBRUARY 14, 2004
 COMMUNITY PANEL 37119C0188E

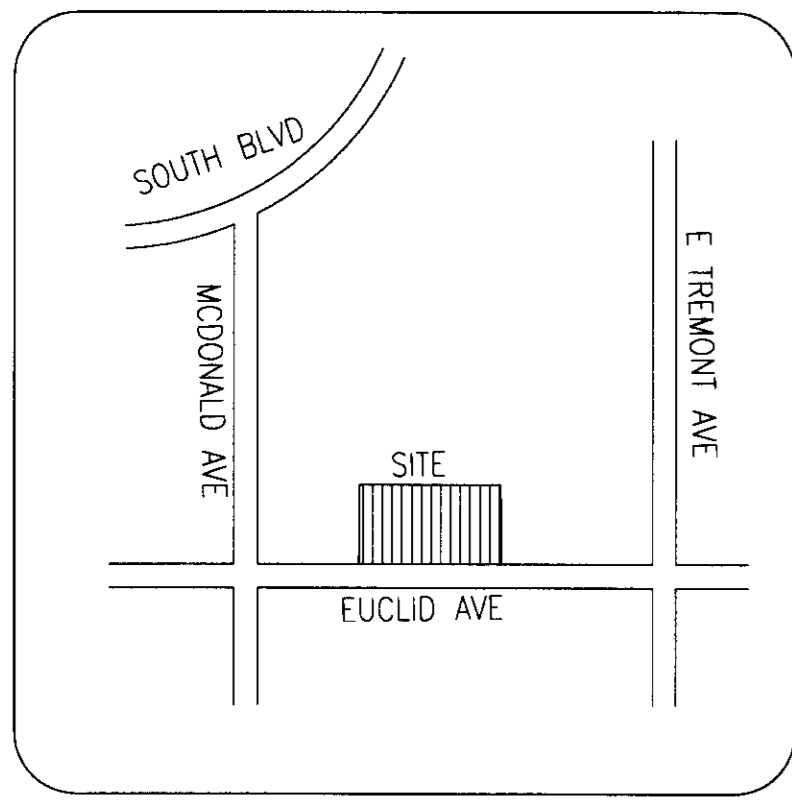
THIS IS TO CERTIFY THAT ON THE 14TH DAY OF DECEMBER, 2006, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAN MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE .1600 (21 NCAC 56) AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED: *James H. Mauney, Jr.*
 JAMES H. MAUNEY, JR. - PLS NO. L-3885



SCALE: 1" = 20'-0"

