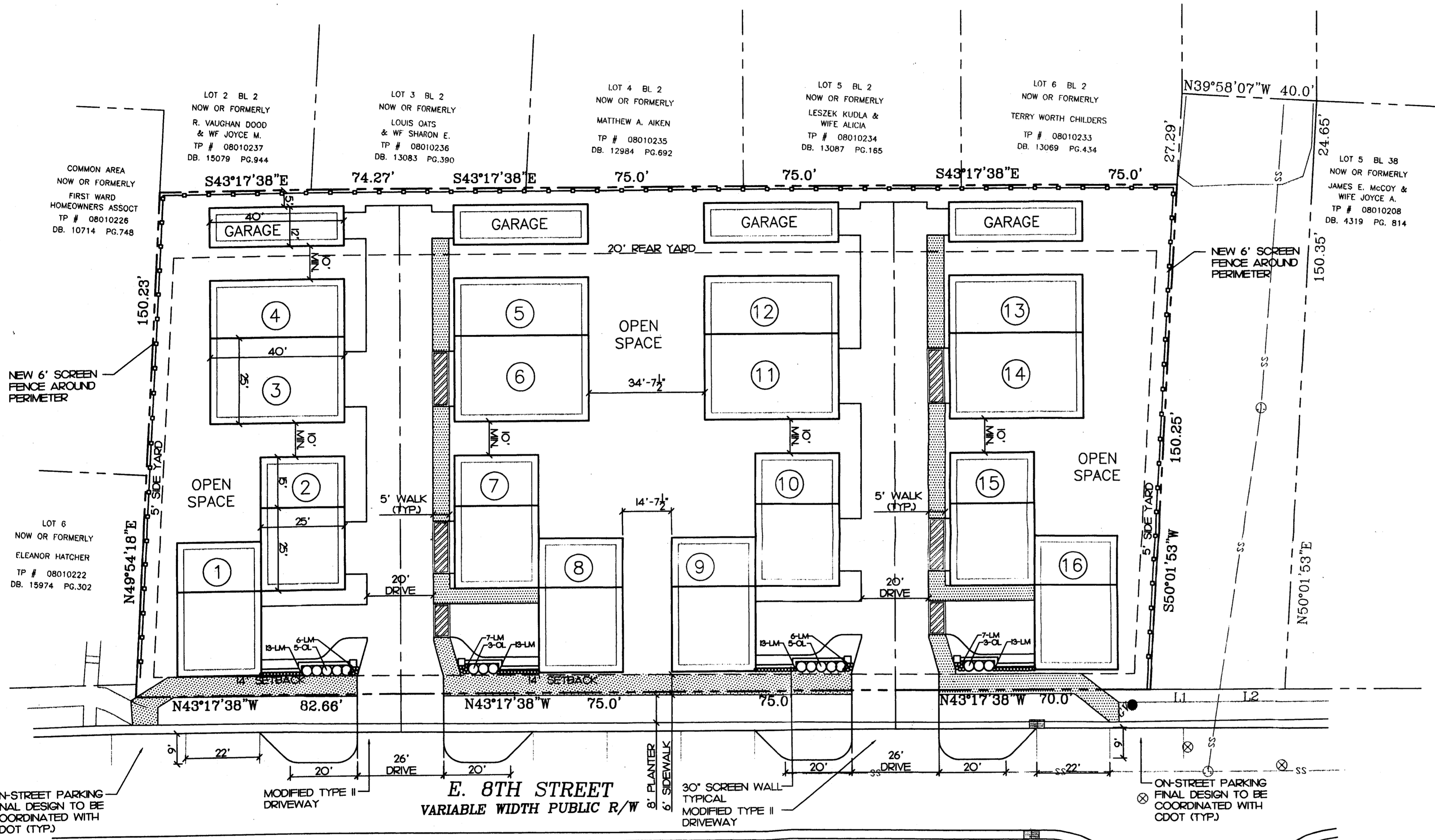


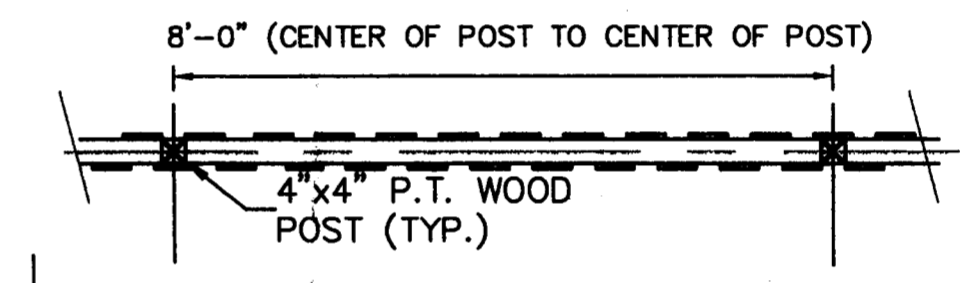
VICINITY MAP - NOT TO SCALE



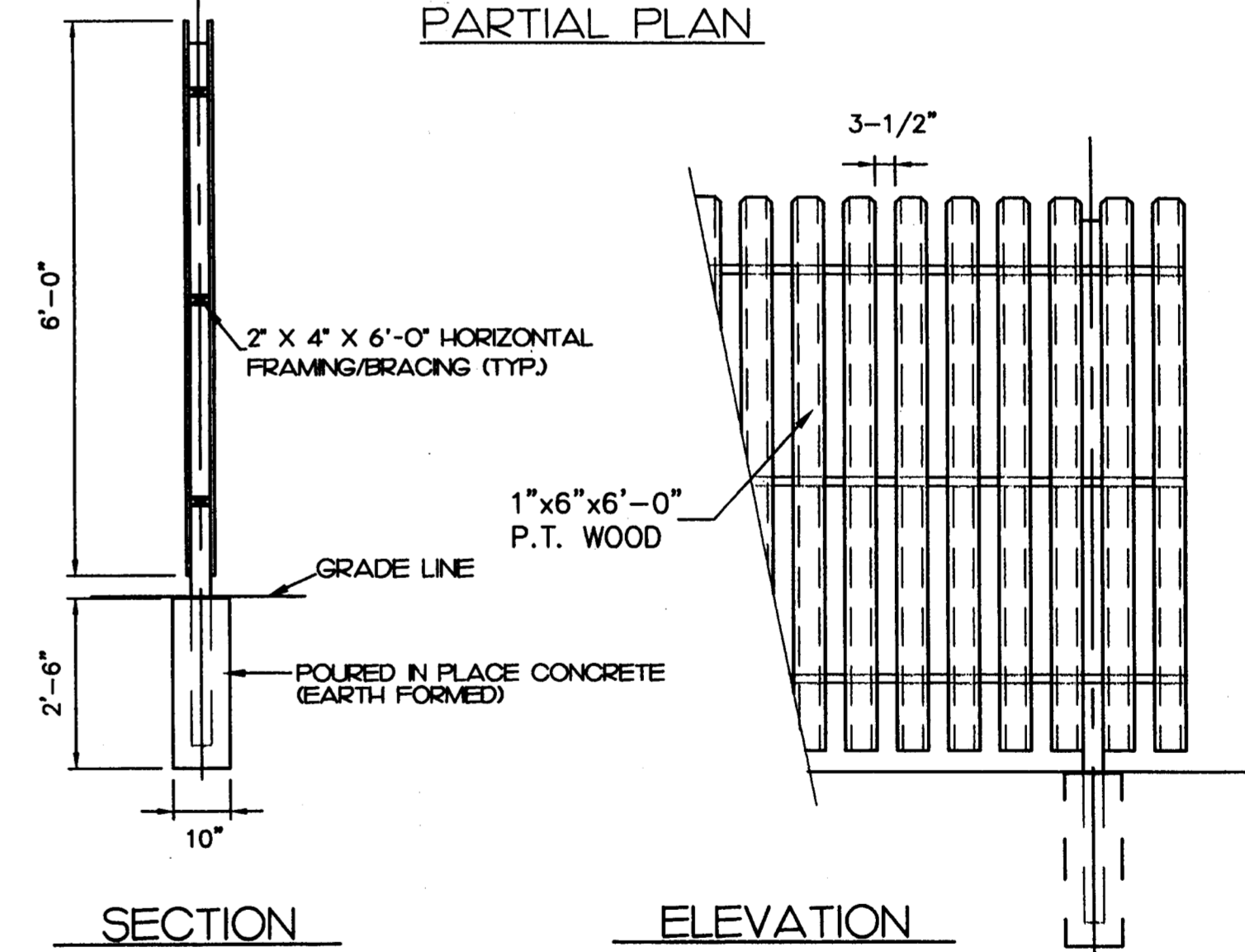
SITE DATA

TAX MAP NO: 080-102-04 E 080-102-05
 TOTAL SITE AREA: 45,478.46 SF (1.044 ACRES)
 EXISTING ZONING: LR1
 PROPOSED ZONING: LR3 CD
 PROPOSED UNITS: 16 TOWN-HOME CONDOMINIUMS
 PROPOSED PARKING: 28 GARAGE SPACES
 4 TANDEM GARAGE SPACES
 32 TOTAL SPACES
 20 MAXIMUM
 40' MAX

