

Iris Drive and McClintock Road  
Charlotte, N.C.

Torti Gallas and Partners, Inc.  
1300 Spring Street,  
4th Floor  
Silver Spring, MD 20910  
301.588.4800  
www.tortigallaschk.com

Developer  
Thomas C. Graham  
Graham Development, Inc  
3908 Chaucer Wood  
Atlanta, GA 30319  
770.451.5953

Contact  
Rob A. Pressley  
Coldwell Banker Commercial MECA  
1800 Camden Road, Suite 108  
Charlotte, NC 28203  
704.971.6525

VICINITY MAP NOT DRAWN TO SCALE

**DEVELOPMENT SUMMARY**

Existing Zoning:	R-22MF MUDD-O
Proposed Zoning:	
Proposed Uses:	Residential: 1200 Units Maximum Retail: 30,000sf Maximum
Maximum Building Height:	120'
Open Space:	3,910 SF Required ± 4,000 SF Provided
Total Gross Area:	32.68 Acres
Street / Mews ROW Area:	7.64 Acres
Alley ROW Area:	0.84 Acres
Plaza:	0.14 Acres
SWIM Buffer:	2.40 Acres
Net Developable Area:	21.66 Acres

**LEGEND**

▨ Retail  
▤ Residential

**NOTE**

In accordance with the development standards, this schematic site plan that accompanies the technical data sheet is schematic in nature and the exact alignment of streets, access points, the configuration and placements of parking and service areas and the precise location, heights and masses of the buildings and parking areas, service areas and other individual site elements may be altered or modified within the limits prescribed by the ordinance during the design development and construction phases of the project.

**Key Plan**

**Revisions**

No.	Date

**Technical Data Sheet**

Date  
05/11/28

Principal In Charge  
Paul Mortensen

Project Planner  
E.R.

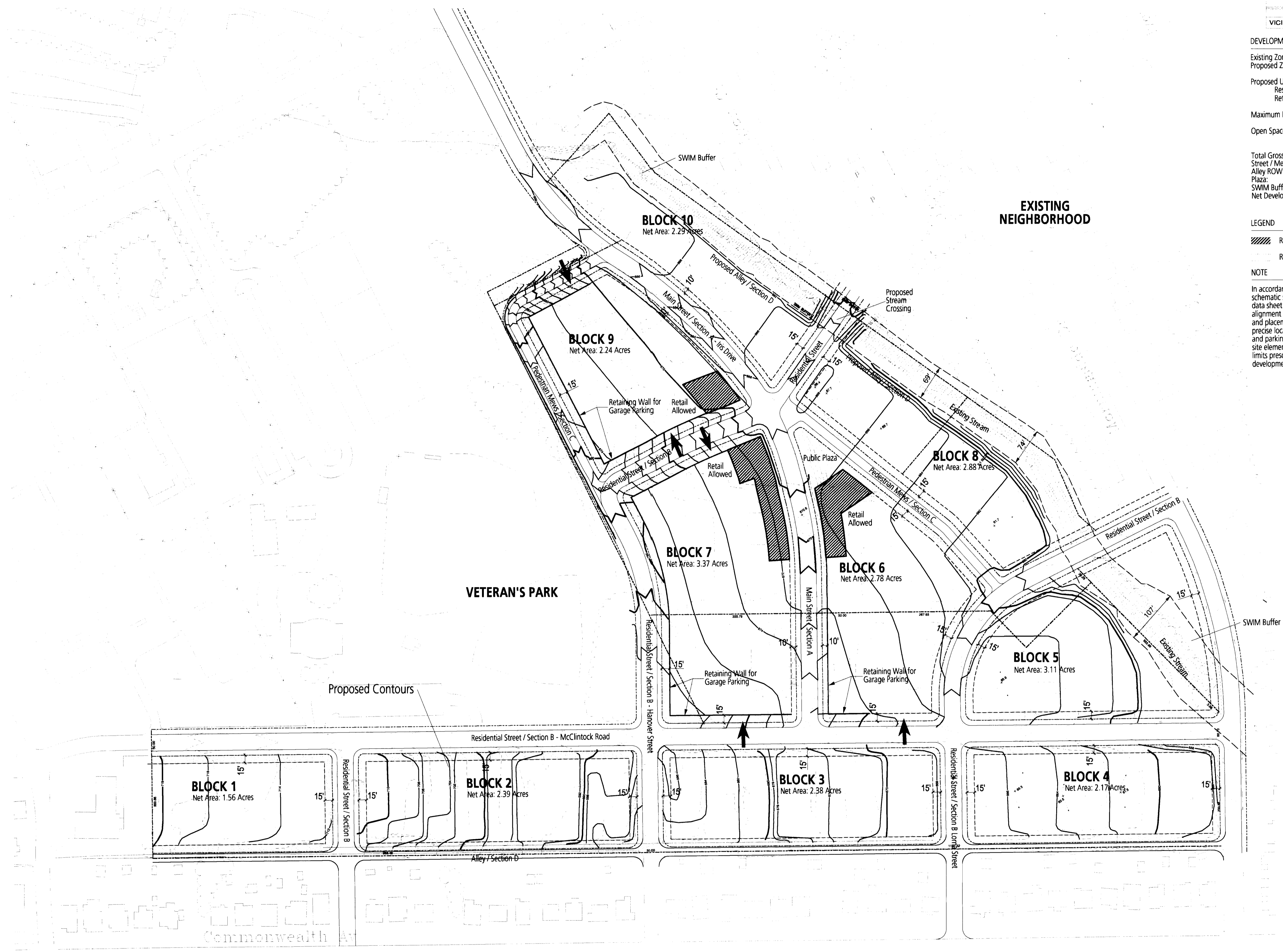
Approved  
P.M.

