

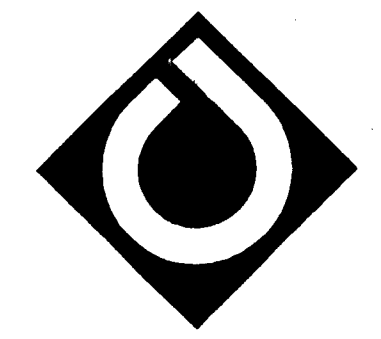
VICINITY MAP N.T.S.

SURVEY DISCLAIMER
 1. BOUNDARY SURVEY PROVIDED BY R.B. PHARR & ASSOCIATES, P.A., 420 HAWTHORNE LANE, CHARLOTTE, NC 28204. TEL: (704) 376-2186, DATED OCTOBER 27, 2005.

1 G. ATKINS, JR. AND
 JE. MATTOCKS (ET-AL)
 4954-893

LOT 3, TORINGDON DEVELOPMENT PHASE 1, MAP 2,
 MAP BOOK 39, PAGE 767

CITY OF CHARLOTTE
 DE 11894, PG 265
 AREA
 88,428 SQ. FT. OR
 2.02 ACRES
 (AREA NOT SURVEYED)



Cole Jenest & Stone
 Shaping the Environment
 Realizing the Possibilities

Land Planning
 Landscape Architecture
 Civil Engineering
 Urban Design

06-108

CENTEX HOMES

**JOHNSTON ROAD
 RESIDENTIAL**

Charlotte
 North Carolina 28266

**SITE
 SURVEY**

Project No.
3389

Issued
 05/26/06

Revised

SCALE: 1"=100'

RZ1.0

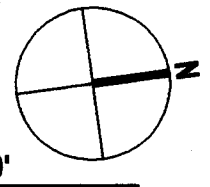
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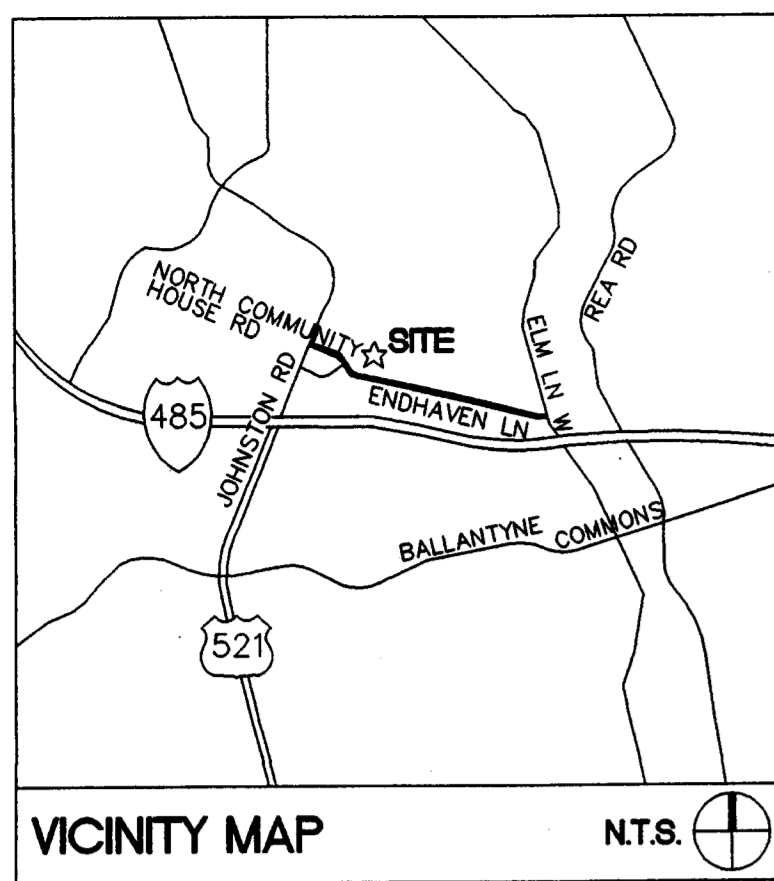


DEDICATED TO
 MECKLENBURG COUNTY
 PARKS & RECREATION
 MAP BOOK 22, PG 581
 MAP BOOK 22, PG 583
 MAP BOOK 22, PG 493

REVISIONS		ALTA/ACSM LAND TITLE SURVEY FOR	
12/01/05 - ATTORNEY COMMENTS		CENTEX HOMES	
12/01/05 - TOPOGRAPHY		7000 END HAVEN ROAD CITY OF CHARLOTTE, MECKLENBURG COUNTY, NC TAX PARCEL: 223-481-01, 02, & 03 DEED BOOK 6539, PAGE 368	
		R.B. PHARR & ASSOCIATES, P.A. SURVEYING & MAPPING 420 HAWTHORNE LANE CHARLOTTE, N.C. 28204 TEL: (704) 376-2186	
CREW:	DRAWN:	REVISION:	FILE NO. W-3084
EM	PH	PH	JOB NO. 66235
SCALE: 1" = 100'		DATE: OCTOBER 27, 2005	

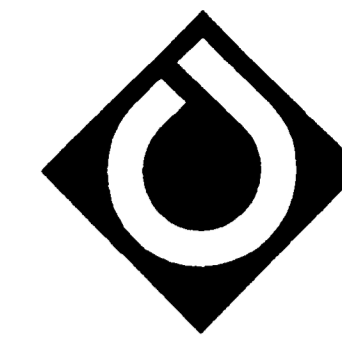


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Bloodgood Sharp Buster
 Architects and Planners, Inc.
 8647 Baypine Road, Suite 200
 Jacksonville, FL 32256
 904 732 7335 904 732 7346 fax
 www.bsdesign.com
 LAND PLANNING SERVICES
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 704 378 1555 704 378 7851 www.colejenest.com