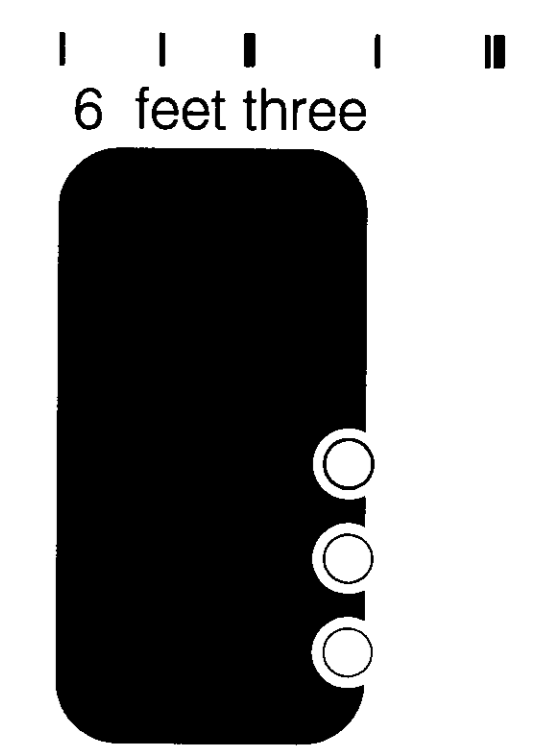
FOR PUBLIC HEARING PETITION No. 2007-45



VINICITY MAP

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Euclid Avenue:
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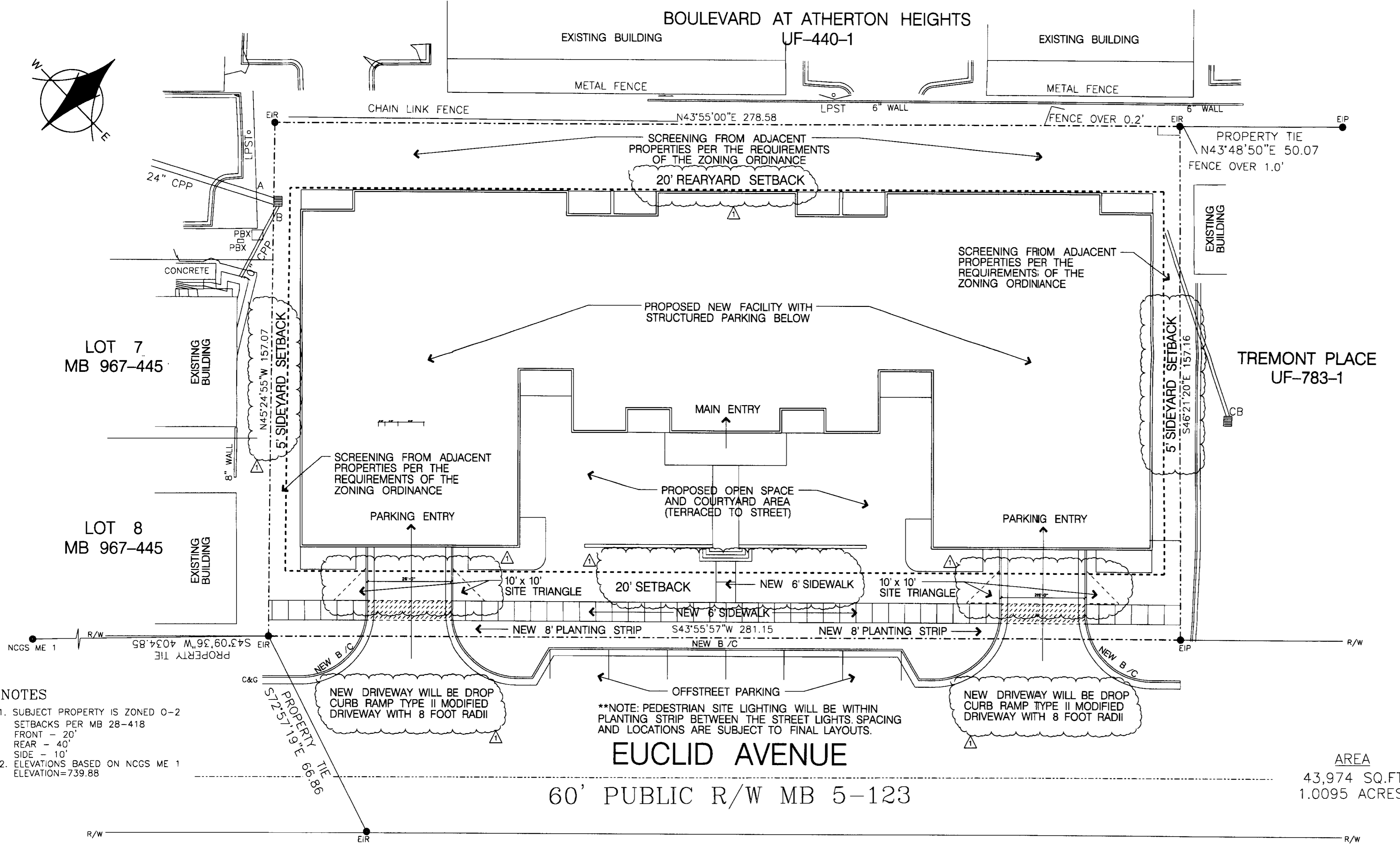
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AREA
 43,974 SQ.FT
 1.0095 ACRES

EUCLID AVENUE
 60' PUBLIC R/W MB 5-123

- NOTES**
- SUBJECT PROPERTY IS ZONED O-2 SETBACKS PER MB 28-418
 FRONT - 20'
 REAR - 40'
 SIDE - 10'
 ELEVATIONS BASED ON NCGS ME 1 ELEVATION=739.88
 - NEW DRIVEWAY WILL BE DROP CURB RAMP TYPE II MODIFIED DRIVEWAY WITH 8 FOOT RADII

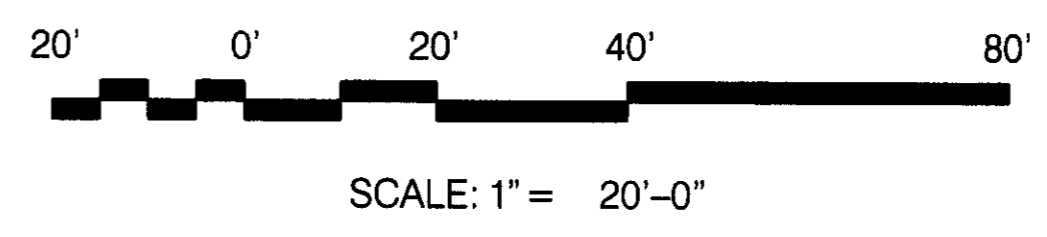
**NOTE: PEDESTRIAN SITE LIGHTING WILL BE WITHIN PLANTING STRIP BETWEEN THE STREET LIGHTS SPACING AND LOCATIONS ARE SUBJECT TO FINAL LAYOUTS.