Drawn  
E.R.

Job No.  
05165.00

Scale  
0/0" = 1' - 100"

Drawing No.  
A001



NOT FOR CONSTRUCTION

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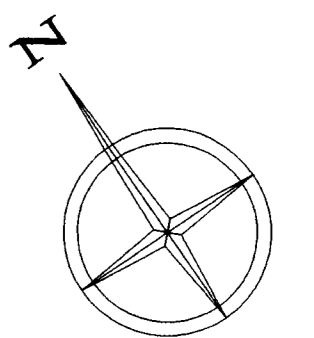
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Key Plan

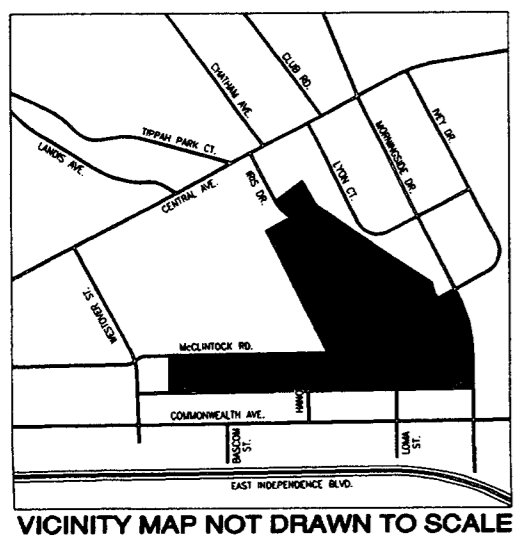
Revisions

No. Date

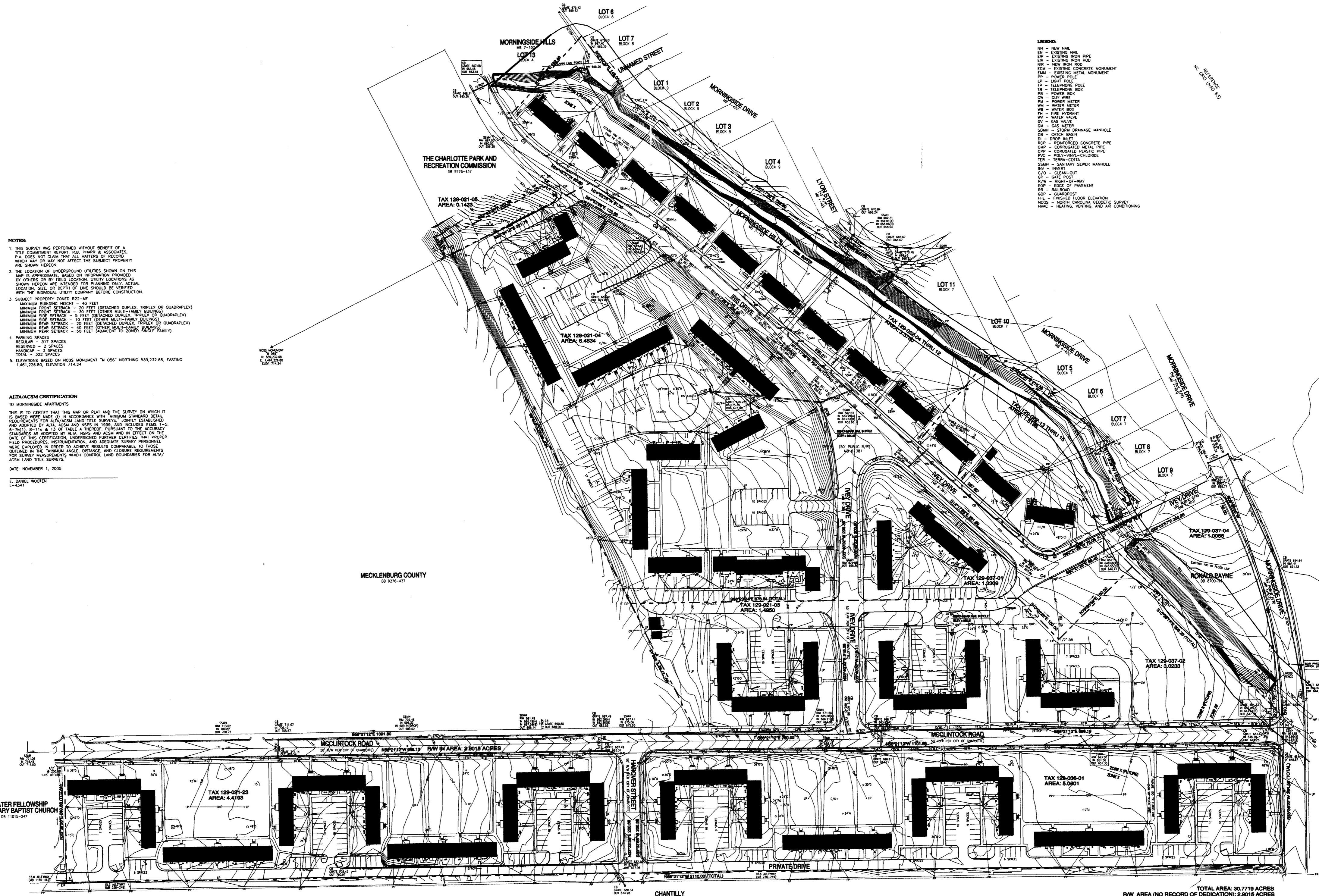


Survey Sheet

Date  
05/11/28  
Principal In Charge  
Paul Mortensen  
Project Planner  
E.R.  
Approved  
P.M.  
Drawn  
E.R.  
Job No.  
05165.00  
Scale  
0/0" = 1' - 100"  
Drawing No.  
A002