CENTEX HOMES

**JOHNSTON ROAD
 RESIDENTIAL**

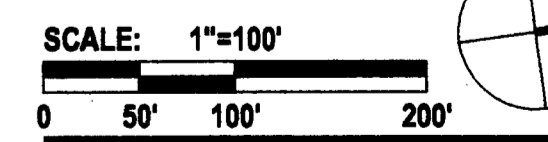
Charlotte
 North Carolina 28262

**SCHEMATIC SITE
 PLAN**

Project No.
 3389

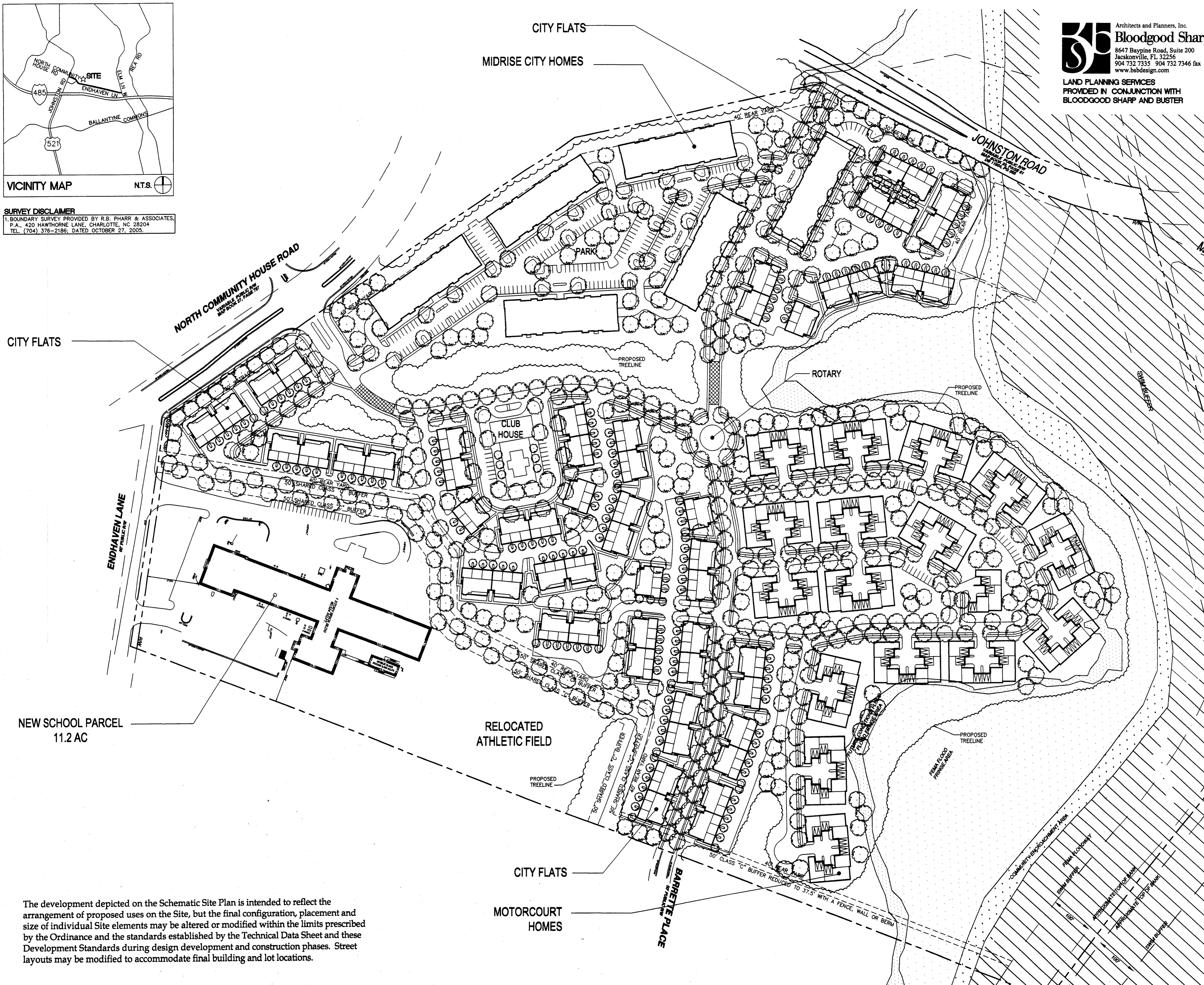
Issued
 05/26/06

Revised



RZ2.0

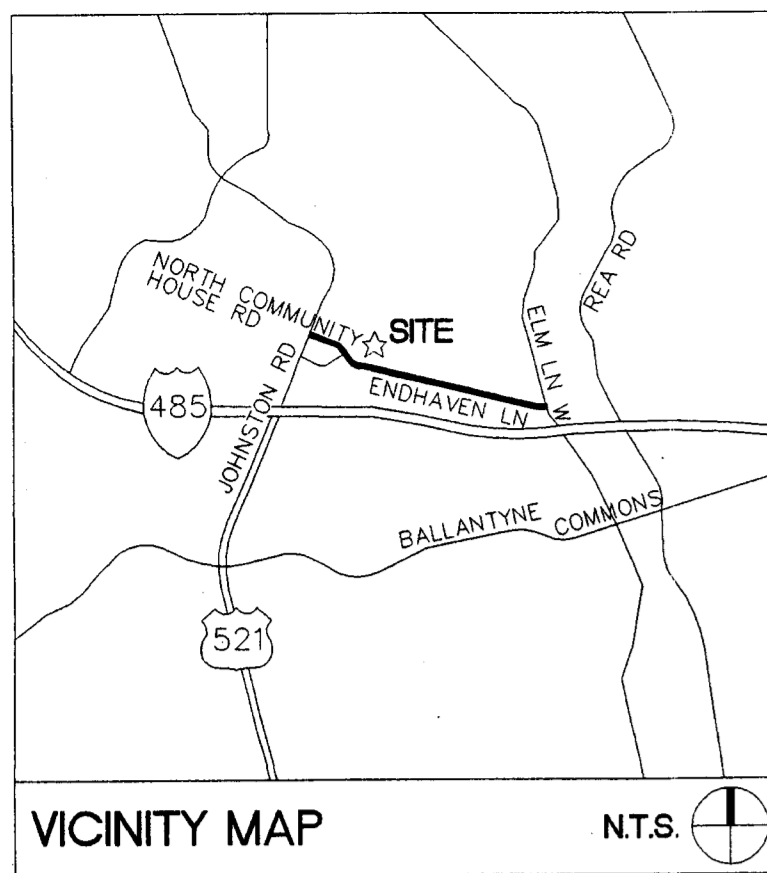
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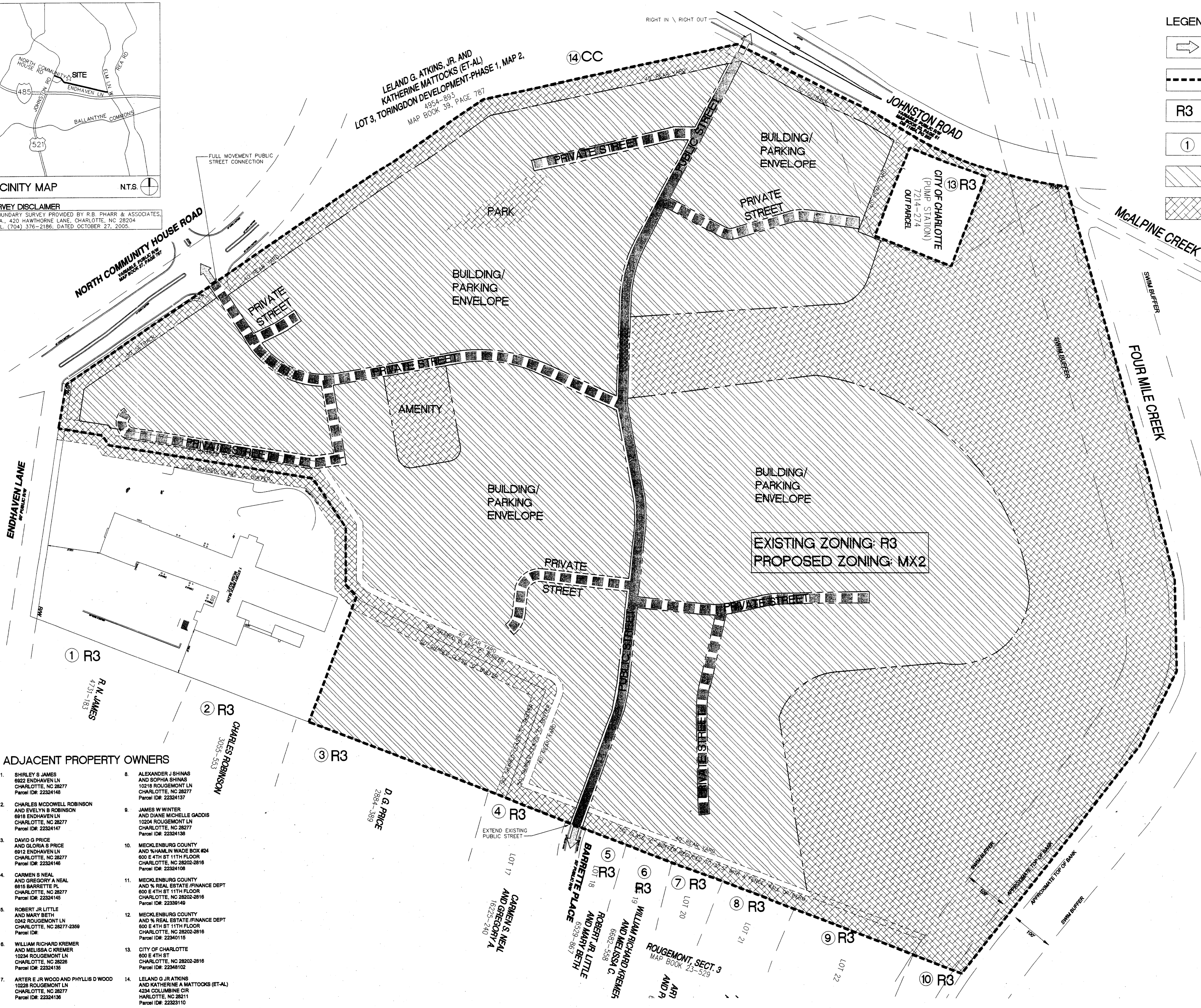
NEW SCHOOL PARCEL
 11.2 AC

The development depicted on the Schematic Site Plan is intended to reflect the arrangement of proposed uses on the Site, but the final configuration, placement and size of individual Site elements may be altered or modified within the limits prescribed by the Ordinance and the standards established by the Technical Data Sheet and these Development Standards during design development and construction phases. Street layouts may be modified to accommodate final building and lot locations.