CHARLOTTE TOWNSHIP,
 MECKLENBURG COUNTY, N.C.
 MAP BOOK 5 PAGE 123
 TAX NUMBER: 12106716,18,04,05,06

FLOOD CERTIFICATION
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THIS IS TO CERTIFY THAT ON THE 14TH DAY OF DECEMBER, 2006, AN ACTUAL SURVEY WAS MADE UNDER MY SUPERVISION OF THE PROPERTY SHOWN ON THIS PLAN, AND THAT THE BOUNDARY LINES AND THE IMPROVEMENTS, IF ANY, ARE AS SHOWN HEREON. THIS PLAN MEETS THE MINIMUM STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, BOARD RULE 1600 (21 NCAC 56) AND THE RATIO OF PRECISION DOES NOT EXCEED AN ERROR OF CLOSURE OF ONE (1) FOOT PER 10,000 FEET OF PERIMETER SURVEYED NOR 20 SECONDS TIMES THE SQUARE ROOT OF THE NUMBER OF ANGLES TURNED.

SIGNED: *James H. Maloney, Jr.*
 JAMES H. MALONEY, JR. - PLS NO: L-3885



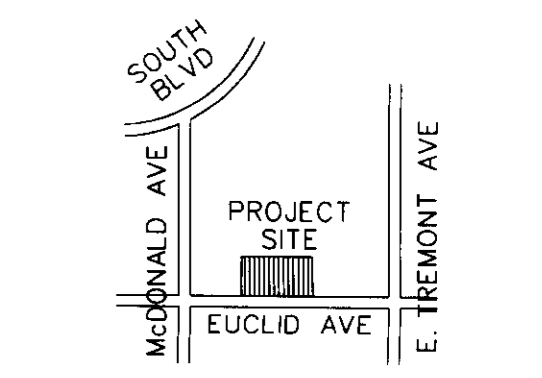
FOR PUBLIC HEARING
 PETITION No. 2007-45

COMPANY NAME:

PROJECT NAME:

EUCLID CONDOMINIUMS CHARLOTTE, NC

Key Plan:



Revision	Date	Description
△	May, 17, 2007	City Review Comments

JOB NO.:

DRAWN BY:

cmd/bt

Sheet Title:

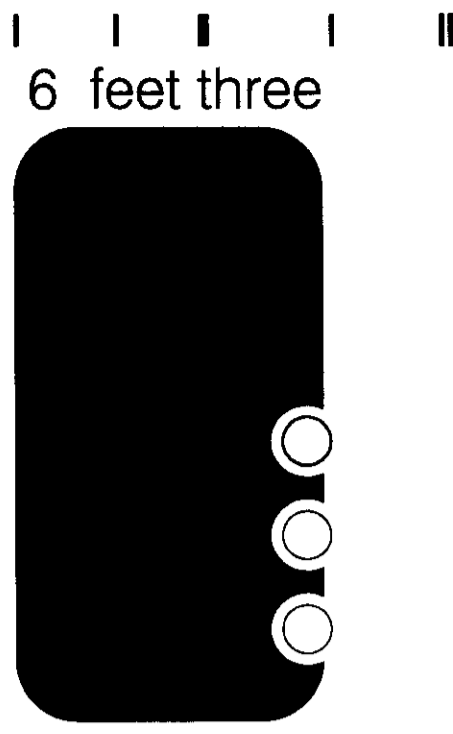
ILLUSTRATIVE
 SITE PLAN

Issue Date:

May 12, 2007

Sheet Number:

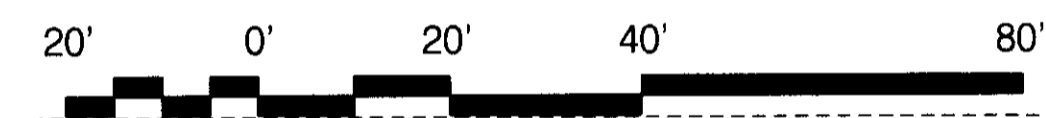
RZ-2



6 feet three



CONCEPTUAL FRONT BUILDING ELEVATION



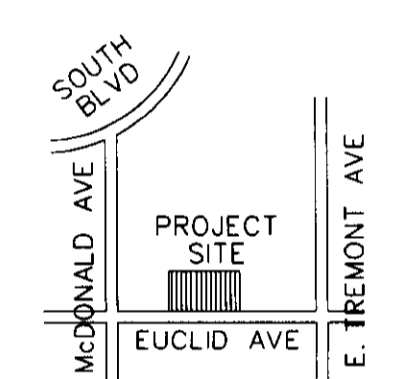
SCALE: 1" = 20'-0"

COMPANY NAME

PROJECT NAME

EUCLID
CONDOMINIUMS
CHARLOTTE, NC

Key Plan:



GENERAL ZONING NOTES (CONTINUED)

Storm Water Quality Control:

1. The petitioner shall tie into the existing storm water system(s). The petitioner shall have the receiving drainage system(s) analyzed to ensure that it will not be taken out of standard due to the development. If it is found that development will cause the storm drainage system(s) to be taken out of standard, the petitioner shall provide methods to prevent this from occurring.

