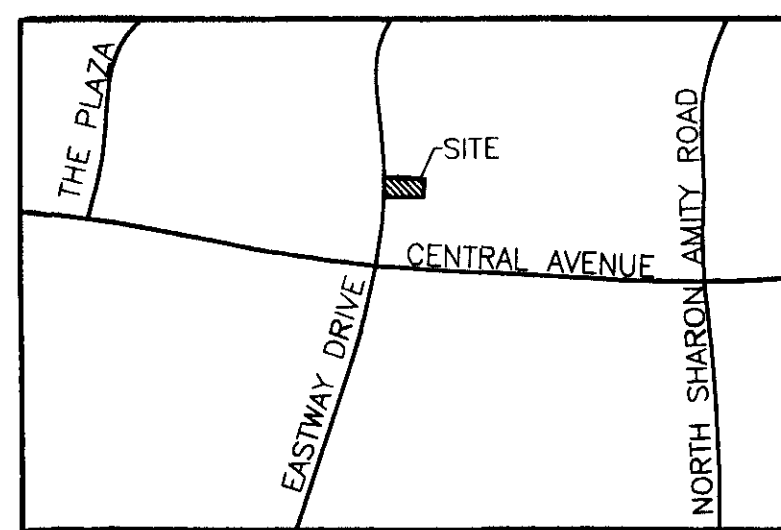


ADJOINER:
GREGORY H. & ELAINE M. POWELL
P.I.D. # 10116119
ZONED R-4
LAND USE - SINGLE-FAM

ADJOINER:
JAMES A. & MARY A. EDWARDS
P.I.D. # 10116118
ZONED R-4
LAND USE - SINGLE-FAM

LOCATION MAP-NOT TO SCALE



KEY LEGEND

- ① 4" CONCRETE SIDEWALK W/ DROP CURB - SEE DETAIL 1 SHT. C-04
- ② ASPHALT PAVEMENT - SEE DETAIL 2 SHT. C-04
- ③ HANDICAP ACCESSIBLE PARKING SPACE & SIGNAGE - SEE DETAIL 3 SHT. C-04
- ④ ADA ACCESSIBLE RAMP - SEE DETAIL 4 SHT. C-04
- ⑤ TREATED WOOD DUMPSTER ENCLOSURE AND CONC. PAD - SEE DETAIL 5 SHT. C-04
- ⑥ TYPE II DRIVEWAY ENTRANCE - SEE DETAIL 6, SHT. C-5
- ⑦ BACK-FLOW PREVENTER - SEE DETAIL 7, SHT. C-4
- ⑧ DRIVEWAY TO ADJACENT PROPERTY PER OWNER'S AGREEMENT
- ⑨ 4" CONCRETE WALK TO EXIST. SIDEWALK
- ⑩ TYPICAL PRECAST WHEEL STOP - SEE DETAIL 8, SHT. C-04
- ⑪ 4" BRASS CLEAN OUT WITH 18" SQ. x 6" THICK CONC. PAD - SEE PLUMBING PLANS
- ⑫ 1" GAS SUPPLY
- ⑬ 4" PVC SANITARY SEWER @ 1.0% SLOPE
- ⑭ 1" GAS SUPPLY
- ⑮ UNDERGROUND POWER LINE FROM EXISTING BUILDING
- ⑯ SLEEVE WATER LINE @ CROSSING W/ SEWER LINE W/ 4" STEEL PIPE x 4' LONG
- ⑰ 6' HIGH TRATED WOOD BUFFER FENCE - SEE DETAIL 10, SHT. C-04
- ⑱ DEMOLISH SECTION OF EXISTING 12" MASONRY WALL TO 12" BELOW PROPOSED PAVEMENT ELEVATION & LEAVE REMAINING END IN NEAT AND FINISHED CONDITION
- ⑲ PROPOSED 2" WATER SUPPLY TAPPED INTO EXIST. 6" WATER LINE
- ⑳ PROPOSED 4" PVC SANITARY SEWER @ 1.0% SLOPE TAPPED INTO EXIST. 8" SEWER LINE
- ㉑ 12" CMU BLOCK RETAINING WALL - SEE DETAIL 11, SHT. C-04