P:\SP2006\01\3389\SP23389.dwg, 5/26/2006 6:53:07 AM, vmm54, 1:1



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- LEGEND**
- ACCESS POINT
 - ZONING BOUNDARY
 - EXISTING ZONING
 - ADJACENT PROPERTY OWNER
 - DEVELOPMENT AREAS
 - OPEN SPACE

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CENTEX HOMES

JOHNSTON ROAD RESIDENTIAL

Charlotte
 North Carolina 28262

TECHNICAL DATA SHEET

Project No.
 3389

Issued
 05/26/06

Revised

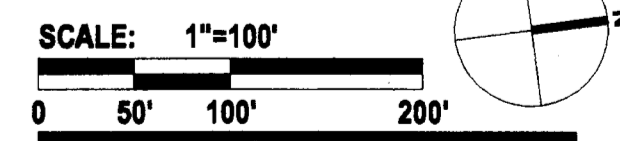
⑫ R9 (CD)

⑪ R9 (CD)

DEDICATED TO
 MECKLENBURG COUNTY
 PARKS & RECREATION
 MAP BOOK 22, PG. 361
 MAP BOOK 22, PG. 369
 MAP BOOK 22, PG. 493

ADJACENT PROPERTY OWNERS

- | | |
|--|---|
| 1. SHIRLEY S JAMES
6922 ENDHAVEN LN
CHARLOTTE, NC 28277
Parcel ID#: 22324146 | 8. ALEXANDER J SHINAS
AND SOPHIA SHINAS
10218 ROUEMONT LN
CHARLOTTE, NC 28277
Parcel ID#: 22324137 |
| 2. CHARLES MCDOWELL ROBINSON
AND BRYLYN S ROBINSON
6918 ENDHAVEN LN
CHARLOTTE, NC 28277
Parcel ID#: 22324147 | 9. JAMES W WINTER
AND DIANE MICHELLE GADDIS
10204 ROUEMONT LN
CHARLOTTE, NC 28277
Parcel ID#: 22324138 |
| 3. DAVID G PRICE
AND GLORIA S PRICE
6912 ENDHAVEN LN
CHARLOTTE, NC 28277
Parcel ID#: 22324146 | 10. MECKLENBURG COUNTY
AND SHAMLIN WADE BOX #24
600 E 4TH ST 11TH FLOOR
CHARLOTTE, NC 28202-2816
Parcel ID#: 22324108 |
| 4. CARMEN S NEAL
AND GREGORY A NEAL
6815 BARRETTE PL
CHARLOTTE, NC 28277
Parcel ID#: 22324145 | 11. MECKLENBURG COUNTY
AND % REAL ESTATE/FINANCE DEPT
800 E 4TH ST 11TH FLOOR
CHARLOTTE, NC 28202-2816
Parcel ID#: 22339149 |
| 5. ROBERT JR LITTLE
AND MARY BETH
0242 ROUEMONT LN
CHARLOTTE, NC 28277-2359
Parcel ID#: | 12. MECKLENBURG COUNTY
AND % REAL ESTATE/FINANCE DEPT
800 E 4TH ST 11TH FLOOR
CHARLOTTE, NC 28202-2816
Parcel ID#: 22340115 |
| 6. WILLIAM RICHARD KREMER
AND MELISSA C KREMER
10234 ROUEMONT LN
CHARLOTTE, NC 28226
Parcel ID#: 22324135 | 13. CITY OF CHARLOTTE
800 E 4TH ST
CHARLOTTE, NC 28202-2816
Parcel ID#: 22348102 |
| 7. ARTER E JR WOOD AND PHYLLIS D WOOD
10228 ROUEMONT LN
CHARLOTTE, NC 28277
Parcel ID#: 22324136 | 14. LELAND G JR ATKINS
AND KATHERINE A MATTOCKS (ET-AL)
4234 COLUMBINE CIR
CHARLOTTE, NC 28211
Parcel ID#: 22323110 |



RZ3.0

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DEVELOPMENT STANDARDS

May 24 2006

GENERAL PROVISIONS

Unless more stringent standards are established by the Technical Data Sheet or these Development Standards, all development standards established under the City of Charlotte Zoning Ordinance (the "Ordinance") for the MX-2 zoning district classification, subject to the innovative development standard set out below, shall be followed in connection with development taking place on the Site.

The development depicted on the Schematic Site Plan is intended to reflect the arrangement of proposed uses on the Site, but the final configuration, placement and size of individual Site elements may be altered or modified within the limits prescribed by the Ordinance and the standards established by the Technical Data Sheet and these Development Standards during design development and construction phases. Street layouts may be modified to accommodate final building and lot locations.

PERMITTED USES

Subject to the provisions set out below, a maximum of 522 for sale dwelling units may be constructed on the Site.

Tract I

Tract I may be devoted to a maximum of 252 for sale condominium dwelling units and to any incidental or accessory use in connection therewith which is permitted by right or under prescribed conditions in the MX-2 zoning district. The planned multi-family buildings shall comply with the standards of Section 9.303(19) of the Ordinance.

Tract II

Tract II may be devoted to 99 for sale dwelling units comprised of for sale single family attached townhome dwelling units or for sale condominium dwelling units and to any incidental or accessory use in connection therewith which is permitted by right or under prescribed conditions in the MX-2 zoning district.

Tract III

Tract III may be devoted to 171 for sale dwelling units comprised of for sale single family attached townhome dwelling units or for sale condominium dwelling units and to any incidental or accessory use in connection therewith which is permitted by right or under prescribed conditions in the MX-2 zoning district.

Notwithstanding the foregoing and subject to the maximum number of dwelling units that may be constructed on the entire Site (522) and to the permitted uses on each Tract, density (or dwelling units) may be transferred between the various Tracts set out on the Technical Data Sheet and the Schematic Site Plan.

It is Petitioner's intent to relocate the adjacent school's athletic fields from their current location depicted on Sheet RZ-1 (the "Existing Location") to the location designated on the Technical Data Sheet and Schematic Site Plan as the "Relocated Athletic Fields" (the "New Location"). In the event that the athletic fields cannot be relocated from the Existing Location to the New Location, then the athletic fields may be maintained in the Existing Location, and Petitioner may relocate the dwelling units planned to be developed on the Existing Location under the Technical Data Sheet and the Schematic Site Plan to the New Location provided, however, that the overall density on the Site may not exceed 522 dwelling units.

