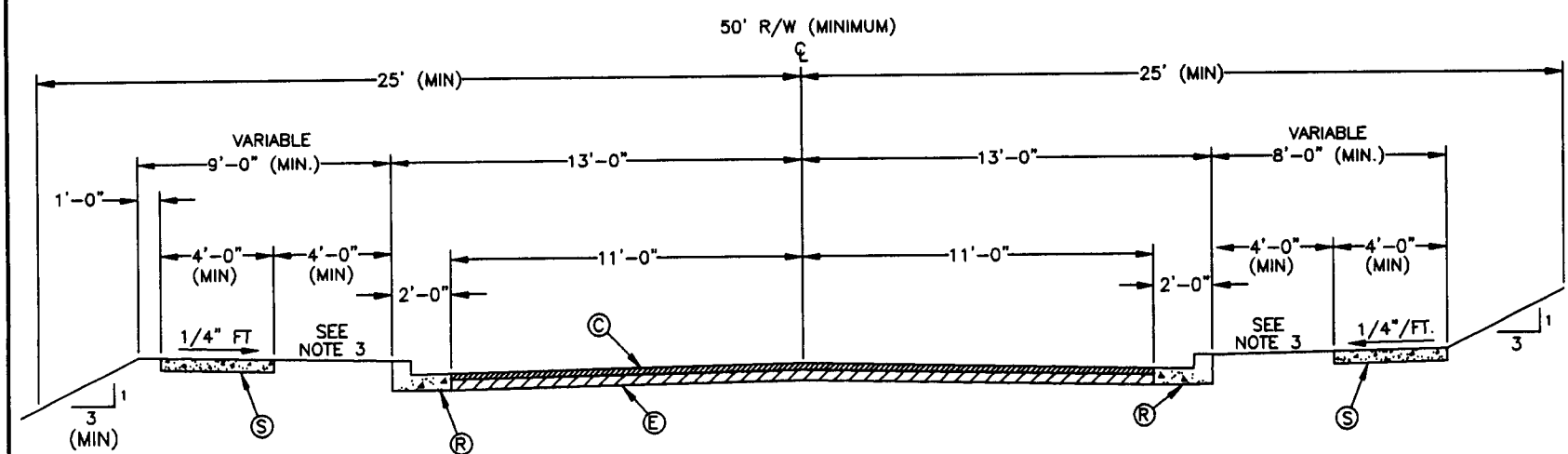


| ELEVATION DIFFERENCES                              |                             |                          |
|--|-----------------------------|--------------------------|
| BETWEEN TOP OF CURB AND FINISH GRADE AT $\epsilon$ | TO FINISH GRADE OF SUBGRADE | FOR STONEBASE FOR B25.08 |
|  | - 8-1/2"                    | - 4-1/2"                 |
|  | - 1/2"                      | - 1/2"                   |

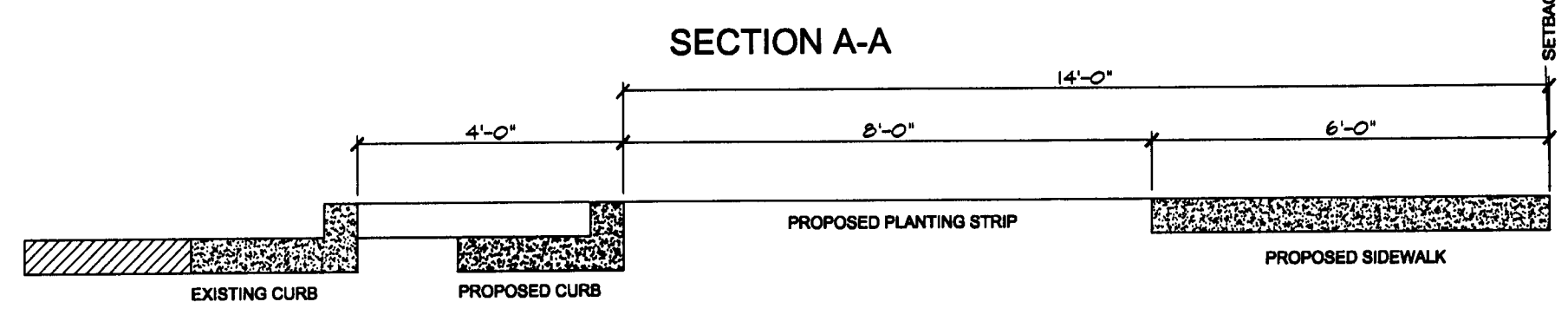
- NOTES:
- SIDEWALK SHALL BE PROVIDED ON BOTH SIDES OF THE STREET A MINIMUM OF 4' FROM THE BACK OF CURB.
  - THE CROWN (TRANSVERSE SLOPE) FOR THE TYPICAL SECTION ON THIS SHEET IS 3/8" PER FT.
  - FOR PLANTING STRIP SEE GENERAL NOTE F. 2.



