

DEVELOPMENT DATA:

Tax Parcel ID#: 029-551-06
Proposed Use: Religious institution
Existing Zoning: R-3
Proposed Zoning: INST (CD)
Total Site Area: 26.63± Ac.
Max. Total Building Area: 200,000 sf.
Max. Building Height: 40' or as allowed for in zoning ordinance (120' Max.)
Tree Save Area: 10% = 2.6 Ac.

PARKING DATA:

Min. Off-street Parking Required: 1 space/4 seats
Short-Term Bicycle Parking: 2% of Auto Parking
Required Parking (Based on 3,000 Seats): 750 spaces
Proposed Parking: 942 Spaces

REZONING NOTES:

GENERAL PROVISIONS

- 1. Development of this site will be controlled by the standards depicted on this site plan and by the standards of the Charlotte Zoning Ordinance.
2. Existing house, located along northern property line shall comply with the buffer requirements.
3. The proposed buildings and development will comply with all Ordinance requirements for signage, buffering, screening, and landscaping.
4. The site shall comply with all requirements of the Charlotte Tree Ordinance.
5. Building footprints and site layout shown on this plan are schematic in nature.
6. Ministry facilities may be used for other accessory church uses to support ministry functions.
7. The petitioner acknowledges that other standard development requirements imposed by other city ordinances, standards, policies, and appropriate design manuals will exist.
8. Predominate building materials will be brick and stone with other materials; front facings of buildings will not be steel.

ACCESS POINTS

- 1. The total number of ingress/egress points to and from this site shall be limited to two entrances onto Salome Church Road. The exact locations may vary from those depicted based upon final design and location requirements as regulated by the transportation engineer and, where applicable, NCDOT.

LANDSCAPING

- 1. Landscaping and screening shall, at a minimum, satisfy the requirements established in the Ordinance for the INST District.
2. Landscaping will be installed in stages in accordance with the Ordinance as the Site is developed.
3. Trees shall be planted at 40 foot on center along Salome Church Road. Large maturing trees with a 2 inch minimum caliper are to be used, except where overhead power lines exist.

BUFFER AREAS

- 1. As depicted on the rezoning plan, a Class 'B' buffer shall be established along the Site's northern and southern property lines. This buffer shall conform to the standards for a Class 'B' buffer per section 12.302 of the Ordinance.
2. In the event that an adjacent parcel of land is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirement on the Site, the buffer areas depicted on this plan may be reduced or eliminated accordingly.
3. Existing vegetation may be used to meet tree buffer requirements. If existing vegetation is being used, supplemental plantings may be required, as negotiated with the site inspector during construction.
4. The buffer areas shall remain as open space except to the extent necessary to accommodate grade changes and the installation and maintenance of a wall, fence, berm, landscaping, utility and/or drainage facilities and any grading associated therewith. Where existing trees and natural vegetation have been cleared to accommodate grade changes or the installation of the aforementioned items, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of the Ordinance.

SETBACKS

- 1. All buildings constructed on the Site shall satisfy or exceed the setback, rear yard and side yard dimensions established under the Ordinance for the INST District.

PARKING

- 1. Off-street vehicular parking for the Site shall meet or exceed the minimum standards established by the Ordinance.
2. The parking total indicated in the Development Data is an estimate. The final parking count may deviate from that indicated in the Development Data, provided that at the time of building permit submittal the proposed parking meets or exceeds the Ordinance requirements.
3. Bicycle parking shall be provided to meet or exceed the requirements established in the Ordinance.

LIGHTING

- 1. All freestanding lighting and all exterior lighting will be capped so as to minimize the impacts from lights that are visible from nearby properties. Freestanding lighting shall not exceed 20 feet in height. No wall 'pik' type lighting shall be used, but attached decorative lighting fixtures such as sconces may be used.
2. Pedestrian scale lighting shall be installed along Salome Church Road as part of Phase 2 of this development.

SIGNAGE

- 1. Signage will be permitted in accordance with applicable Zoning standards.

SIDEWALK

- 1. An internal system of sidewalk shall be provided to connect all buildings to the public sidewalk along Salome Church Road.

STORM WATER

- 1. Storm water system for proposed site shall tie into existing systems. These existing systems shall be analyzed to ensure that they will not be taken out of standard due to the development. If it is found that this development causes the storm drainage systems to be taken out of standard, alternate methods to prevent this from occurring will be provided.
2. Location, size, and type of any Stormwater Management Systems depicted on rezoning site plan is subject to review and approval with full development plan submittal and is not implicitly approved with this rezoning. Adjustments may be necessary in order to accommodate actual stormwater treatment requirements and natural site discharge points.
3. Any jurisdictional wetlands or streams, if present, need to be protected or proper environmental permits obtained prior to their disturbance. For 401 permits contact DENR. For 404 permits contact the Army Corps of Engineers.