BUFFER AREA

- The 37.5 foot Class C buffer area established on portions of Tracts II and III shall conform to the standards of Section 12.302 of the Ordinance, subject, however, to the provisions of Section 12.304 thereof. In the event that an adjacent parcel of land is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirements on the Site, then Petitioner may reduce or eliminate, as the case may be, the 37.5 foot Class C buffer area set out on the Technical Data Sheet accordingly. The reduction in the width of the Class C buffer area from 50 feet to 37.5 feet will be achieved through the installation of a wall, fence or berm pursuant to Section 12.302(8) of the Ordinance.
- Petitioner shall establish a 25 foot Class C buffer area on a portion of Tract III as depicted on the Technical Data Sheet, and it shall conform to the standards of Section 12.302 of the Ordinance, subject, however, to the provisions of Section 12.304 thereof. In the event that an adjacent parcel of land is either rezoned to a zoning district or devoted to a use that eliminates or reduces the buffer requirements on the Site, then Petitioner may reduce or eliminate, as the case may be, the 25 foot Class C buffer area set out on the Technical Data Sheet accordingly. The 25 foot Class C buffer area installed on a portion of Tract III shall be one-half of a shared 50 foot Class C buffer, such that 25 feet of the Class C buffer shall be located on the relevant portion of Tract III, and 25 feet of the Class C buffer shall be located on the adjacent school property. Petitioner shall not be responsible for maintaining that portion of the 50 foot Class C buffer located on the adjacent school property.
- Petitioner reserves the right to grade and to install a wall, fence, berm, pedestrian sidewalks and utility lines and facilities within the Class C buffer areas located on the Site, provided, however, that utility lines and facilities may only cross the Class C buffer areas at interior angles measured at the property line which are not less than 75 degrees.
- Where existing trees and natural vegetation have been cleared within the Class C buffer areas to accommodate the installation of a wall, fence, berm, pedestrian sidewalks or utility lines and facilities, the cleared, unimproved areas will be landscaped with trees and shrubs in accordance with the requirements of the Ordinance.
- No buildings, parking spaces or maneuvering areas may be located within the Class C buffer areas.

SETBACKS, SIDE YARDS AND REAR YARDS

Subject to the innovative development standard set out below, all principal structures constructed on the Site shall satisfy or exceed the setback, side yard and rear yard requirements under the Ordinance for the MX-2 zoning district.

COMMON OPEN SPACE AND AMENITY AREA

- Common open space shall be provided in various locations as depicted on the Technical Data Sheet and the Schematic Site Plan. At a minimum, 28.00 acres of the Site shall be devoted to common open space.
- For purposes of calculating the amount of required common open space, common open space shall be deemed to include, among other things, any tree save areas, any water quality ponds, buffers, urban parks and the recreational amenity area.
- That portion of the common open space designated on the Technical Data Sheet as the amenity shall, at a minimum, be improved with a clubhouse and a swimming pool.
- The common open space areas shall be maintained by a to be formed homeowners association.

SCREENING AND LANDSCAPE AREAS

- Screening shall conform with the standards and treatments specified in Section 12.303 of the Ordinance.
- Any dumpsters located within the Site that are visible from a public street or from an external adjoining parcel of land will be screened from view by a solid-enclosure with gates.

ARCHITECTURAL COMMITMENTS

The maximum height of any building located within 300 feet of the Site's eastern boundary line shall be 3 stories.

TREE ORDINANCE

Development of the Site will comply with the applicable provisions of the City of Charlotte Tree Ordinance as of the date of the approval of this Rezoning Petition.

PARKING

Vehicular parking will satisfy the minimum standards established under the Ordinance.

LIGHTING

The maximum height of any freestanding lighting fixture installed on the Site, including its base, shall not exceed 20 feet.

SIGNS

All signs placed on the Site will be erected in accordance with the requirements of the Ordinance.

ACCESS POINTS /STREETS

- The number of vehicular access points to the Site shall be limited to the number depicted on the Technical Data Sheet.
- The placement and configuration of each access point are subject to any minor modifications required to accommodate final site and architectural construction plans and designs and to any adjustments required for approval by the Charlotte Department of Transportation and/or the North Carolina Department of Transportation.
- The internal public street shall be constructed in accordance with the relevant cross section attached to the Technical Data Sheet.
- The internal private streets shall be constructed in accordance with the relevant cross section attached to the Technical Data Sheet.
- The private streets shall be maintained by a to be formed homeowners association.
- The private streets located within the Site may be gated at the option of Petitioner.

FIRE PROTECTION

Adequate fire protection in the form of fire hydrants will be provided to the City of Charlotte Fire Code's specifications. Plans for each building will be submitted to the Fire Marshal's office for approval before the construction of that building commences.

WETLANDS/PERMITS

The following agencies will be contacted prior to construction regarding wetlands permits if determined to be applicable during the design development phase of the project:

Section 401 Permit NCDEHNR-Raleigh Office
Section 404 Permit US Army Corps of Engineers

5 YEAR VESTED RIGHT

Pursuant to Section 1.110 of the Ordinance, Petitioner hereby requests a 5 year vested right in the event that the corresponding Rezoning Petition is approved by City Council. Petitioner requests a 5 year vested right due to the size and phasing of the proposed development and the level of Petitioner's investment.

BINDING EFFECT OF THE REZONING PETITION

If this Rezoning Petition is approved, all conditions applicable to development of the Site imposed under these Development Standards and this Technical Data Sheet will, unless amended in the manner provided under the Ordinance, be binding upon and inure to the benefit of Petitioner and subsequent owners of the Site and their respective heirs, devisees, personal representatives, successors in interest or assigns.

AMENDMENTS TO REZONING PLAN

Future amendments to this Technical Data Sheet and these Development Standards may be applied for by the then Owner or Owners of the Site in accordance with the provisions of Chapter 6 of the Ordinance.

INNOVATIVE DEVELOPMENT STANDARD

Pursuant to Section 11.208 of the Ordinance, Petitioner seeks to obtain the approval of the use of the following Innovative Development Standard concurrently with the approval of this Rezoning Petition:

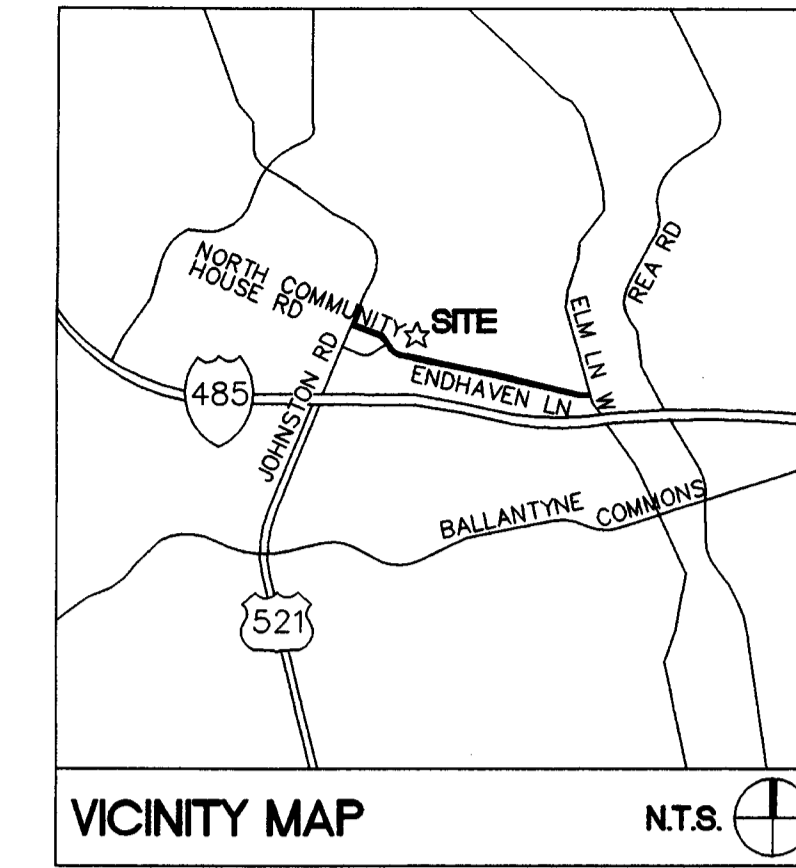
Minimum Setback Along Internal Public Street: 5 feet
THE TECHNICAL DATA SHEET AND THE SCHEMATIC SITE PLAN.