PAVEMENT SCHEDULE

- 1.5" BITUMINOUS CONCRETE SURFACE COURSE, TYPE SF9.5A
- 6" COMPACTED AGGREGATE BASE COURSE, OR 4" BITUMINOUS CONCRETE BASE COURSE, TYPE B25.08
- 2'-6" CURB AND GUTTER
- 4" CONCRETE SIDEWALK

CHARLOTTE - MECKLENBURG LAND DEVELOPMENT STANDARDS CITY OF CHARLOTTE TYPICAL SECTION LOCAL RESIDENTIAL STREET COMPREHENSIVE STREET CLASSIFICATION SYSTEM (CLASS VI)

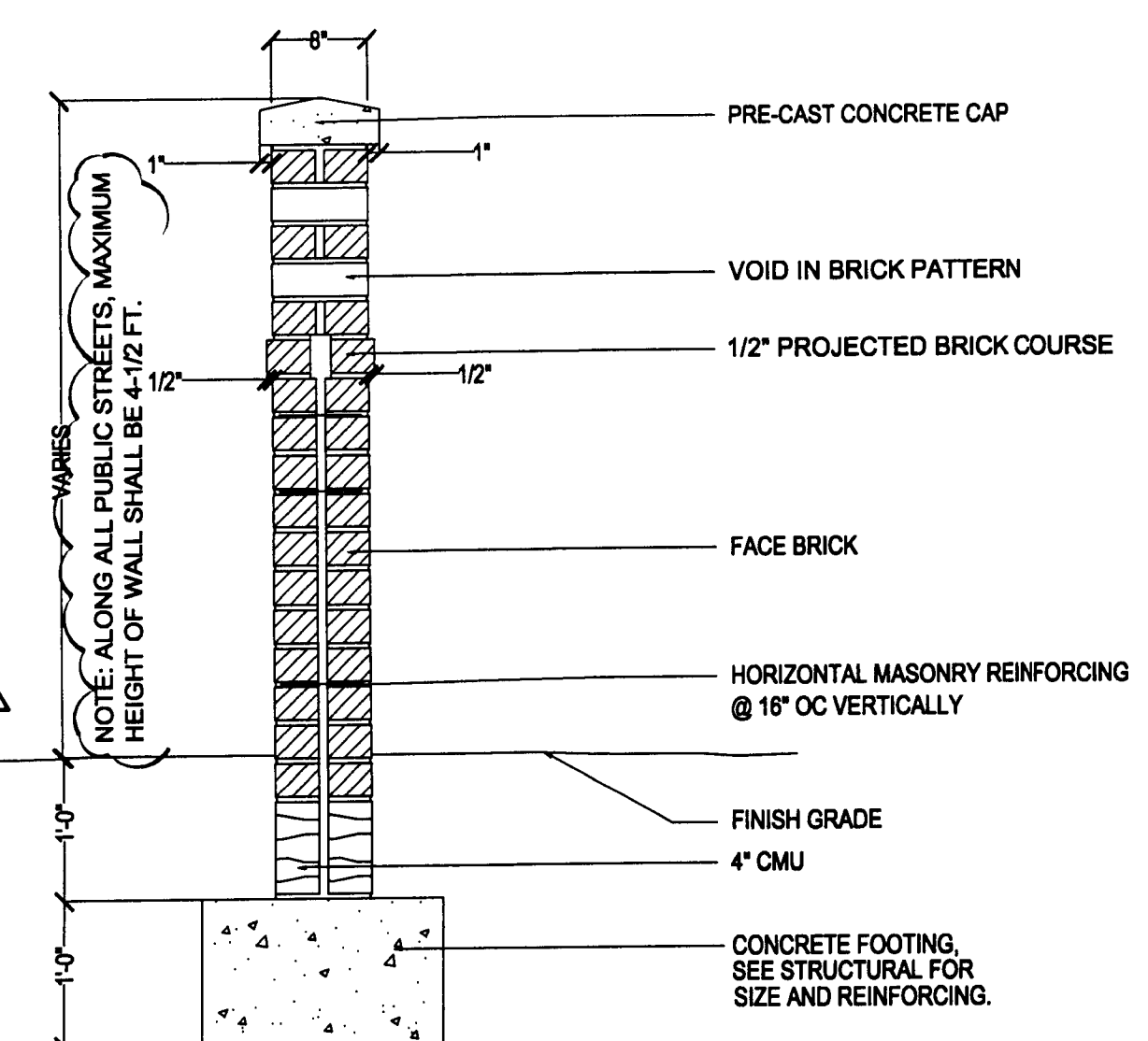


CGS MONUMENT "COVER"  
 5'10.46.48032" N  
 0'53.08.60418" W  
 LEV. 734.03'

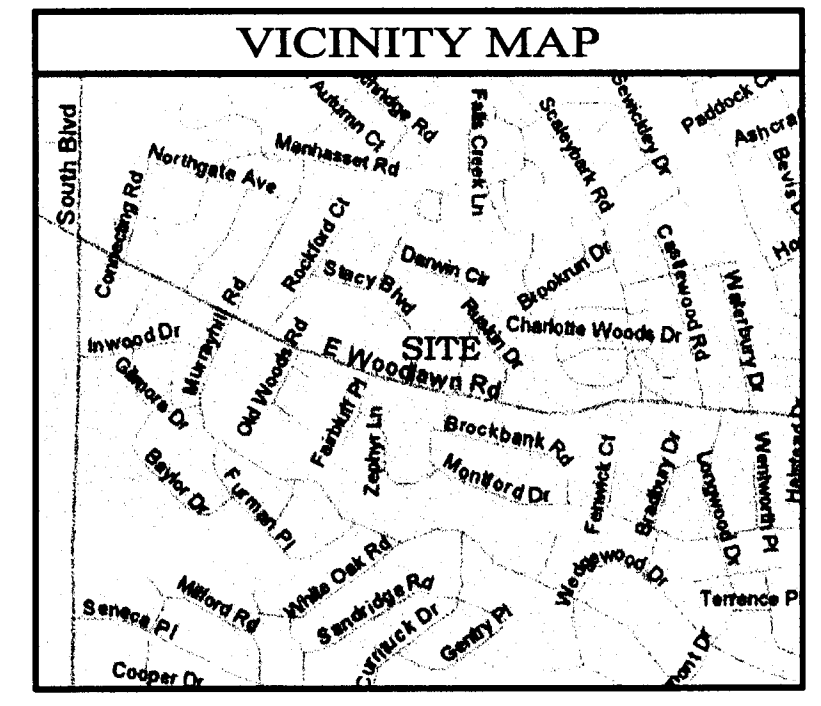
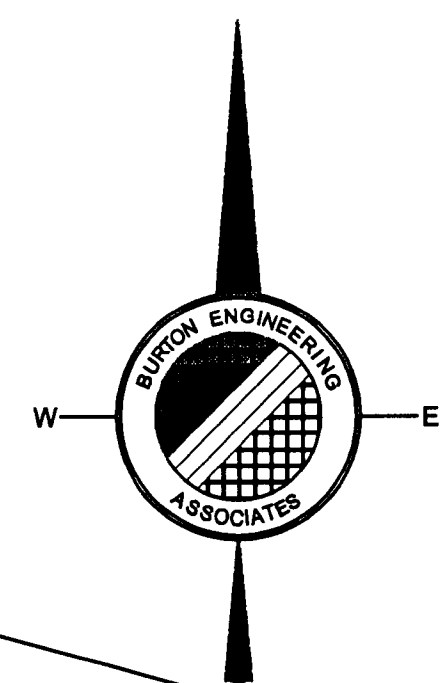
**PARKING TABULATION**