Storm Water Quality Treatment:

1. For projects with defined watersheds greater than 24% built-upon area, construct water quality best management practices (BMPs) to achieve 85% Total Suspended Solid (TSS) removal for the entire post-development runoff volume for the runoff generated from the first 1-inch rainfall. BMPs must be designed and constructed in accordance with the N.C. Department of Environmental and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.

Volume and Peak Control:

1. For projects with defined watersheds greater than 24% built-upon area, control the entire volume for the 1-year, 24-hour storm. Runoff volume drawdown time shall be a minimum of 24 hours, but not more than 120 hours.

2. For residential projects with greater than 24% BUA, control peak to match the predevelopment runoff rates for the 10-year and 25-year, 6-hour storms or perform a downstream analysis to determine whether peak control is needed, and if so, for what level of storm frequency. "Residential" shall be defined as "A development containing dwelling units with open yards on at least two sides where land is sold with each dwelling unit"

3. For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-year, 6-hour storm and perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency, or if a downstream analysis is not performed, control the peak for the 10-year and 25-year, 6-hour storms.

4. For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control peak to match predevelopment runoff rates for the 2 and 10-year, 6-hour storm.

Solid Waste Services:

1. Multi-family complexes must meet all requirements as stated in Chapters 9 and 12 of the Charlotte City Code regarding solid waste dumpster, compactor and recycling areas.

Land Use and Environmental Services Air Quality, Groundwater & Wastewater Services, Solid Waste, Storm Water Services and Water Quality

Air Quality:

1. Development of this site may require submission of an asbestos Notification of Demolition and Renovation to MCAQ due to possible demolition or renovation of an existing structure. A letter of notification and the required forms will be mailed directly to the petitioner by MCAQ.

2. The proposed project may be subject to certain air quality permit requirements in accordance with Mecklenburg County Air Pollution Control Ordinance (MCAPCO) Regulation 2.0805- "Parking Facilities". A letter of notification and copy of the regulations will be mailed directly to the petitioner by MCAQ.

Storm Water Quality Treatment:

1. Any separate, defined drainage area within a project that will have greater than 24% built-upon area is to have water quality best management practices (BMPs) to treat storm water runoff from the entire built-upon area within the separate, defined drainage area. The BMPs are to be constructed to achieve 85% Total Suspended Solid (TSS) removal for the entire post-development runoff volume for the first 1-inch of rainfall. The BMPs must be designed and constructed in accordance with the N.C. Department of Environmental and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0.

2. The use of Low Impact Design (LID) such as bioretention system in tree islands, grassed swales, vegetated buffers, level spreaders and other innovative systems in a "treatment train" is optional and encouraged, where applicable. LID systems can be employed in whole or in part, to meet the 85% TSS treatment standard for storm water runoff. LID must be designed and constructed per the NCDENR Best Management Practices Manual, April 1999, Section 4.0.

Storm Water Volume and Peak Controls:

1. Any separate, defined drainage area within a project that will have greater than 24% built-upon area is to have best management practices (BMPs) to control the entire runoff for the 1-year, 24-hour. The runoff volume drawdown time for the BMPs shall be a minimum of 24-hours, but not more than 120-hours. The peak runoff rates should be controlled with BMPs to match the predevelopment runoff rates for the 10-year and 25-year, 6-hour storms or perform a downstream analysis to determine whether peak control is needed, and if so, for what level of storm frequency. Storm water runoff from the development shall be transported from the site by vegetated conveyances to the maximum extent practicable.

Revision	Date	Description
1	May, 17, 2007	City Review Comments

JOB NO.:

DRAWN BY:

cmd/bt

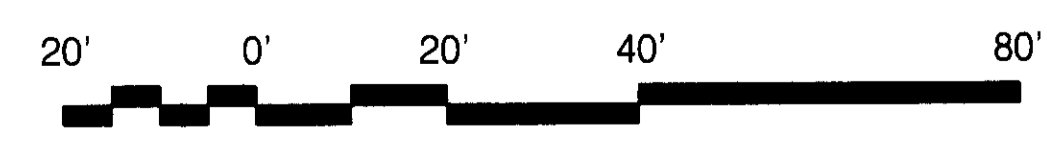
Sheet Title:

BUILDING ELEVATION

Issue Date:

May 12, 2007

Sheet Number:



SCALE: 1" = 20'-0"

FOR PUBLIC HEARING
PETITION No. 2007-45

RZ-3