SITE ACREAGE TABULATION

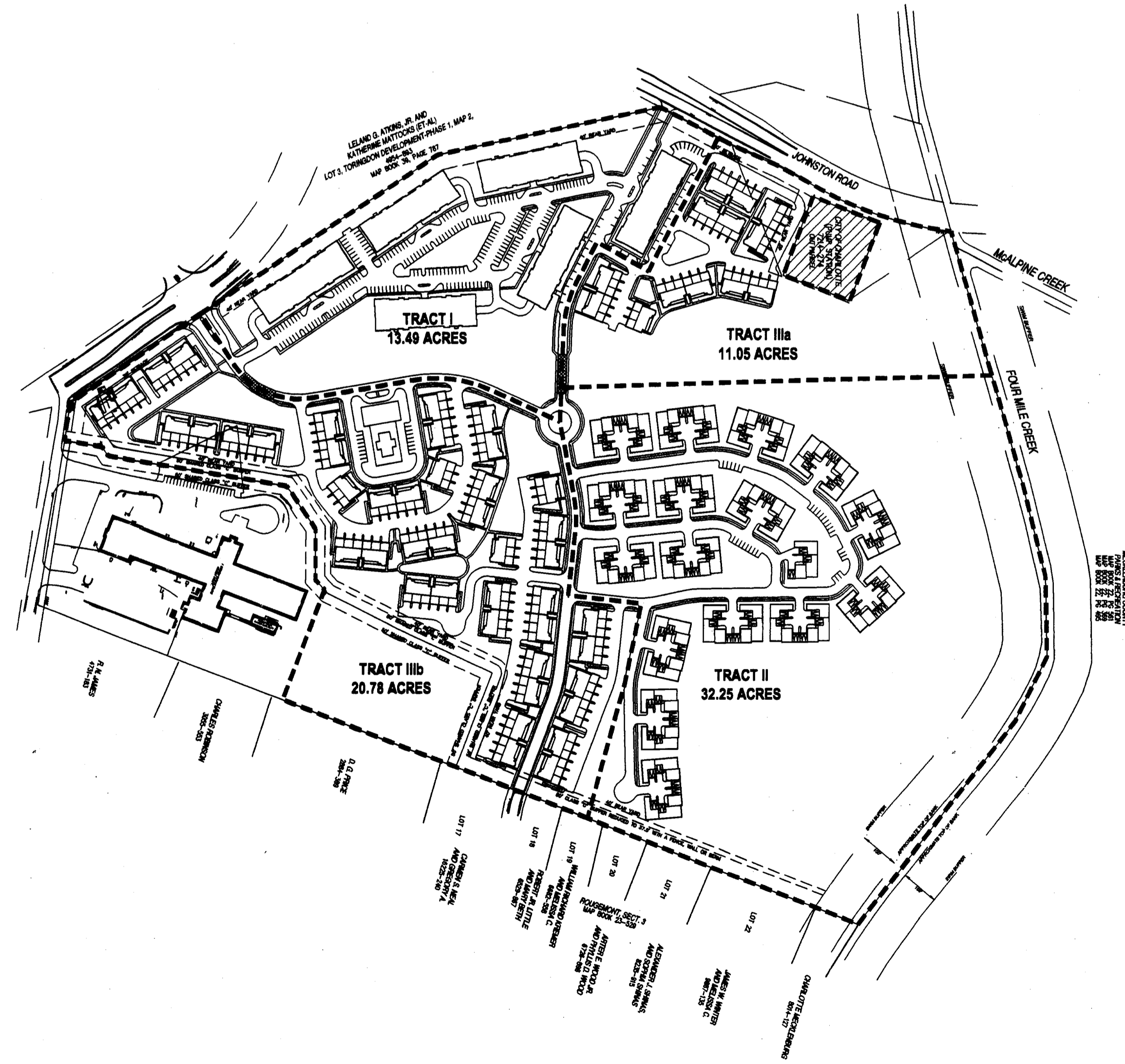
TOTAL SITE ACREAGE:	77.57 AC
TRACT I	13.49 AC
TRACT II	32.25 AC
TRACT III	31.83 AC
DEVELOPMENT SUMMARY	
TRACT I	252 UNITS
TRACT II	171 UNITS
TRACT III	99 UNITS
TOTAL UNITS SHOWN:	522 UNITS
UNITS PER ACRE:	6.82 UNITS/ACRE
DEVELOPED AREA:	48.59 ACRES
OPEN SPACE:	28.00 ACRES

ZONING SUMMARY

EXISTING	
R-3 SINGLE-FAMILY RESIDENTIAL:	77.57 AC
PROPOSED	
MX-2 MIXED USE DEVELOPMENT:	77.57 AC



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TEL: (704) 376-2186; DATED OCTOBER 27, 2005.



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CENTEX HOMES

JOHNSTON ROAD RESIDENTIAL

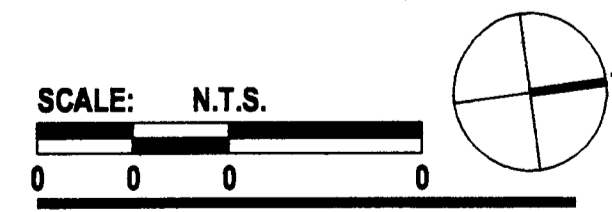
Charlotte
North Carolina 28262

TECHNICAL DATA SHEET - NOTES

Project No.
3389

Issued
05/26/06

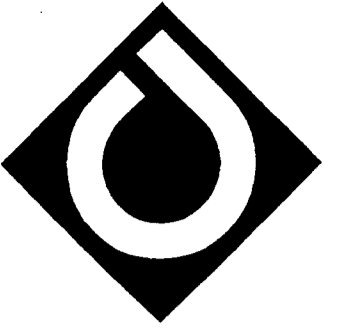
Revised



RZ4.0

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**CENTEX
HOMES**

**JOHNSTON ROAD
RESIDENTIAL**

Charlotte
North Carolina 28284

**DETAIL
SHEET**

Project No.
3389

Issued
05/26/06

Revised

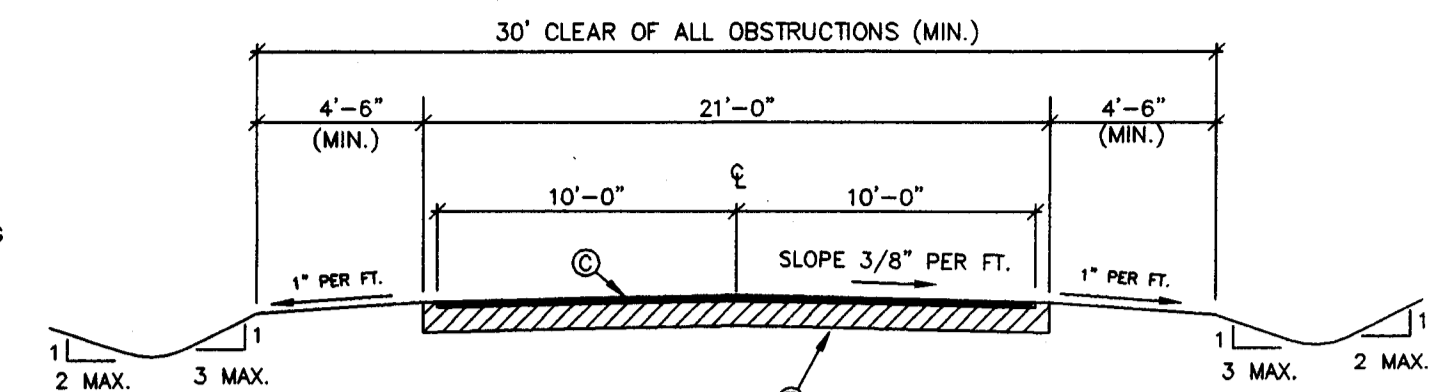
RZ5.0

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NOTES:

1. DETAILS SHOWN SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY STANDARDS.
2. DITCH TYPE STREET REQUIRES APPROVAL OF CITY ENGINEER.
3. MINIMUM CURB RADIUS ON INTERIOR DRIVES AND PARKING AREAS IS 10'



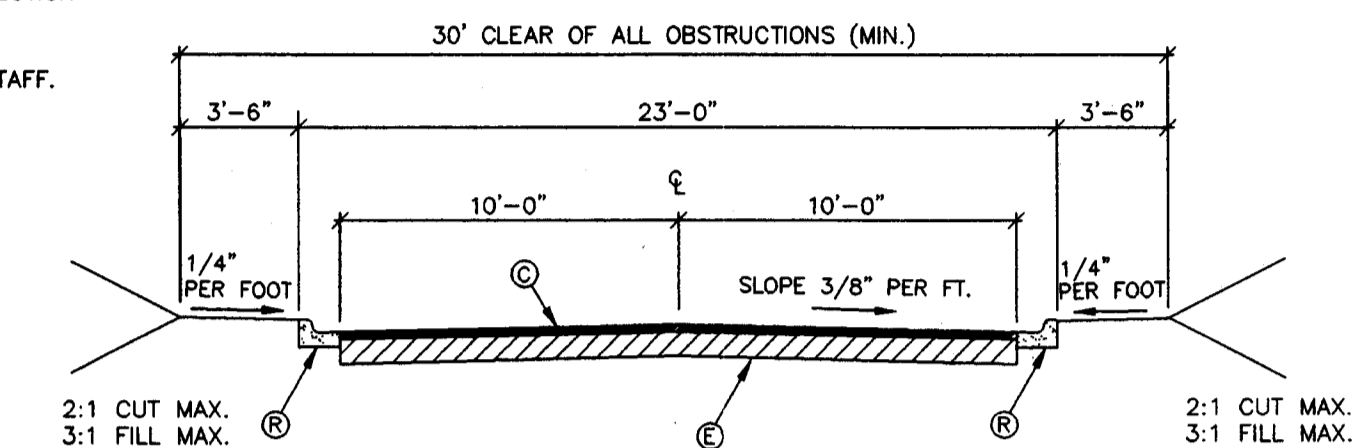
DITCH TYPE

GUIDELINES FOR PRIVATE STREET DESIGN:

1. INTERNAL STREET ALIGNMENT:
MAXIMUM GRADE: 10%
MINIMUM VERTICAL CURVE "K" VALUES: 10/20 (CREST/SAG)
MINIMUM HORIZONTAL CURVE CENTERLINE RADIUS: 50 FT.
 2. INTERSECTION WITH PUBLIC STREET:
SAME AS FOR PUBLIC STREET. SEE GENERAL NOTES, SECTION I.B.2.
5% MAXIMUM GRADE WITHIN 40 FEET OF PUBLIC STREET INTERSECTION BEGINNING FROM EDGE OF PAVEMENT LINE.
- NOTE: VARIATIONS ON THESE GUIDELINES WILL BE REVIEWED ON A CASE BY CASE BASIS BY CITY STAFF.

PAVEMENT SCHEDULE

- Ⓒ 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE SF9.5A OR 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE I-2.
- Ⓓ 6" COMPACTED AGGREGATE BASE COURSE OR 4" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.0B OR 4" BCBC TYPE HB.
- Ⓔ CURB AND GUTTER (REFERENCE 10.17A AND B)



CURB AND GUTTER

TYPICAL SECTIONS PRIVATE STREET

CMLD STD. DTL. #11.13 N.T.S. 3

NOTES:

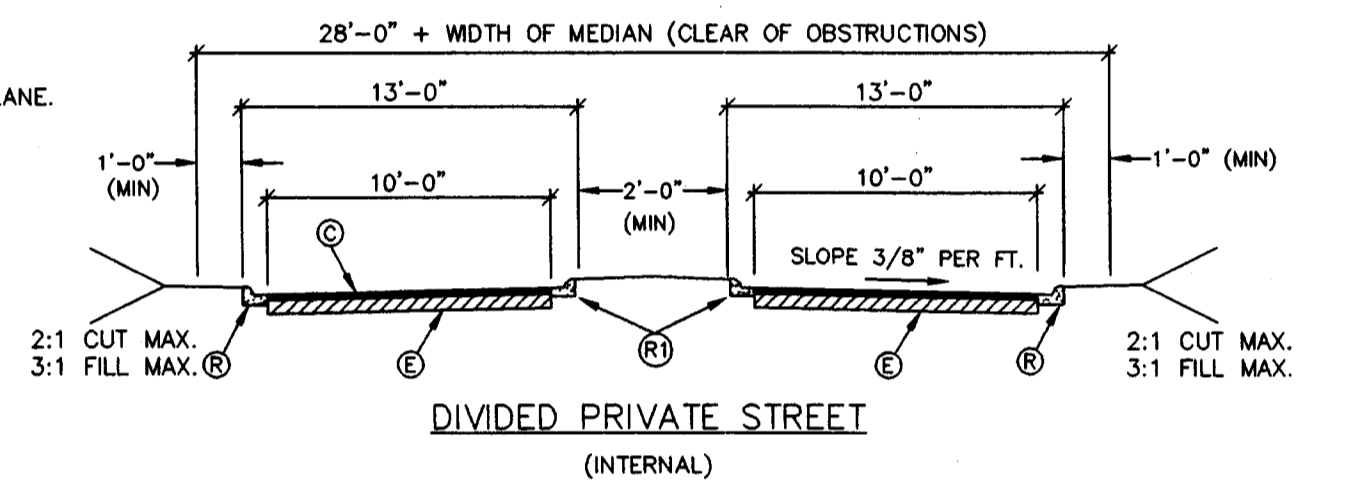
1. CURB RETURN RADIUS DIMENSIONS AT INTERSECTIONS MAY VARY DEPENDING ON MEDIAN WIDTH AND WILL BE REVIEWED ON A CASE BY CASE BASIS.
2. FOR ADDITIONAL LANES ADD 10'(MINIMUM) OF PAVEMENT PER LANE.
3. 2'-0" VALLEY GUTTER MAY BE USED WITH APPROVAL OF APPROPRIATE CITY ENGINEER.
4. MONOLITHIC CONCRETE MEDIANS WITH BEVELED EDGES AND MINIMUM WIDTH OF 4 FEET CAN BE USED IN LIEU OF LANDSCAPE MEDIANS.

GUIDELINES FOR PRIVATE STREET DESIGN:

