

REZONING PLAN

For Clementi South, LLC

APPROVED BY CITY COUNCIL
DATE 9/19/05

SITE DATA

PARCEL AREA 6.99 Acres
 UNITS PROPOSED 29
 EXISTING ZONING R-3 AND B-1
 PROPOSED ZONING R-3 MF-CD
 DENSITY 4.148 D.U./Acre
 OPEN SPACE >50%
 SETBACK 30'
 REAR YARD 50'
 TAX PARCEL ID NO.: 025 16 105

PARKING REQUIRED 44, 1.5 SPACES PER UNIT
 PARKING PROPOSED 60 SPACES

EACH TOWNHOUSE UNIT HAS ONE SPACE IN THE GARAGE AND ONE SPACE IN THE DRIVEWAY. THERE ARE TWO ADDITIONAL SPACES PROPOSED IN THE ISLAND.

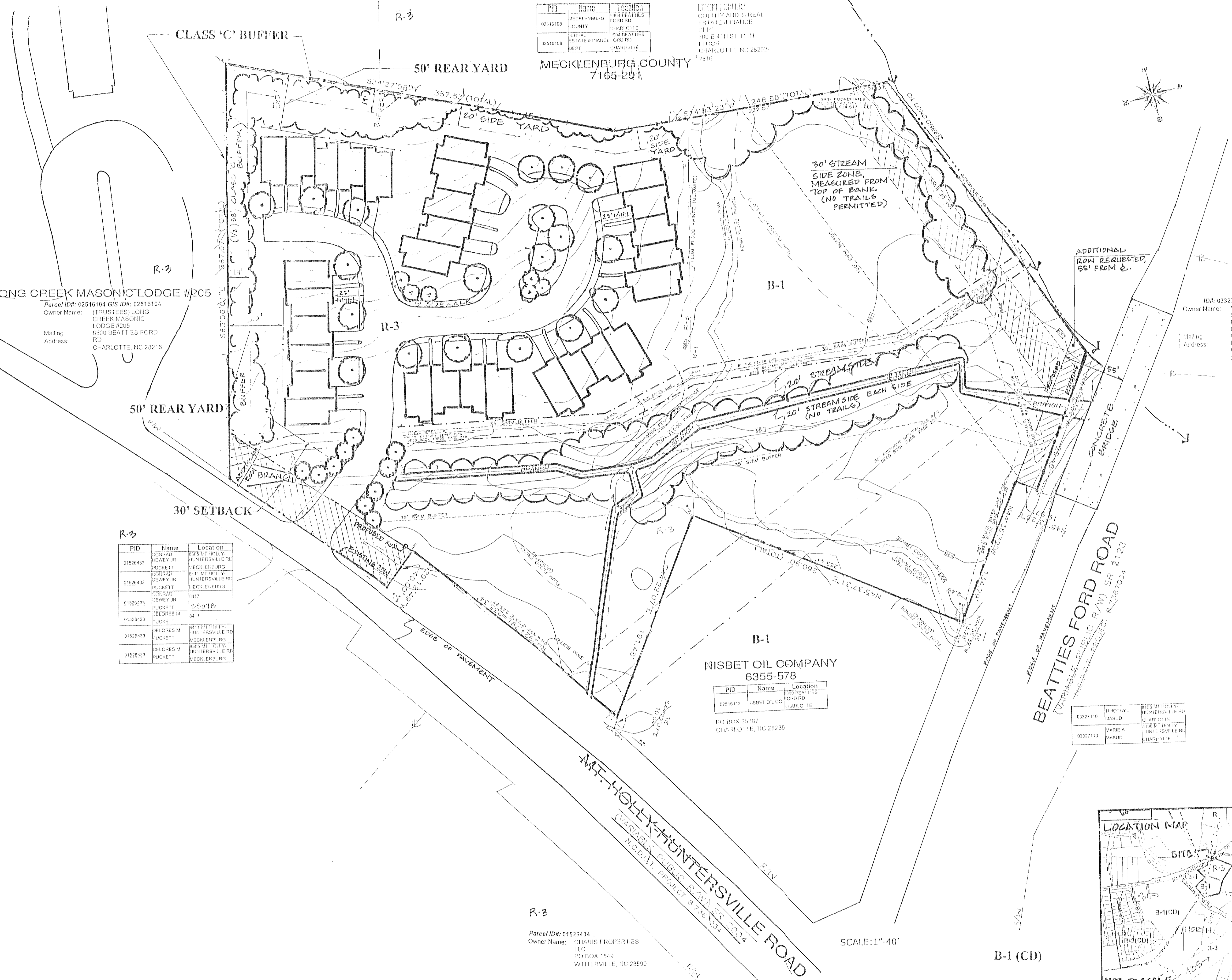
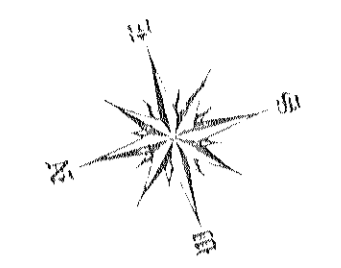
NOTES