GENERAL NOTES

1. ALL WORK AND MATERIALS FOR STREET MODIFICATIONS SHALL CONFORM TO THE LATEST EDITION OF THE MCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES.
2. ALL ASPHALT CUTS SHALL BE MADE WITH A SAW.
3. WHEN PLACING ASPHALT AGAINST EXISTING SURFACES, A STRAIGHT EDGE SHALL BE USED TO PREVENT HUMPING AT THE LOCATION.
4. ALL CONCRETE SHALL BE MADE OF TYPE-1 CEMENT WITH 4-5% AIR ENTRAINMENT AND ACHIEVE A 28-DAY STRENGTH OF 4000 PSI.
5. ALL NEW CONCRETE SHALL BE CURED WITH 100% RESIN BASE, WHITE PIGMENTED CURING COMPOUND WHICH MEETS ASTM C-309, TYPE I, APPLY AT A UNIFORM RATE OF 1 GALLON OVER 400 SQ. FT. WITH IN 24-HOURS OF PLACEMENT.
6. NEW CURBS SHALL BE BACK FILLED WITH IN 48 HOURS.
7. ALL EXCESS CONCRETE ON FRONT EDGE (LIP) OF GUTTER SHALL BE REMOVED FOR A CLEAN EDGE.
8. SUB GRADE FOR NEW PAVEMENT, CURBS AND CONCRETE PADS SHALL BE COMPACTED TO 100% OF THE MAXIMUM DENSITY OBTAINABLE BY THE STANDARD PROCTOR TEST TO A DEPTH OF 8". SUB GRADE BELOW 8" IN DEPTH SHALL BE COMPACTED TO 95% OF STANDARD PROCTOR.
9. CONCRETE OR ASPHALT SHALL NOT BE PLACED IN COLD WEATHER CONDITIONS UNTIL THE AIR TEMPERATURE IS 35° F AND RISING BY 10 AM. CONCRETE OR PAVING OPERATIONS SHALL BE DISCONTINUED WHEN THE AIR TEMPERATURE IS 40° AND FALLING. THE CONTRACTOR SHALL PROTECT FRESHLY PLACED CONCRETE IN ACCORDANCE WITH SECTION 420 OF MCDOT STANDARD SPECS. WHEN THE AIR TEMPERATURE IS 35° AND THE CONCRETE HAS NOT REACHED 72 HRS. OF AGE.
10. SIDEWALKS AND OTHER CONCRETE WALKS SHALL BE CONSTRUCTED OF NOT LESS THAN 3500 PSI CONCRETE AND SHALL BE NOT LESS THAN 4" THICK ON AN ADEQUATELY GRADED BASE. SUB GRADE SHALL BE COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DENSITY OBTAINABLE BY THE STANDARD PROCTOR TEST.
11. ALL DIMENSIONS ARE TO FACE OF CURB (FOC) UNLESS SPECIFIED OTHERWISE.
12. ALL TRAFFIC SIGNS, STRIPE PAINTING, ETC., SHALL CONFORM TO THE PRINCIPLES OF MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
13. ALL CONSTRUCTION SHALL CONFORM TO THE CHARLOTTE/MECKLENBURG LAND DEVELOPMENT DETAILS AND SPECIFICATIONS.
14. ALL CURB CUTS SHALL BE MADE WITH A SAW AND ALL ELEVATIONS SHALL BE VERIFIED AND MATCHED.
15. NEW DRIVEWAY SHALL BE PERMITTED BY CITY OF CHARLOTTE ENGINEERING.
16. STONE BASE SHALL BE PRIMED IF PAVING IS NOT COMPLETED IN SEVEN DAYS FOLLOWING STONE BASE APPROVAL.
17. A CANVAS COVER OR OTHER SUITABLE COVER SHALL BE REQUIRED FOR TRANSPORTING PLANT MIX ASPHALT DURING COOL WEATHER WHEN ANY OF THE FOLLOWING CONDITIONS ARE PRESENT:
 - A. AIR TEMPERATURE IS BELOW 60° F.
 - B. LENGTH OF HAUL FROM PLANT TO JOB IS GREATER THAN 5 MILES.
 - C. OTHER OCCASIONS AT THE ENGINEER'S DESCRIPTION WHEN A COMBINATION OF FACTORS INDICATE THAT MATERIAL SHOULD BE COVERED IN ORDER TO ASSURE PROPER PLACEMENT TEMPERATURE.
18. COORDINATE CURB AND STREET GRADES IN INTERSECTION WITH INSPECTOR
19. ALL ROAD IMPROVEMENTS ALONG GREENLAND AVENUE SHALL BE COORDINATED WITH THE CITY ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
20. CURB AND GUTTER SHOWN ON PLAN MAY BE ADJUSTED BASED ON FIELD STAKING BY CITY ENGINEERING DEPARTMENT. ASSOCIATED STORM DRAINAGE MAY ALSO REQUIRE FIELD MODIFICATIONS BASED ON FIELD CONDITIONS. NONSTANDARD ITEMS (i.e. PAVERS, IRRIGATION SYSTEMS, ETC.) IN THE RIGHT-OF-WAY REQUIRE A RIGHT-OF-WAY ENCROACHMENT AGREEMENT WITH THE CHARLOTTE DEPARTMENT OF TRANSPORTATION.