VICINITY MAP NOT DRAWN TO SCALE



NOTES:  
1. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE COMMITMENT REPORT BY B. PHARR & ASSOCIATES, P.A. DOES NOT GUARANTEE THE ACCURACY OF RECORDS AND SHOWS HEREON MAY NOT AFFECT THE SUBJECT PROPERTY.  
2. THE LOCATION OF UNRECORDED UTILITIES SHOWN ON THIS SURVEY IS APPROXIMATE, BASED ON INFORMATION PROVIDED BY THE CLIENT OR BY FIELD LOCATION. UTILITY LOCATIONS ARE SHOWN HEREON AND INTENDED FOR PLANNING ONLY. ACTUAL LOCATIONS SHALL BE DETERMINED BY FIELD SURVEY WITH THE PROPOSED CONSTRUCTION.  
3. SUBJECT PROPERTY ZONED R22-46  
MINIMUM FRONT SETBACK - 25 FEET (DETACHED DUPLEX, TRIPLEX OR QUADRUPLIX)  
MINIMUM FRONT SETBACK - 30 FEET (DETACHED SINGLE-FAMILY RESIDENCE)  
MINIMUM SIDE SETBACK - 10 FEET (DETACHED SINGLE-FAMILY RESIDENCE)  
MINIMUM REAR SETBACK - 20 FEET (DETACHED DUPLEX, TRIPLEX OR QUADRUPLIX)  
MINIMUM REAR SETBACK - 25 FEET (DETACHED SINGLE-FAMILY)  
4. PARKING SPACES  
REGULAR - 217 SPACES  
RESERVED - 2 SPACES  
HANDICAP - 32 SPACES  
TOTAL - 252 SPACES  
5. ELEVATIONS BASED ON MOSS MONUMENT 'W 056' NORTHING 539,232.69, EASTING 1,483,238.86, ELEVATION 714.24

ALTA/ACSM CERTIFICATION  
TO MORNINGSIDE APARTMENTS  
THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE (1) IN ACCORDANCE WITH MINIMUM STANDARD SURVEYING PRACTICES FOR ALTA/ACSM LAND TITLE SURVEYS, (2) UNDER THE SUPERVISION OF A LICENSED SURVEYOR, (3) BY THE LICENSEE'S PERSONAL OR DIRECT SUPERVISION, AND (4) BY THE LICENSEE'S PERSONAL OR DIRECT SUPERVISION. THE LICENSEE'S PERSONAL OR DIRECT SUPERVISION IS NOT REQUIRED FOR THIS CERTIFICATION. THE LICENSEE'S PERSONAL OR DIRECT SUPERVISION IS NOT REQUIRED FOR THIS CERTIFICATION. THE LICENSEE'S PERSONAL OR DIRECT SUPERVISION IS NOT REQUIRED FOR THIS CERTIFICATION.

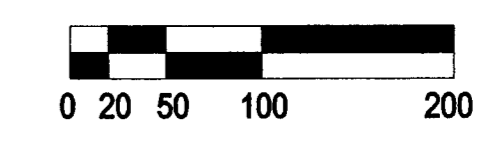
MECKLENBURG COUNTY  
SB 9276-427

GREATER FELLOWSHIP  
MISSIONARY BAPTIST CHURCH  
SB 1101-247

LITERATURE:  
POWER 1-800-357-3553 DUNE POWER CO.  
TELEPHONE (704) 237-8874 BELL SOUTH TELECOMMUNICATIONS  
NEW CONNECTIONS (CLEAN OUTLET)  
EXISTING SERVICES (CABLE, LANIQUES)  
WATER & SEWER (704) 399-2221 CH2M-HILL, UTILITY DEPT. (CH40)  
CONTRACT CALL NUMBER  
GAS (704) 255-5585 PEDESTAL NATURAL GAS CO.  
NEW CONNECTIONS (METERS, BOND)  
EXISTING CONNECTIONS (NEC, SCS)  
CABLE TELEVISION 1-800-833-4444

FLOOD CERTIFICATION  
THIS IS TO CERTIFY THAT THE SUBJECT PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA AS SHOWN ON MAPS PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) 3319C 0184 C 1 ZONE A1, ZONE A2, ZONE A3 (FLOOD) & ZONE V1.

Table with 2 columns: REVISIONS and ALTA/ACSM LAND TITLE SURVEY OF: MORNINGSIDE APARTMENTS. Includes details about the survey and the surveying firm R.B. PHARR & ASSOCIATES, P.A.



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