1. THE 100' SWIM BUFFER SHALL BE DEDICATED AND CONVEYED TO MECKLENBURG COUNTY PARKS AND RECREATION PRIOR TO THE ISSUANCE OF THE BUILDING CERTIFICATE OF OCCUPANCY. THE TOWNHOUSE OWNERS SHALL RESERVE THE RIGHT TO USE THE DEDICATED SWIM BUFFER FOR RECREATIONAL PURPOSES AS PERMITTED BY MECKLENBURG COUNTY PARKS AND RECREATION AND IN ACCORDANCE WITH MECKLENBURG COUNTY STORM WATER SERVICES ORDINANCES.
2. THE PEDESTRIAN "PATH" SHALL BE CONSTRUCTED FROM THE TOWNHOUSES TO BEATTIES FORD ROAD NORTH OF THE EXISTING BRIDGE OVER LONG CREEK.
3. ADDITIONAL RIGHT-OF-WAY ALONG BEATTIES FORD AND MT. HOLLY-HUNTERSVILLE ROAD SHALL BE DEDICATED AND CONVEYED TO THE CITY OF CHARLOTTE PRIOR TO THE ISSUANCE OF THE BUILDING PERMITS. ALONG MT. HOLLY-HUNTERSVILLE ROAD, 55' FROM THE CENTERLINE, FOR THE FIRST 500' DEPARTING BEATTIES FORD ROAD, MEASURED FROM THE RIGHT-OF-WAY, AT WHICH POINT THE RIGHT-OF-WAY WILL TRANSITION TO 50' OVER THE NEXT 225'. ON BEATTIES FORD ROAD, THE RIGHT-OF-WAY REQUIREMENT IS 55' FROM THE CENTERLINE EXTENDING 300' FROM THE INTERSECTION.
4. MULTI-FAMILY COMPLEXES MUST MEET ALL REQUIREMENTS AS STATED IN CHAPTERS 9 AND 12 OF THE CHARLOTTE CITY CODE REGARDING SOLID WASTE DUMPSTER, COMPACTOR AND RECYCLING AREAS.
5. A 5-FOOT SIDEWALK AND 8-FOOT PLANTING STRIP SHALL BE PROVIDED ALONG MT. HOLLY-HUNTERSVILLE ROAD AND BEATTIES FORD ROAD FRONTAGES (WITH THE EXCEPTION OF THE BRIDGE SECTION).
6. NO STORM WATER DETENTION IS REQUIRED BECAUSE THE SITE WILL DISCHARGE INTO THE REGULATED FLOODWAY OF LONG CREEK.
7. NO WALL PAC LIGHTING WILL BE PERMITTED.
8. DETACHED LIGHTS SHALL BE LIMITED TO 20' IN EIGHT WITH LIGHTS BEING FULLY SHIELDED.
9. THE MINIMUM TREE SAVE AREA PROPOSED SHALL BE AT LEAST 20%. THE SWIM BUFFER MAY BE USED TOWARDS THIS REQUIREMENT.
10. PROPOSED UNITS ARE TOWNHOUSES.
11. THE REQUIRED CLASS C BUFFER ADJACENT TO THE LONG CREEK MASONIC LODGE IS 38'. THE PROPOSED TOWNHOUSE SITE IS RESPONSIBLE FOR HALF OF THE REQUIRED BUFFER.

