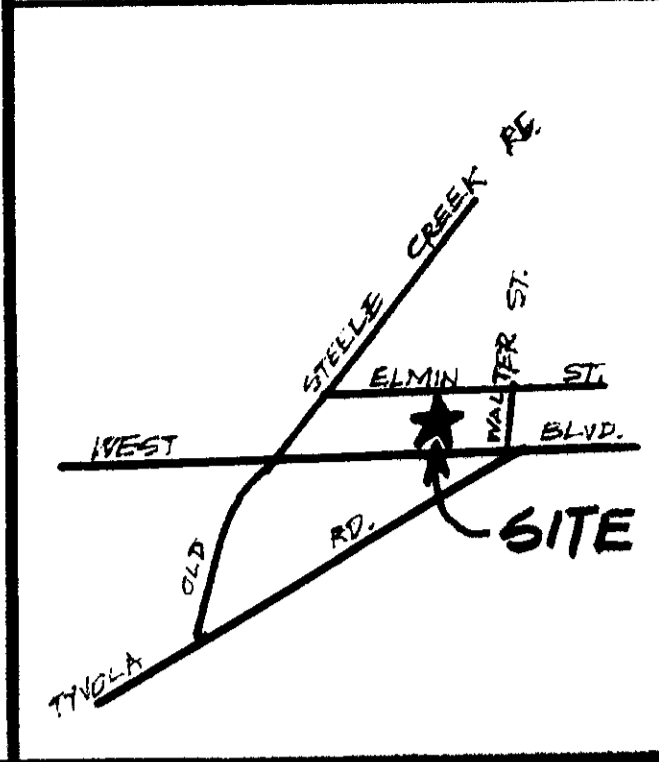
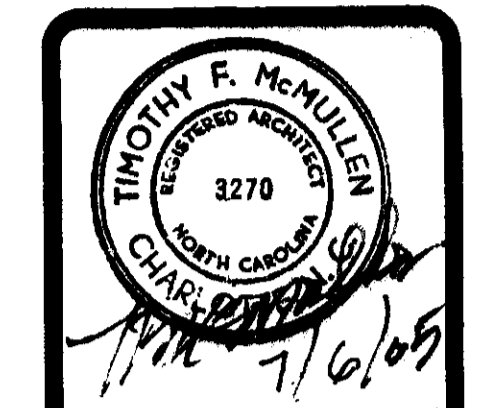


**LOCATION MAP**



REVISIONS	BY
1 GENERAL	TFM
2 GEN. 6/16/05	TFM
3 GEN. 7/6/05	TFM



PROPOSED ZONING - O-1(CD)  
 TIMOTHY F. McMULLEN, ARCHITECT  
 1313 N. TRYON ST., CHARLOTTE, NC 28206  
 TEL: (704) 595-1965 • FAX: (704) 976-7122

PETITION # 2005-97  
 COMMUNITY FUNERAL SERVICES  
 SITE PLAN

DRAWN	T.F.M.
CHECKED	T.F.M.
DATE	3/23/05
SCALE	1" = 40'-0"
JOB NO.	2192-4-5
SHEET	C-1.0

**CONDITIONAL ZONING NOTES**

- Development of the site will be controlled by the standards depicted on the site plan and by the standards of the City of Charlotte Zoning Ordinances.
- Buffer areas will be developed in accordance with Section 12.302 of the City of Charlotte Zoning Ordinance.
- Screening will conform with the applicable standards set forth in Section 12.303 of the City of Charlotte Zoning Ordinance.
- Parking will meet the standards of Table 12.202 of the City of Charlotte Zoning Ordinance.
- The only use proposed for this site is a Funeral Home.
- Maximum Building height shall be limited to 40'-0".
- Signage shall conform to Chapter 13 of the City of Charlotte Zoning Ordinance, limited to a maximum area of 50 sq. ft.
- Trash Containers will be screened by a solid enclosure and gates constructed of wood and/or masonry. A SOLID WASTE & RECYCLING AREA SHALL BE SCREENED PER 5209.159 (12.303)
- Proposed driveway connections will be subject to review and approval by the Charlotte Department of Transportation (CDOT) and the North Carolina Department of Transportation (NCDOT).
- All proposed trees shall conform to the requirements of the City of Charlotte - Urban Forestry Division requirements for Perimeter Planting and Interior Planting as follows:  
 Road Frontage - 1 tree/30 linear feet.  
 Interior - 1 tree/10,000 sq. ft. of impervious surface area.