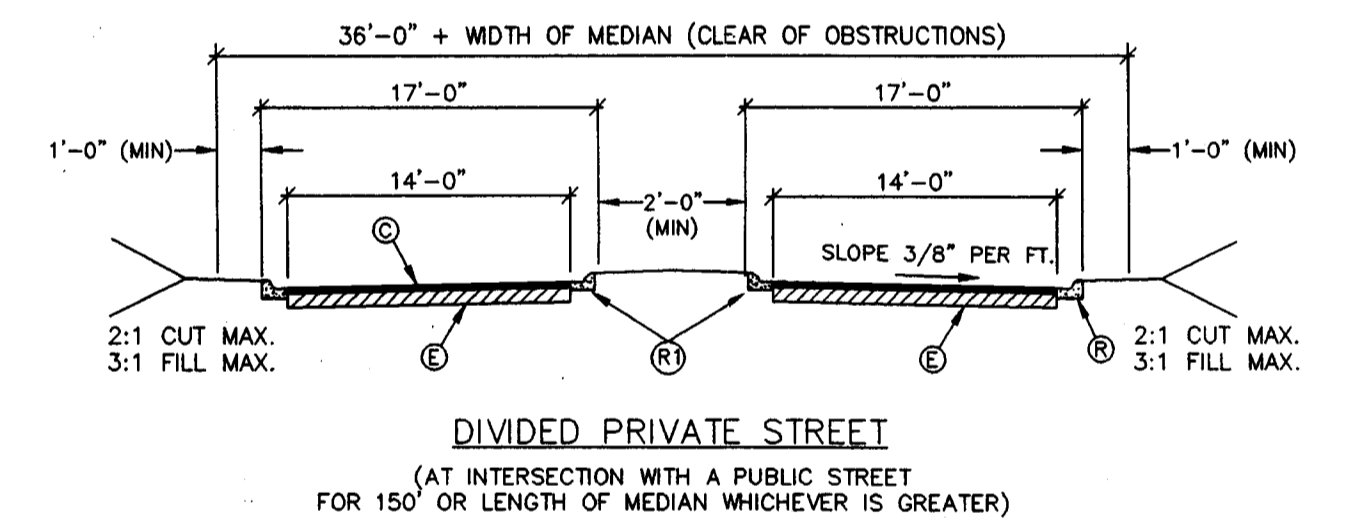
1. INTERNAL STREET ALIGNMENT:
MAXIMUM GRADE: 10%
MINIMUM VERTICAL CURVE "K" VALUES: 10/20 (CREST/SAG)
MINIMUM HORIZONTAL CURVE CENTERLINE RADIUS: 50 FT.
 2. INTERSECTION WITH PUBLIC STREET:
SAME AS FOR PUBLIC STREET. SEE GENERAL NOTES, SECTION I.B.2.
5% MAXIMUM GRADE WITHIN 40 FEET OF PUBLIC STREET INTERSECTION BEGINNING FROM EDGE OF PAVEMENT LINE.
- NOTE: VARIATIONS ON THESE GUIDELINES WILL BE REVIEWED ON A CASE BY CASE BASIS BY CITY STAFF.

PAVEMENT SCHEDULE

- Ⓒ 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE SF9.5A OR 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE I-2.
- Ⓓ 6" COMPACTED AGGREGATE BASE COURSE OR 4" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.0B OR 4" BCBC TYPE HB.
- Ⓔ CURB AND GUTTER (REFERENCE 10.17A & B).
- Ⓕ 1'-6" MOUNTABLE CURB



DIVIDED PRIVATE STREET (INTERNAL)



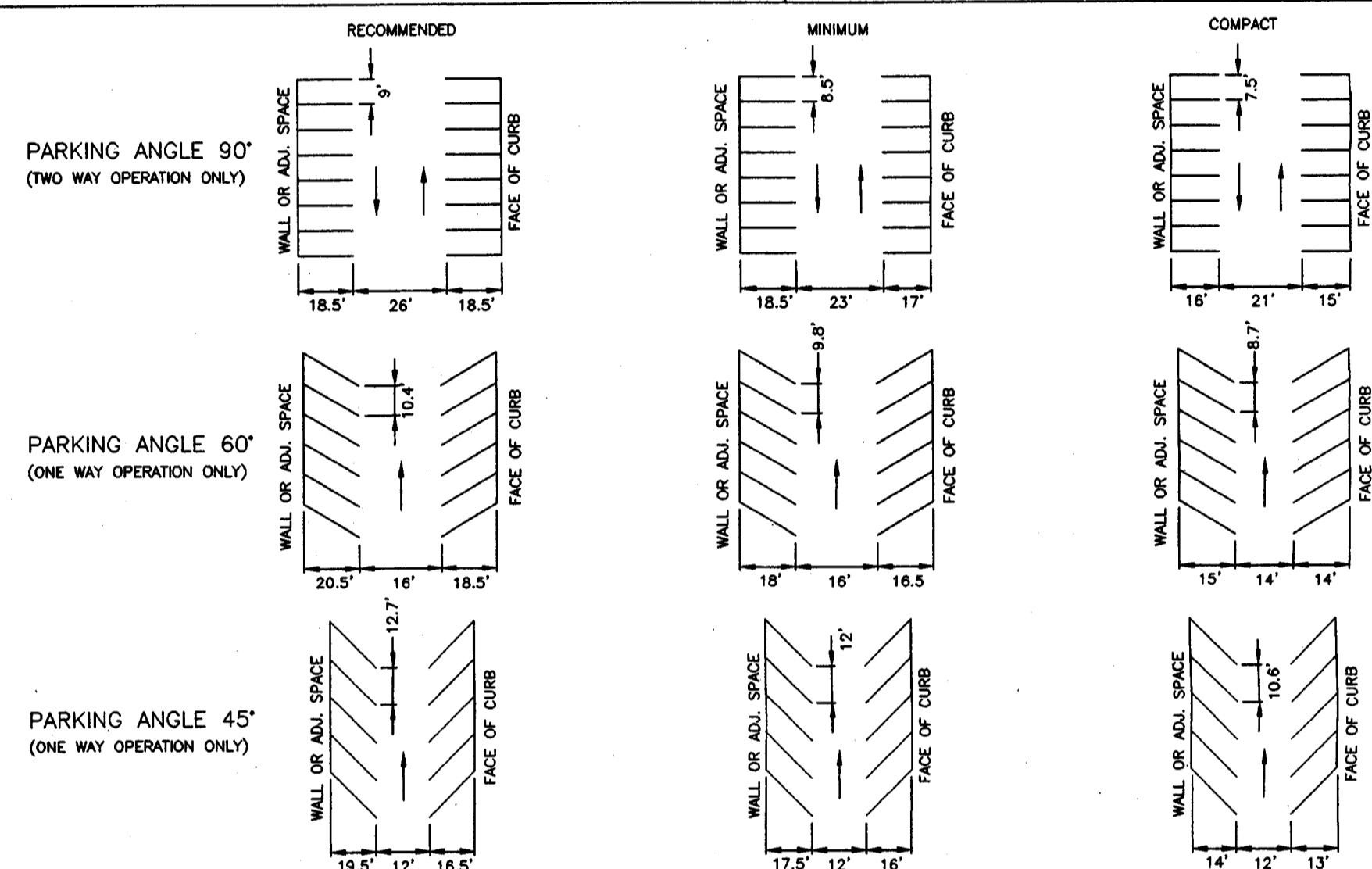
DIVIDED PRIVATE STREET (AT INTERSECTION WITH A PUBLIC STREET FOR 150' OR LENGTH OF MEDIAN WHICHEVER IS GREATER)