ABBREVIATIONS

R/W	RIGHT OF WAY
EEOP	EDGE OF EXISTING PAVEMENT
EOP	PROPOSED EDGE OF PAVEMENT
CJ	SAWED CRACK CONTROL JOINT
EIP	EXISTING IRON PIN
NIP	NEW IRON PIN
RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE
HP	HIGH POINT ELEVATION
LP	LOW POINT ELEVATION
TOC	TOP OF CURB ELEVATION
TW	TOP OF WALL ELEVATION
BW	BOTTOM OF WALL ELEVATION
FFE	FINISHED FLOOR ELEVATION
FOB	FACE OF BUILDING
FOC	FACE OF CURB
BOC	BACK OF CURB
PI	POINT OF INTERSECTION
DI	STORM SEWER DROP INLET
CI	STORM SEWER CURB INLET
YI	STORM SEWER YARD INLET (HDPE)
PID	PARCEL TAX ID NUMBER
CONC.	CONCRETE
C	CENTER LINE
PP	POWER POLE
SP	SERVICE POLE
LP	LAMP POST
GV	GAS VALVE
(AL)	APPROXIMATE LOCATION
FH	FIRE HYDRANT
N.O.F.	NOW OR FORMERLY
TYP.	TYPICAL

LEGEND

DESCRIPTION	EXISTING	PROPOSED
SANITARY SEWER LINE	SS	SS
STORM SEWER	PIPE SPEC & SLOPE	PIPE SPEC & SLOPE
WATER LINE	W	W
GAS LINE	G	G
POWER LINE	P	P
TELEPHONE LINE	T	T
SPOT ELEVATION	• 97.00	• 100.25
SEWER MANHOLE	SS	SS
STORM MANHOLE	ST	ST
ELECTRICAL MANHOLE	E	E
WATER VALVE	WV	WV
FIRE HYDRANT	FH	FH
LIGHT POLE	LP	LP
TELEPHONE PEDESTAL	TP	TP
TRANSFORMER	TR	TR
UTILITY POLE	U	U
PROPERTY CORNER	•	•
PROPERTY BOUNDARY	—	—
CONTOUR - 1' INT.	~	~
CONTOUR - 5' INT.	~	~

ZONING CODE SUMMARY

PROJECT NAME: EASTWAY LAUNDRY & DRY CLEANERS

OWNER: CHANDRAKANT S. PATEL PHONE: (XXX) XXX-XXXX

PLANS PREPARED BY: SITE & STRUCTURE, P.C. PHONE: (704) 573-7800

ZONING: B-1 JURISDICTION: CITY OF CHARLOTTE

TAX PARCEL NUMBER: 10116110

ADDRESS: 2911 EASTWAY DRIVE, CHARLOTTE, N.C.