REQUIRED PARKING: ("ATTACHED DWELLINGS")  
 1 SPACE PER UNIT MIN.  
 2 SPACES PER UNIT MAX.  
 23 UNITS = 23-46 SPACES

PROPOSED PARKING:  
 TOTAL PROPOSED = 33 SPACES  
 23 GARAGE SPACES 10 VISITOR SPACES  
 10' X 50' LOADING SPACE = N/A



DETAIL OF PATIO ENCLOSURES



**SITE DATA**

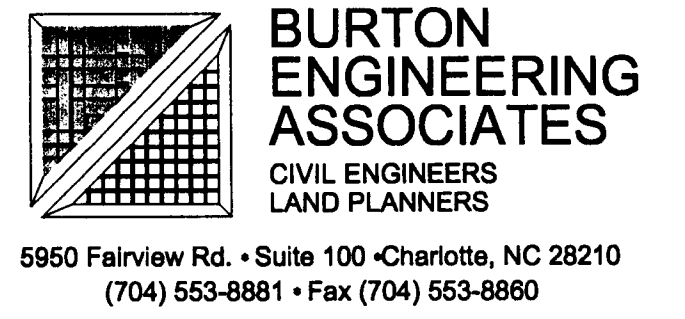
PROJECT NAME: WOODLAWN ROAD PROPERTY  
 EXISTING ZONING: R-4  
 PROPOSED ZONING: UR-2(CD)  
 PROPOSED USE: ATTACHED SINGLE FAMILY  
 TAX PARCELS: 149-184-06 & 149-184-04  
 LOT SIZE: 2.03 ACRES  
 TOTAL NUMBER OF UNITS 23 (11.33 PER AC)  
 YARD REQUIREMENTS (BUILDING):  
 FRONT SETBACK: 14 FT. FROM BACK OF CURB OR EXISTING R/W (WHICHEVER IS GREATER)  
 REAR YARD: 10 FT.  
 SIDE YARD: 5 FT.  
 TOTAL FLOOR AREA = 37199 sf  
 SITE AREA = 81892 sf  
 F.A.R. = 0.45

"FOR PUBLIC HEARING"  
 PETITION No. 2004-144

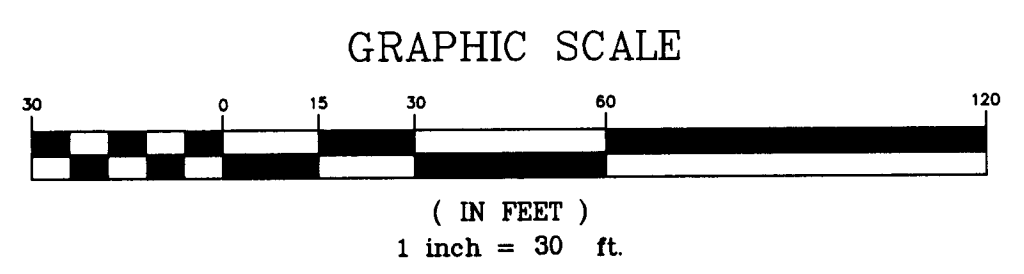
PETITIONER:  
**Bridge Partners**  
 800 Manhasett Road  
 Charlotte, N.C. 28209

'WOODLAWN ROAD PROPERTY'  
 SCHEMATIC SITE PLAN  
 SHEET 1 of 2  
 SEPTEMBER 2004

REVISED PER STAFF COMMENTS: 12/16/04  
 REVISED PER STAFF COMMENTS: 01/26/05  
 REVISED PER STAFF COMMENTS: 02/09/05

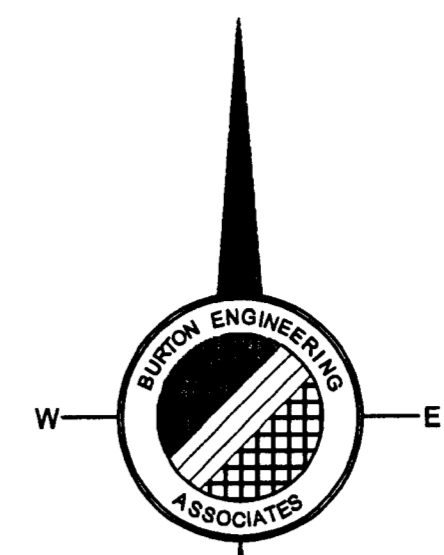
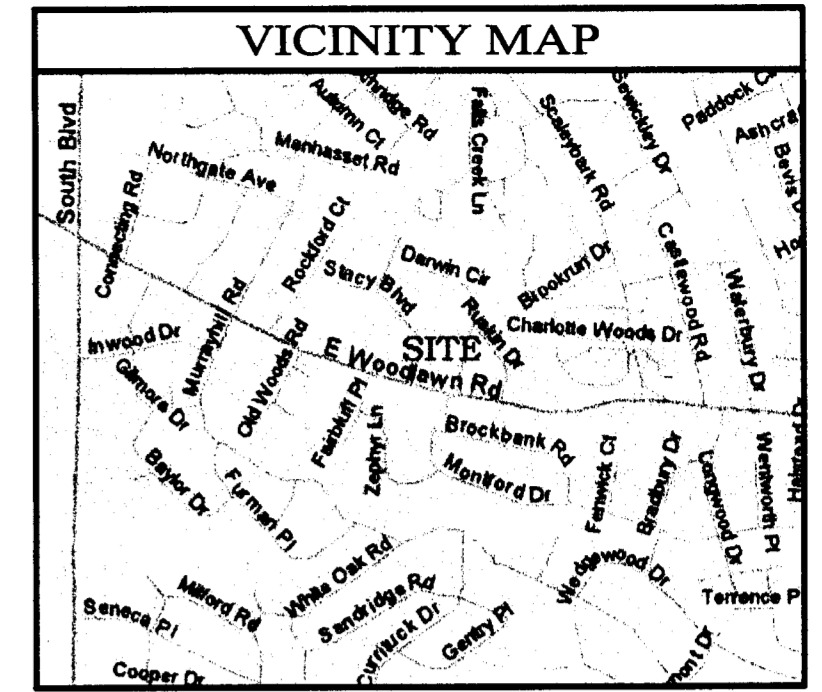