**GENERAL SITE DATA**

GENERAL SITE DATA	CURRENT	PROPOSED
Zoning	I-1/R-5*	O-1(CD)
Land Use	Vacant	Funeral Home
	Vacant	Residential
Land Area (4.84 acres)	I-1 = 3.462 acres R-5 = 1.38 acres	O-1 = 3.94 acres +/- R-5 = 0.9 acres (REMAINING, REMOVED FROM PETITION)
Parking Required		
PARKING & ASPHALT AREA @ 150/1500 SQ.FT.		(15,000 SQ.FT. / 150) = 100 SPACES REQUIRED ASPAV. PROPOSED = 224

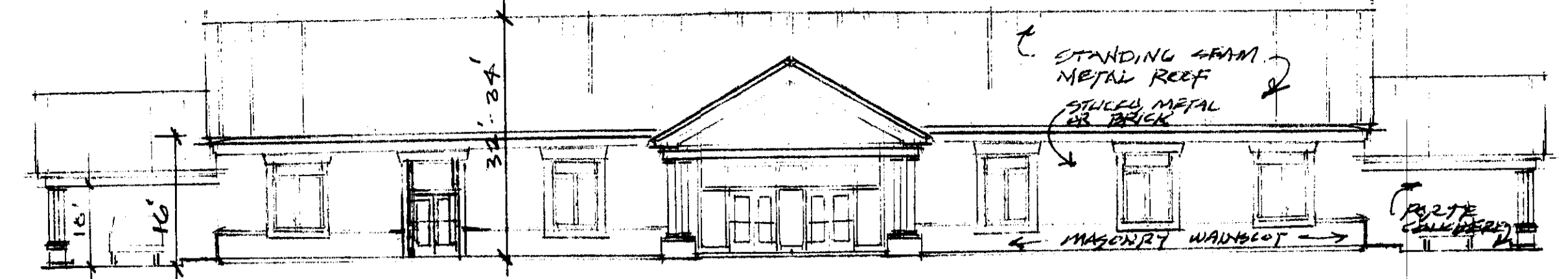
(\* Existing (R-5) Single Family Zoning to remain. Request under the Conditional Development, a reduction of Single Family land area from 1.38 acres to 0.9 acre by abandoning existing property line/zoning boundary and creating new property line/zoning boundary approximately 75 feet north of abandoned property line/zoning boundary. Remaining 0.9 acre parcel REMOVED FROM PETITION.

Tax Number	Zoning	Acres
A. 11707606	I-1	2.167
B. 11707607	I-1	1.295
C. 11707611	R-5	0.242
D. 11707612	R-5	0.438
E. 11707613	R-5	0.704
<b>TOTAL ACRES</b>		<b>4.85</b>