STORM WATER QUALITY TREATMENT

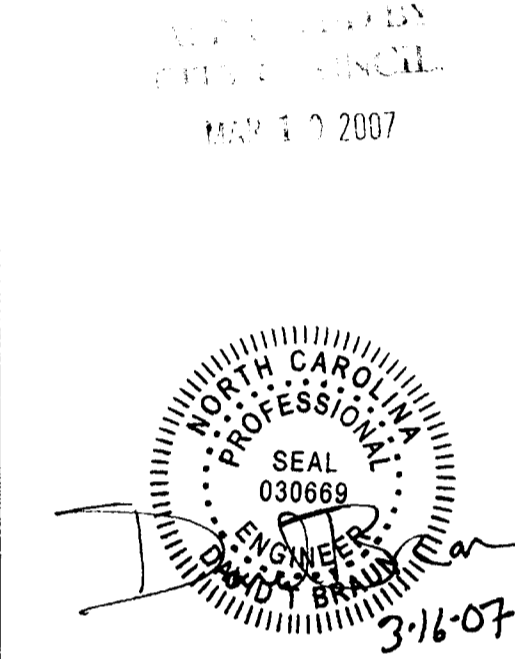
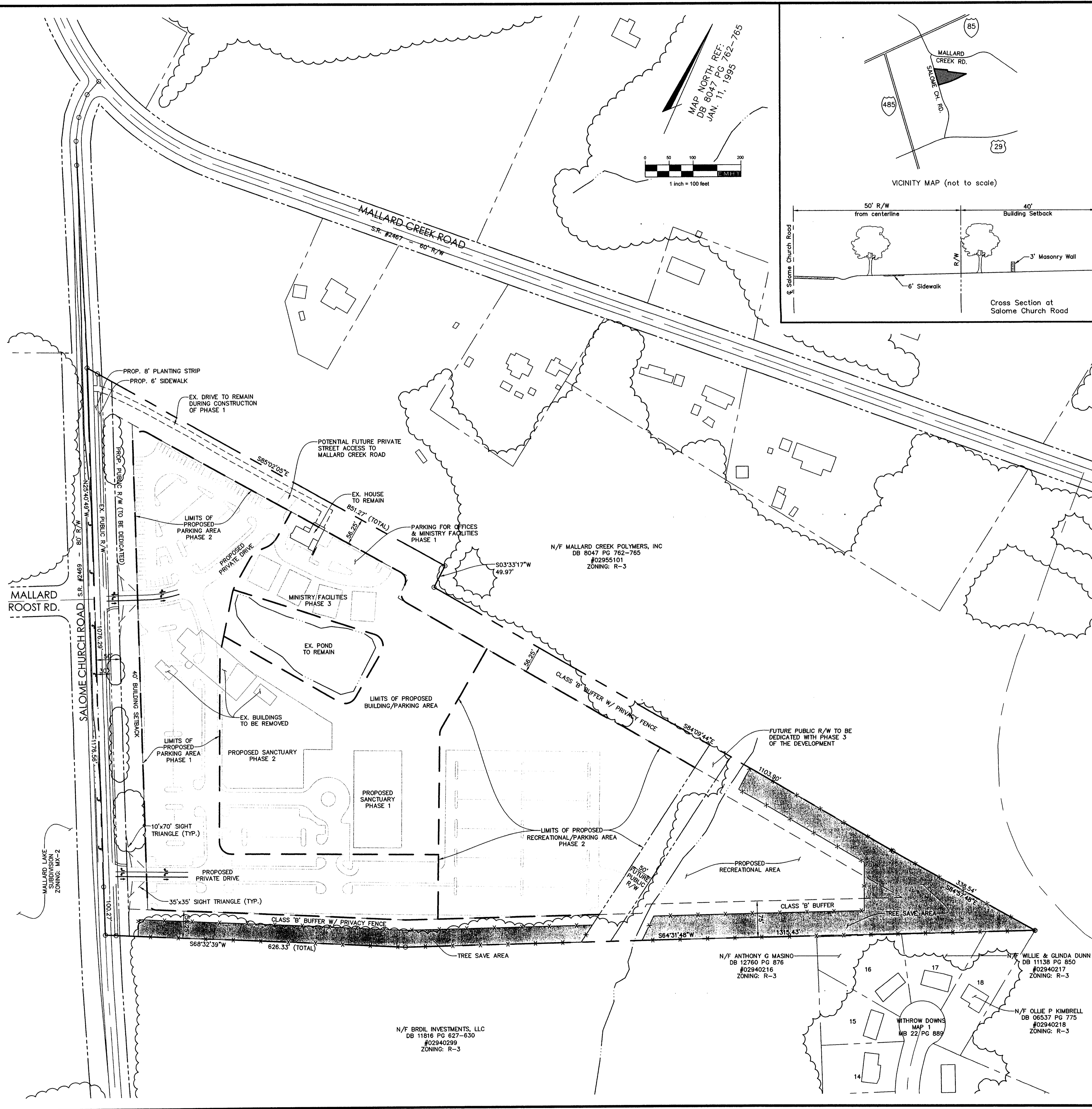
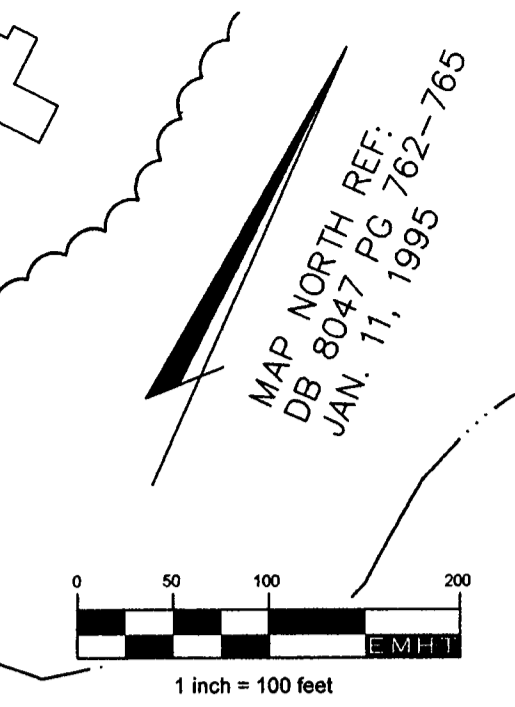
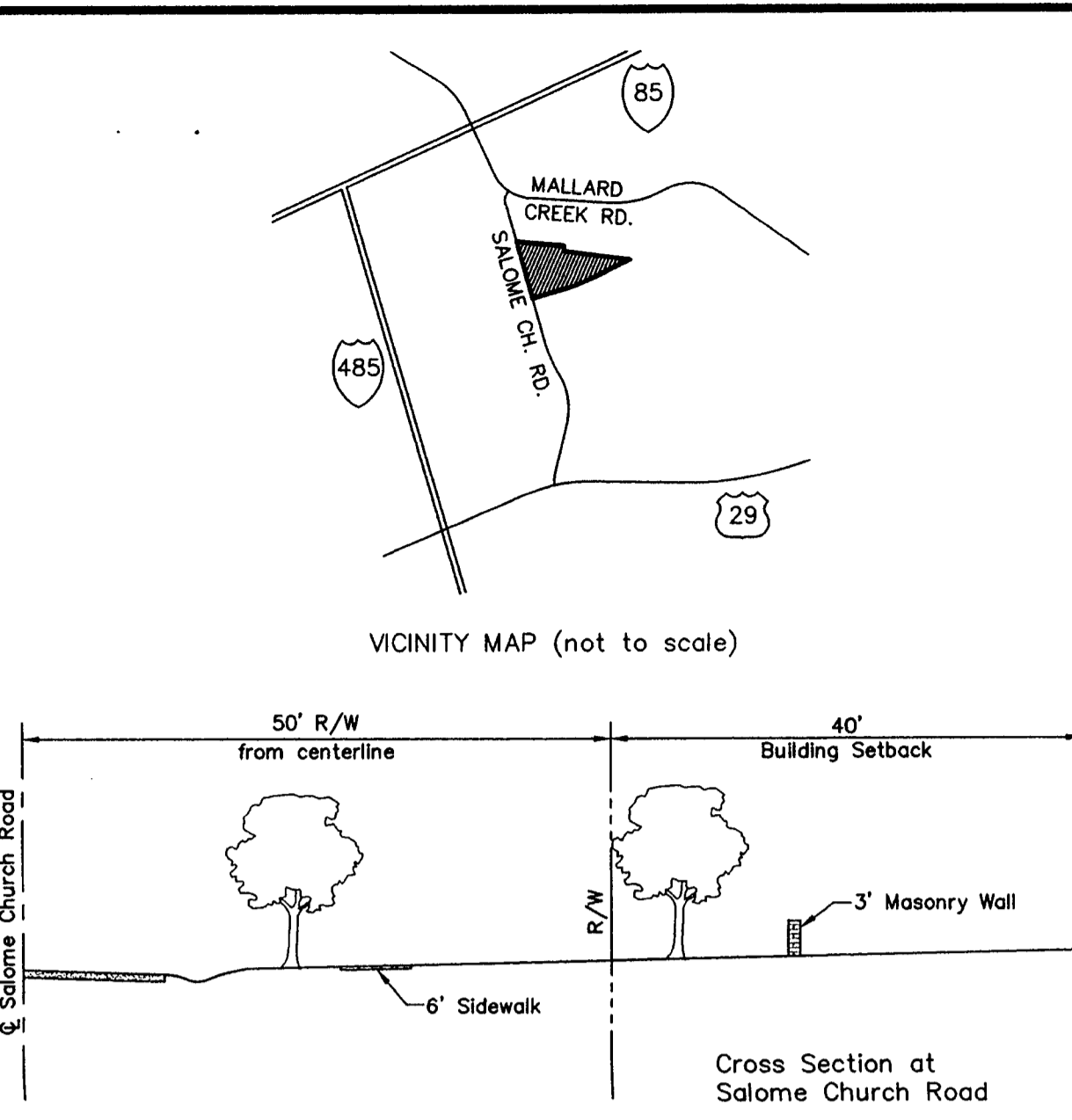
- 1. For projects with defined watersheds greater than 24% built-up area, construct water quality best management practices (BMP's) to achieve 85% Total Suspended Solid (TSS) removal for the entire post-development runoff volume for the runoff generated from the first 1-inch of rainfall. BMP's must be designed and constructed in accordance with the N.C. Department of Environment and Natural Resources (NCDENR) Best Management Practices Manual, April 1999, Section 4.0 (Design Standards shall be met according to the City of Charlotte Best Management Practices Manual, when available). Use of Low Impact Development (LID) techniques is optional.
2. For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-yr, 6-hr storm perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency, if a downstream analysis is not performed, control the peak for the 10-yr and 25-yr, 6-hour storms.
3. For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the predevelopment runoff rates for the 2 and 10-yr, 6-hr storm.