APPROVED BY CITY COUNCIL  
 DATE 2/21/05

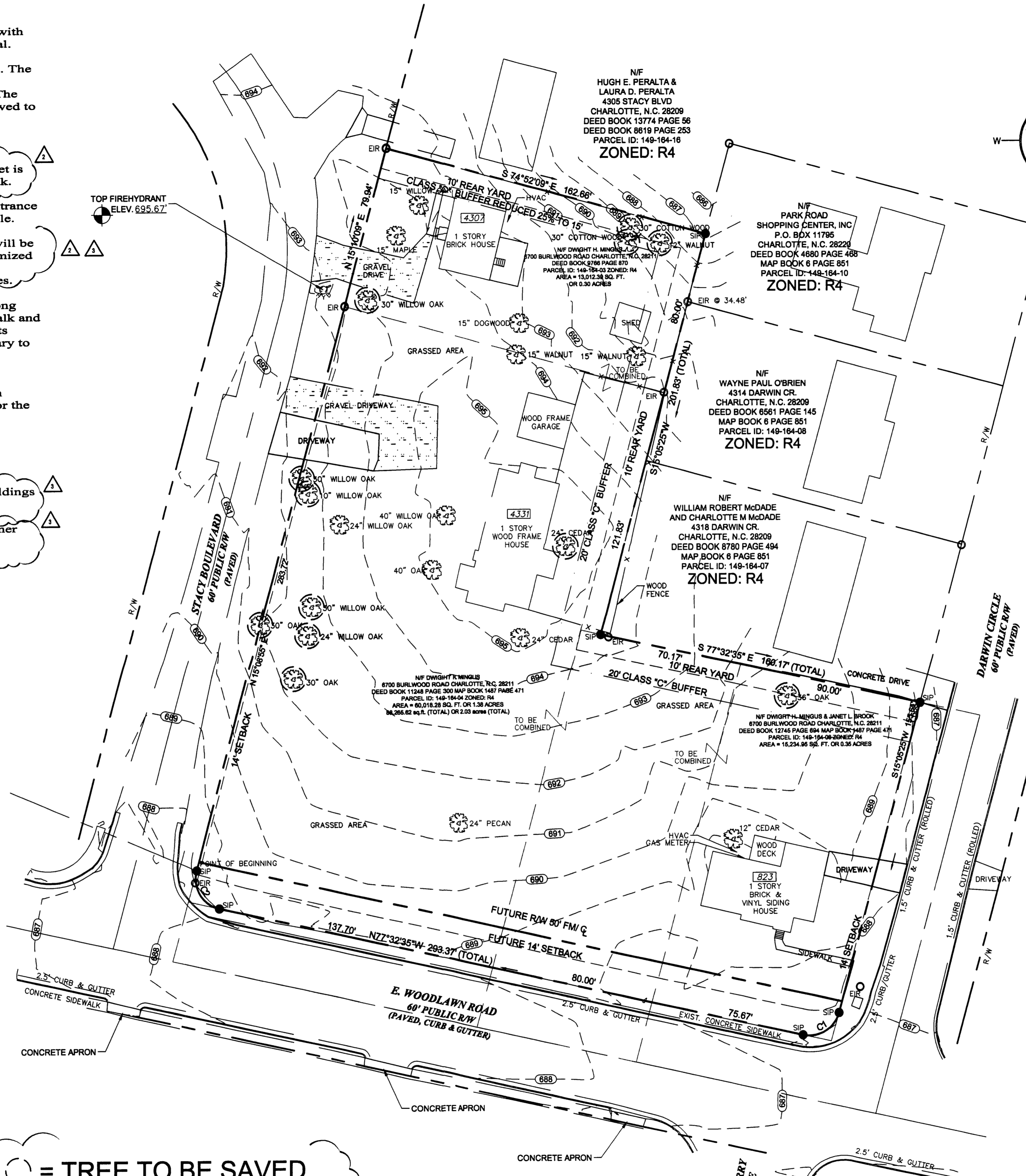


**REZONING NOTES**

1. The proposed development and all accompanying permits shall comply with the City of Charlotte's codes and ordinances at the time of rezoning approval.
2. During final site and architectural design, modifications may be allowed. The site plan and architectural elevations as part of this submittal serve only to illustrate the concept of the development project and variation may occur. The maximum number of units shall not exceed 23. The petitioner shall be allowed to reduce the total unit count. The project concept at the time of rezoning is a residential project of attached townhomes.
3. The internal drive shall include a four-foot sidewalk as shown on the schematic site plan. Where garages are proposed a minimum of eighteen feet is shown, as measured from the face of the garage door to the back of sidewalk.
4. The proposed for-sale project may be phased such that the first phase entrance for the private driveway may access either Stacy Boulevard or Darwin Circle.
5. The existing trees to remain are indicated on this plan. Tree protection will be installed and construction around the existing trees to remain shall be minimized and conducted in such a way to preserve the existing trees. Grading and disturbances around existing trees will be kept away from the protected trees.