FLOOR AREA RATIO: 2.0
 BUILDING HEIGHT: 40' MAX



PARTIAL PLAN



SECTION ELEVATION
 6' SCREEN FENCE NOT TO SCALE

NOTES:

USES FOR THIS SITE SHALL BE RESTRICTED TO RESIDENTIAL USES ONLY.

UNIT NUMBERS 4, 5, 12, AND 13 SHALL BE TWO STORES WITH A 30 FOOT HEIGHT LIMITATION. THIS LIMITATION DOES NOT INCLUDE THE PARA-PIT WALL THAT WILL BE CONSTRUCTED AROUND THE PERIPHERAL ROOFTOP TERRACE. THE PERIPHERAL WALL WILL NOT EXCEED 5'. THE DIMENSIONS OF THIS TERRACE SHALL BE LIMITED TO HALF OF THE BUILDING FOOTPRINT.

THE HEIGHT LIMITATION OF THE DETACHED GARAGES SHALL BE 15 FEET.

FLAT ROOFS SHALL BE THE PREDOMINATE ROOF TYPE. THE ROOFS OVER THE GARAGE AND THE FACADES OF THE BUILDINGS FRONTING 8TH STREET SHALL BE PITCHED (A GABLE/A FRAMETYPE IS ENVISIONED AND ILLUSTRATED ON THE ELEVATIONS) IN ORDER TO BLEND WITH THE EXISTING ARCHITECTURE.

THE FOLLOWING IS A COMPREHENSIVE LIST OF ANTICIPATED EXTERIOR MATERIALS: BRICK, STONE, CEMENTIOUS HARD-PLANK, CEMENTIOUS SIDING, STANDARD ROOFING MATERIALS.

THE SITE SHALL BE LOWERED BY THE STATED DEGREE UNDER THE SPECIFIED UNITS: (A) UNITS 2 & 3 - FOUR FEET (B) UNITS 1, 6 & 7 - TWO FEET.

A REVISED ELEVATION THAT INCLUDES LANDSCAPING AND SCREENING OF THE PARKING AREA AND DRIVEWAYS WILL BE SUBMITTED FOR APPROVAL DURING THE MULTI-FAMILY REVIEW PROCESS.

NEITHER THE DECKS NOR PATIOS WILL ENCR OACH INTO THE REAR YARD OR SETBACK.

PLANT SCHEDULE

SYMBOL	QUANTITY	TYPE	SIZE	CONDITION	NOTES
LM	78	LIRIOPE MUSCARI 'BIG BLUE' / BIG BLUE LIRIOPE		1 GAL	FULL BUSHY CONTAINER
OL	16	OTTO LUYKENS LAUREL / PRUNUS 'OTTO LUYKENS'	18-24" HEIGHT / 18-24" SPREAD	3 GAL	WELL MATCHED

PLANTINGS SHOWN ARE SCHEMATIC ANY MAY BE MODIFIED WITH DEVELOPMENT OF FINAL SITE PLAN

8TH STREET
 CHARLOTTE, NORTH CAROLINA

THE DRAKEFORD COMPANY
 1914 BRUNSWICK AVENUE SUITE 2A
 CHARLOTTE, NORTH CAROLINA, 28207
 PHONE: (704) 344-0332 FAX: (704) 344-9992

Design Resource Group

1230 West Morehead Street, Suite 214
 Charlotte, NC 28208
 704.343.0608 fax 704.358.3093
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SCHEMATIC SITE PLAN

FOR PUBLIC HEARING
 PETITION # 2004-143



Scale: 1" = 20'
 Date: 14 OCT 2004
 Project No.: 090-005

Revisions:
 DECEMBER 17, 2004~ PER OWNER AND CITY REVIEW
 MARCH 30, 2005~ PER CITY REVIEW

APPROVED BY CITY COUNCIL
 DATE: 2/21/05