VOLUME AND PEAK CONTROL

- 1. For projects with defined watersheds greater than 24% built-up area, control the entire volume for the 1-yr, 24-hour storm. Runoff volume drawdown time shall be a minimum of 24 hours, but not more than 120 hours.
2. For commercial projects with greater than 24% BUA, control the peak to match the predevelopment runoff rates for the 10-yr, 6-hr storm perform a downstream flood analysis to determine whether additional peak control is needed and if so, for what level of storm frequency, if a downstream analysis is not performed, control the peak for the 10-yr and 25-yr, 6-hour storms.
3. For commercial projects with less than or equal to 24% BUA, but greater than one acre of disturbed area, control the peak to match the predevelopment runoff rates for the 2 and 10-yr, 6-hr storm.

STREAM BUFFERS

- 1. The S.W.I.M. Stream Buffer requirements apply described in the City of Charlotte-Zoning Ordinance, Chapter 12. In addition, intermittent and perennial streams within the project boundary shall be delineated by a certified professional using U.S. Army Corps of Engineers and N.C. Division of Water Quality methodology and shall be shown in the site plan submittal along with all buffer areas.
2. All perennial and intermittent streams draining less than 50 acres shall have a minimum 30-foot vegetated buffer including a 10-foot zone adjacent to the bank. Disturbance of the buffer is allowed; however, any disturbed area must be re-vegetated and disturbance of the 10-foot zone adjacent to the bank shall require stream bank stabilization using bioengineering techniques as specified in the Design Manual.
3. All streams draining greater than or equal to 50 acres and less than 300 acres shall have a 35-foot buffer with two (2) zones, including stream side and upland. Streams draining greater than or equal to 300 acres and less than 640 acres shall have a 50-foot buffer with three (3) zones, including stream side, managed use and upland.
4. Streams draining greater than or equal to 640 acres shall have a 100-foot buffer, plus 50% of the area of the flood fringe beyond 100 feet. This buffer shall consist of three (3) zones, including stream side, managed use and upland.
5. All buffers shall be measured from the top of the bank on both sides of the stream. The uses allowed in the different buffer zones as described in the S.W.I.M. Stream Buffer requirements in the Zoning Ordinance, Chapter 12, as well as the other provisions of the S.W.I.M. ordinance shall apply (except buffer widths).



SITE PLAN FOR FREEDOM HOUSE CHURCH 2732 SALOME CHURCH ROAD CHARLOTTE, NC 28262

PREPARED FOR: FREEDOM HOUSE CHURCH 5806 PROSPERITY CHURCH ROAD SUITE A2-122 CHARLOTTE, NC 28269

PREPARED BY: EMHT Evans, Mechwart, Hambleton, & Tilton, Inc. Consulting Engineers

Table with columns: MARK, DATE, DESCRIPTION, Date, Job No., Scale, Sheet. Includes a 'REVISIONS' section and a 'Date' entry for October 18, 2006, Job No. 2006-0357, Scale 1" = 100', Sheet 1/1.

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