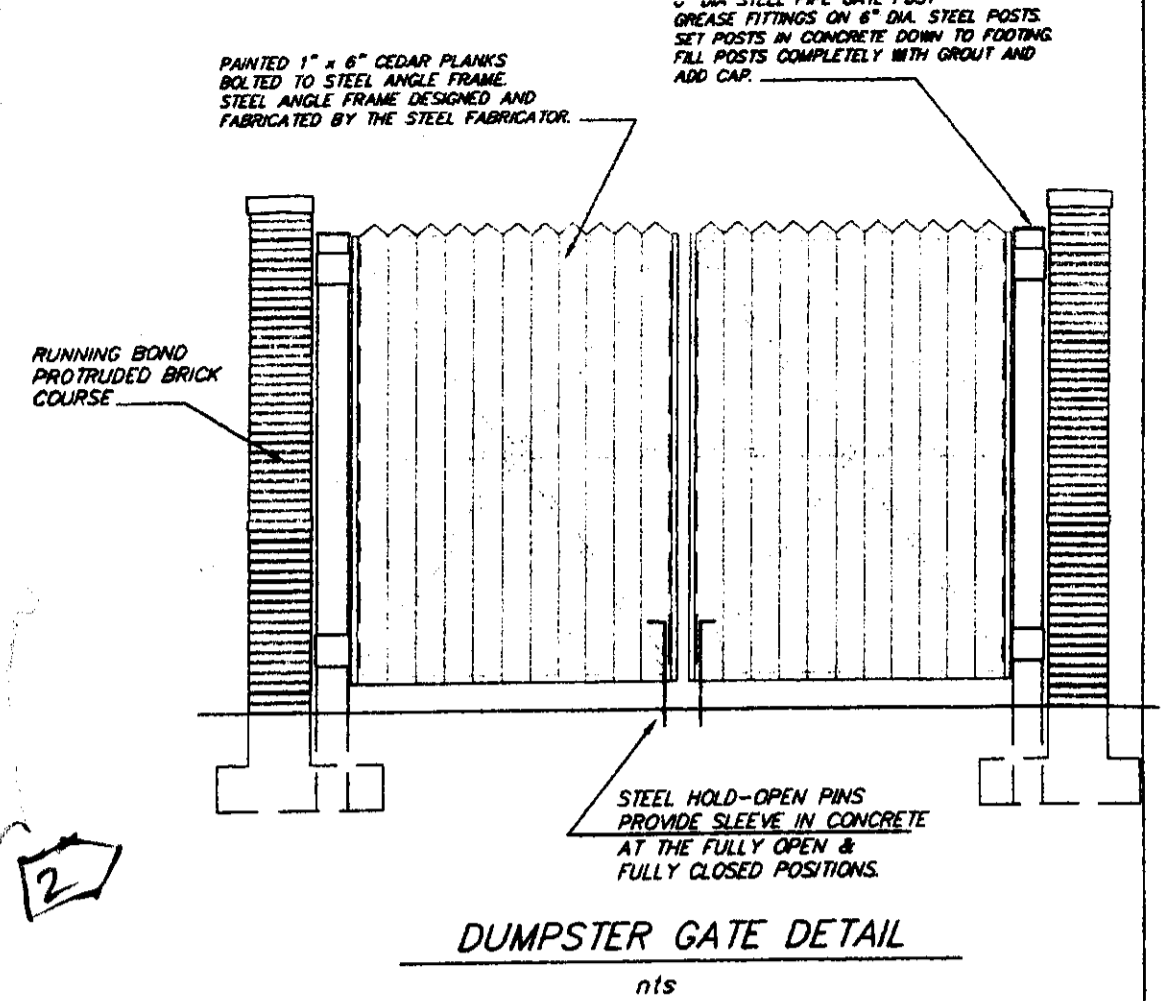
**GENERAL NOTES**

- This project may be completed in phases.
- No storm water detention structures will be placed in buffers or setbacks.
- Outdoor Lighting on buildings and parking surfaces will be limited to 25' in height with a cut-off type head to restrict light spillage off-site to adjoining residential uses.
- Parking lot surfaces may be a combination of asphalt paving and compacted gravel.
- Concrete curbs and gutters may be limited to areas where critical traffic or drainage controls are necessary.
- Concrete or timber wheel stops may be used to define parking spaces and to protect required plantings in lieu of curbs and gutters.
- Minimum tree size at planting shall be 2" caliper and 8 feet tall. Multi-stem trees shall be 3 stem maximum. Mulch shall be required. Staking and guying is optional.
- All strapping and top 2/3 of wire basket must be cut away and removed from root ball prior to backfilling planting pit. Remove 1/3 of burlap from top of root ball.
- Remove compacted soil and add 24" of new top soil/planting mix or uncompact and amend top 24" of existing soil to meet topsoil/planting mix standard for trees.
- Adjust tree planting locations to avoid underground utilities. Maintain 15-20 feet off sanitary sewer and storm drainage lines; 10-15 feet for water, gas underground power and telephone lines.