PID	Name	Location
02516108	MECKLENBURG COUNTY	3804 BEATTIES FORD RD CHARLOTTE
02516108	MECKLENBURG COUNTY	3804 BEATTIES FORD RD CHARLOTTE

MECKLENBURG COUNTY AND REAL ESTATE AGENCY DEPT 600 E 4TH ST 11TH FLOOR CHARLOTTE, NC 28202-2816

MECKLENBURG COUNTY 7165-291



LONG CREEK MASONIC LODGE #205
 Parcel ID#: 02516104 GIS ID#: 02516104
 Owner Name: (TRUSTEES) LONG CREEK MASONIC LODGE #205
 6500 BEATTIES FORD RD
 CHARLOTTE, NC 28216

ID#: 03327109
 Owner Name: MECKLENBURG COUNTY AND REAL ESTATE AGENCY DEPT 600 E 4TH ST 11TH FLOOR CHARLOTTE, NC 28202-2816
 Mailing Address: MECKLENBURG COUNTY AND REAL ESTATE AGENCY DEPT 600 E 4TH ST 11TH FLOOR CHARLOTTE, NC 28202-2816

NISBET OIL COMPANY
 6355-578

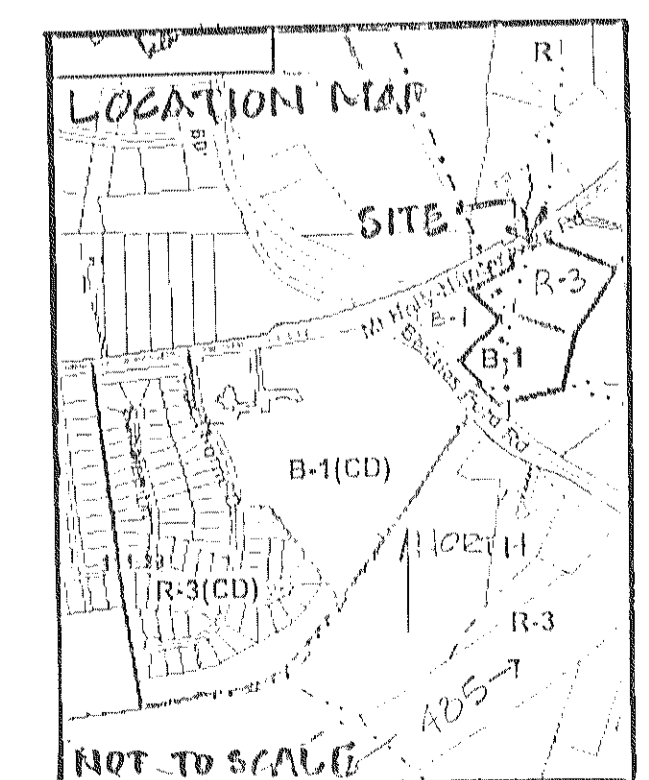
PID	Name	Location
02516112	NISBET OIL CO	3804 BEATTIES FORD RD CHARLOTTE

PO BOX 35357
 CHARLOTTE, NC 28235

03327110	HOLLY J MASUD	HOLLY HUNTERSVILLE RD CHARLOTTE
03327110	MARIE A MASUD	HOLLY HUNTERSVILLE RD CHARLOTTE

PID	Name	Location
01526433	CONRAD DEWEY JR PUCKETT	3805 MT HOLLY HUNTERSVILLE RD MECKLENBURG
01526433	CONRAD DEWEY JR PUCKETT	3811 MT HOLLY HUNTERSVILLE RD MECKLENBURG
01526433	CONRAD DEWEY JR PUCKETT	3417
01526433	CONRAD DEWEY JR PUCKETT	2607E
01526433	DELORES M PUCKETT	3417
01526433	DELORES M PUCKETT	3411 MT HOLLY HUNTERSVILLE RD MECKLENBURG
01526433	DELORES M PUCKETT	3805 MT HOLLY HUNTERSVILLE RD MECKLENBURG

R-3
 Parcel ID#: 01526434
 Owner Name: CHARIS PROPERTIES LLC
 PO BOX 1549
 WATHERVILLE, NC 28690



SCALE: 1"=40'

FOR PUBLIC HEARING: 2005-115

environmental DESIGN

20816 n. main street suite 204
 cornelius, nc 28031
 704.896.8070 phone
 704.897.4793 fax

landscape architecture
 civil engineering
 land planning
 land surveying

APRIL 22, 2005
 1. REVISED 4/22/05 PER PLANNING + OTHER DEPARTMENTS
 2. REVISED 9/15/05 PER MECK. CO. PARKS + REC.