6. The petitioner will dedicate and convey the appropriate right-of-way along Woodlawn Road prior to the issuance of a building permit. A 6-foot sidewalk and 8 foot planting strip will be installed along the part of the property that abuts Woodlawn Road. The sidewalk may meander and the planting strip may vary to save existing trees and avoid existing utilities.
7. The internal drive and all parking spaces, not including driveways for individual home's garages, shall be dimensioned according to the minimum standards established per the City's Land Development Standards Manual or the Zoning Ordinance.
8. Roll-out garbage service to be used.
9. Street trees will be installed as required along public streets.
10. HVAC units will be located near or towards the rear corners of the buildings and will be vegetatively screened from any public street.
11. The height of the patio enclosure walls in front of units shall be no higher than 4.5'. Rear walls may be higher.



○ = TREE TO BE SAVED



NGCS MONUMENT "COVER"  
 351°14'46.48032" N  
 80°53'08.60418" W  
 ELEV. 734.03'

"FOR PUBLIC HEARING"  
 PETITION No. 2004-144

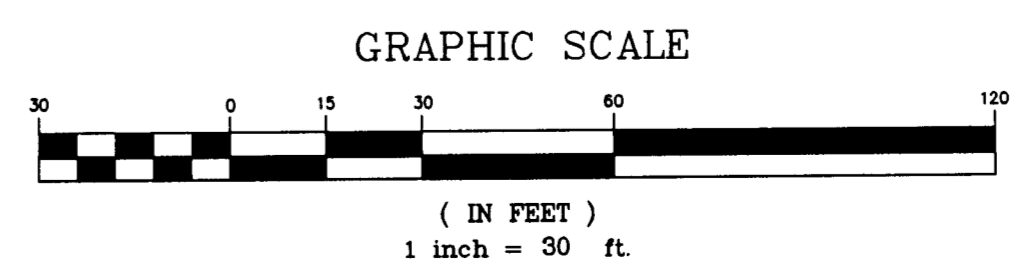
**PETITIONER:**  
**Bridge Partners**  
 800 Manhasset Road  
 Charlotte, N.C. 28209

'WOODLAWN ROAD PROPERTY'  
 TECHNICAL DATA SHEET  
 SHEET 2 of 2  
 SEPTEMBER 2004

REVISED PER STAFF COMMENTS: 12/16/04  
 REVISED PER STAFF COMMENTS: 01/26/05  
 REVISED PER STAFF COMMENTS: 02/09/05



5950 Fairview Rd. • Suite 100 • Charlotte, NC 28210  
 (704) 553-8881 • Fax (704) 553-8860





△ **End Elevation**  
Scale: 1/4"=1'-0"

REVISED PER STAFF COMMENTS: 02/09/05



**Elevation 'A'**

Scale: 1/4"=1'-0"



**Woodlawn  
Townhouses  
Elevation**

Scale: NTS

January 26, 2004