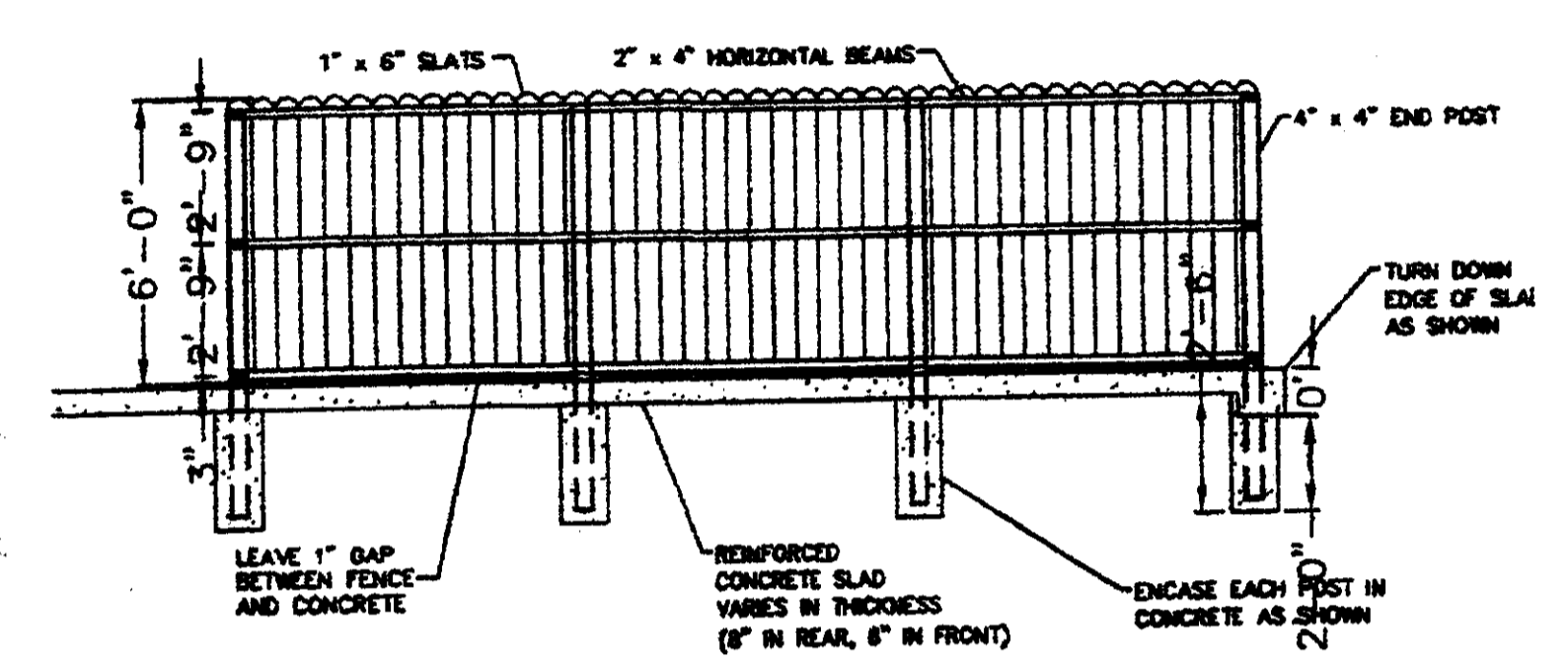
APPROVED BY CITY COUNCIL  
DATE 7/18/05



CONCEPTUAL FRONT ELEVATION  
1/16" = 1'-0"