DIVIDED PRIVATE STREET

CMLD STD. DTL. #11.14 2

PARKING STANDARDS

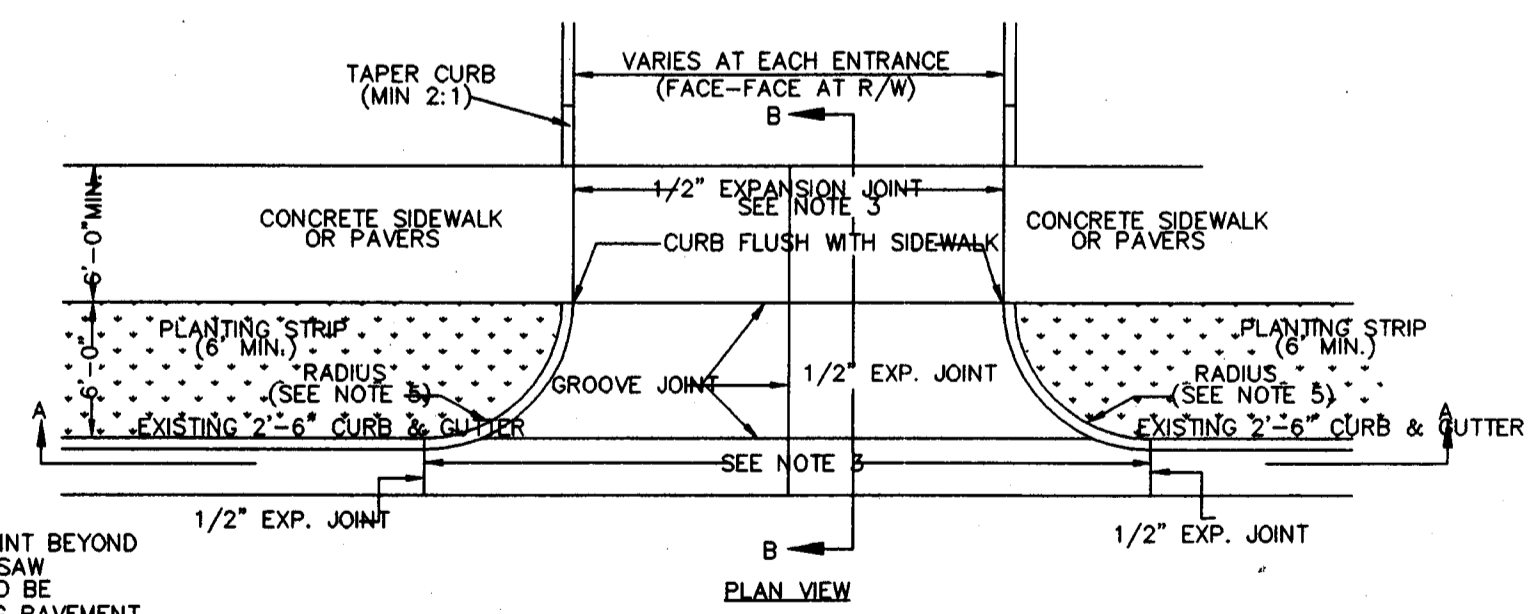
CMLD STD. DTL. #50.09 N.T.S. 8



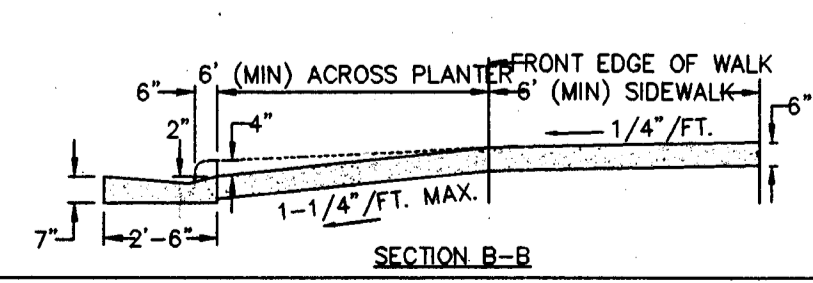
- NOTE:**
1. FOR ACCESSIBLE PARKING STANDARDS AND SIGNING SEE STD. 50.10A,B,& C.
 2. PAVEMENT MARKINGS SHALL BE 4" WHITE PAINT.

DRIVEWAYS CLASSIFICATION		
TYPE DRIVEWAYS	MINIMUM	MAXIMUM
ONE-WAY TYPE II COMMERCIAL	20'	30'
TWO-WAY TYPE II COMMERCIAL	26'	50'

- NOTES:**
1. ALL CONCRETE TO BE 3600 P.S.I. COMPRESSIVE STRENGTH.
 2. AT ALL DRIVEWAYS, SIDEWALKS TO BE REMOVED TO THE NEAREST JOINT BEYOND NEW CONSTRUCTION OR CUT WITH A SAW AND REMOVED. SAW CUT OR JOINT TO BE PERPENDICULAR TO EDGE OF EXISTING PAVEMENT. SEE EN. NO. 10.17 FOR JOINT DETAIL.
 3. PAY LIMITS FOR WORK DONE UNDER CITY OF CHARLOTTE CONTRACTS ARE FROM EXPANSION JOINT TO EXPANSION JOINT FROM LIP OF CURB TO BACK OF SIDEWALK.
 4. ALL DRIVEWAYS MUST MEET THE CURRENT CITY DRIVEWAY REGULATIONS AND NCDOT REQUIREMENTS FOR SPACINGS/DISTANCE, AND OFFSETS FROM PROPERTY LINES AND INTERSECTIONS.
 5. RADI MUST BE MINIMUM 6 FEET. RADIUS GREATER THAN 6 FEET MAY BE REQUIRED BY CDOT ON A CASE-BY-CASE BASIS. FOR RADI GREATER THAN 6 FEET, THE RADI ARE TO CONTINUE AS A BAND AT GRADE THROUGH THE SIDEWALK.
 6. PAVERS USED IN DRIVEWAY MUST HAVE A THICKNESS OF 80mm.



SECTION A-A (ALONG FLOW LINE)



SECTION B-B

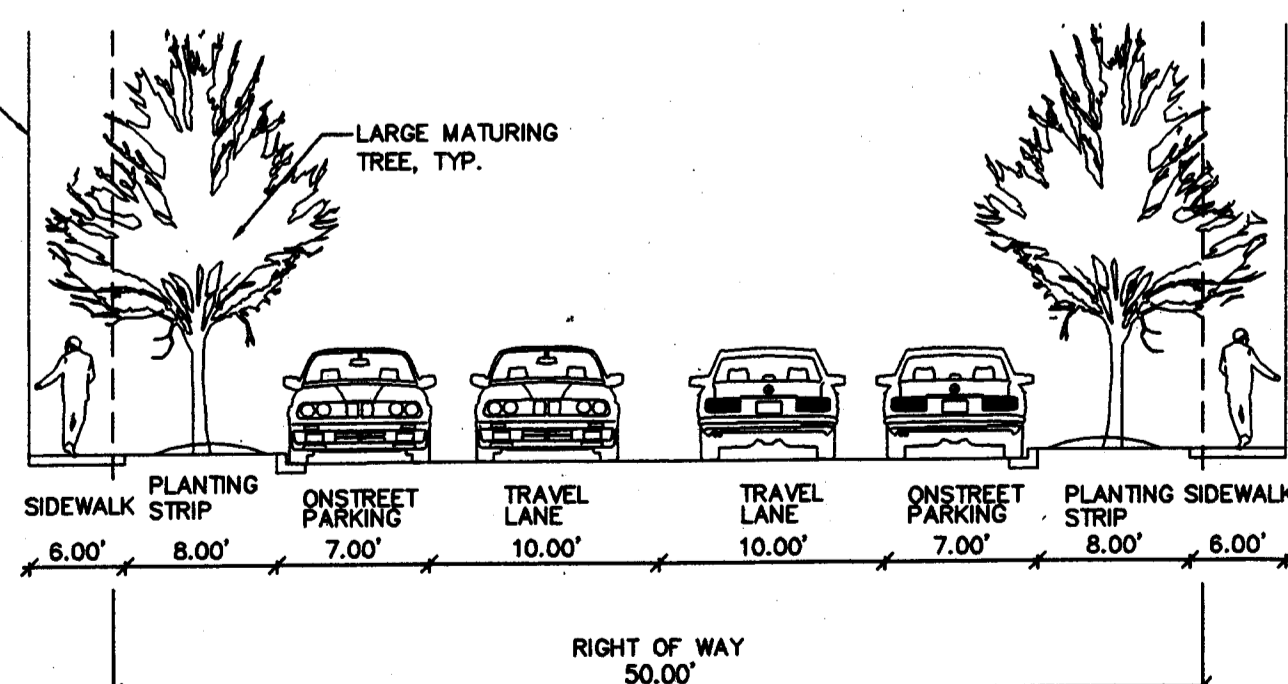
MODIFIED TYPE II DRIVEWAY DETAIL WITH PLANTING STRIP

CMLD STD. DTL. #10.25E N.T.S. 1

PUBLIC STREET

N.T.S. 7

5' SETBACK/SIDEWALK EASEMENT MEASURED FROM RIGHT OF WAY



- NOTES:**
1. THIS CROSS SECTION IS PER THE URBAN STREET GUIDELINES FOR A "WIDE RESIDENTIAL STREET".
 2. ON STREET PARKING MAY BE PROVIDED ALONG ONE SIDE, BOTH SIDES OR NEITHER SIDE OF THE PUBLIC STREET.

5' SIDEWALK MEASURE FROM RIGHT OF WAY

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