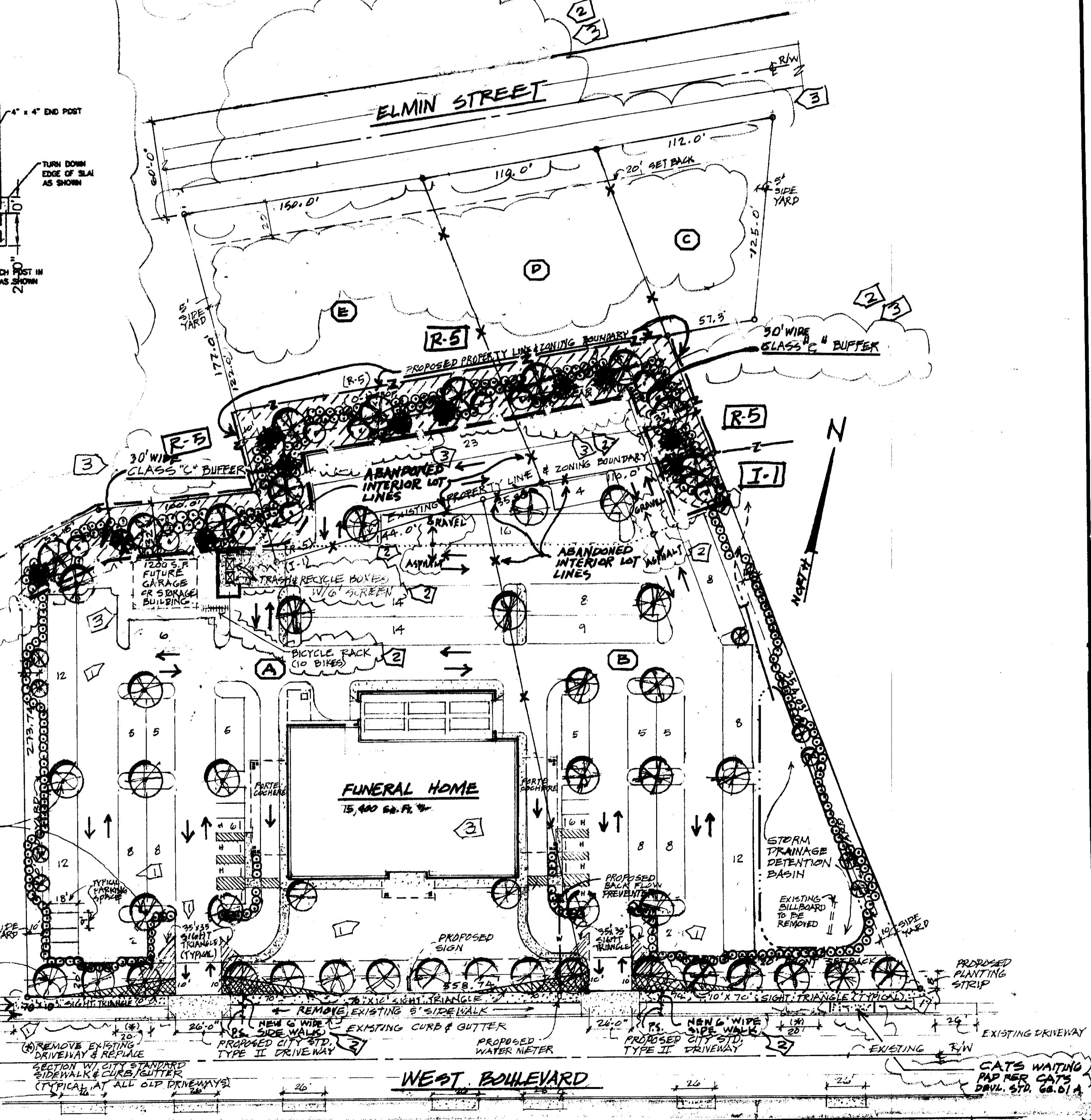


DUMPSTER GATE DETAIL  
n.t.s.



DUMPSTER SCREENING DETAIL  
n.t.s.

- NOTES:  
1. ALL LUMBER TO BE PRESSURE TREATED.  
2. WOOD FENCE TO BE PAINTED TO MATCH BUILDING FOUNDATION.



1 SITE PLAN  
C1.0 1" = 40'-0"