PROPOSED USE: DRY CLEANERS/ SELF-SERVICE LAUNDRY/ OFFICE

BUILDING HEIGHT: 20'-0" STORES: 1

BUILDING COVERAGE: 7,453 SQ. FT. GROSS FLOOR AREA: 7,375 SQ. FT.

LOT SIZE: 25,700 SQ. FT. (0.59 AC.) NUMBER OF UNITS OR SUITES: N/A

YARD REQUIREMENTS:

FRONT YARD SETBACK: 20 FT. REAR YARD SETBACK: 10 FT.

SIDE YARD LEFT: 0 FT. SIDE YARD RIGHT: 0 FT.

REQUIRED BUFFERS:

FRONT: (NO) / YES 0 FT. REAR: (NO) / YES 20 FT.

SIDE (L): (NO) / YES 0 FT. SIDE (R): (NO) / YES 0 FT.

REQUIRED SCREENING:

FRONT: (NO) / YES 0 FT. REAR: (NO) / YES 0 FT.

SIDE (L): (NO) / YES 0 FT. SIDE (R): (NO) / YES 0 FT.

DISTURBED AREA: 0.49 AC. (21,345 SQ. FT.) NO GRADING PERMIT REQUIRED

IMPERVIOUS AREA: 19,395 SQ. FT. NO DETENTION REQUIRED

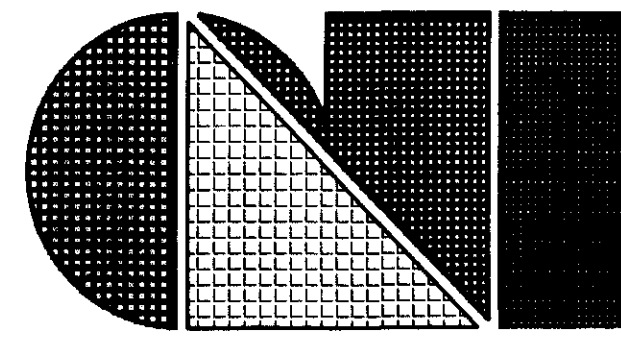
PARKING DATA:

1 SPACE PER 250 SQ. FT. x 7,375 SQ. FT. = 29 REQUIRED

REQUIRED: 29 CAR POOL: 0 PROVIDED: 29

HANDICAP: 1 COMPACT: 0 LOADING SPACE: 1

ALL SIGNAGE WILL BE APPROVED & PERMITTED SEPARATELY



C.L. Helt, Architect Inc.

1136 Greenwood Cliff
Charlotte, NC 28204

Ph. 704-342-1688
Fx. 704-343-0054
E-MAIL CHELHETT@CLHELT.COM

ARCHITECT'S PROJECT #03153

Project #
**EASTWAY LAUNDRY
& DRY CLEANERS**
CHARLOTTE, NC

Sheet Description #
**SITE LAYOUT
PLAN**

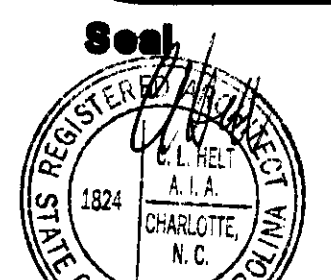
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Drawn By:
T. BORN

Checked By:
M. BRITT

Revisions:

- 1
- 2
- 3



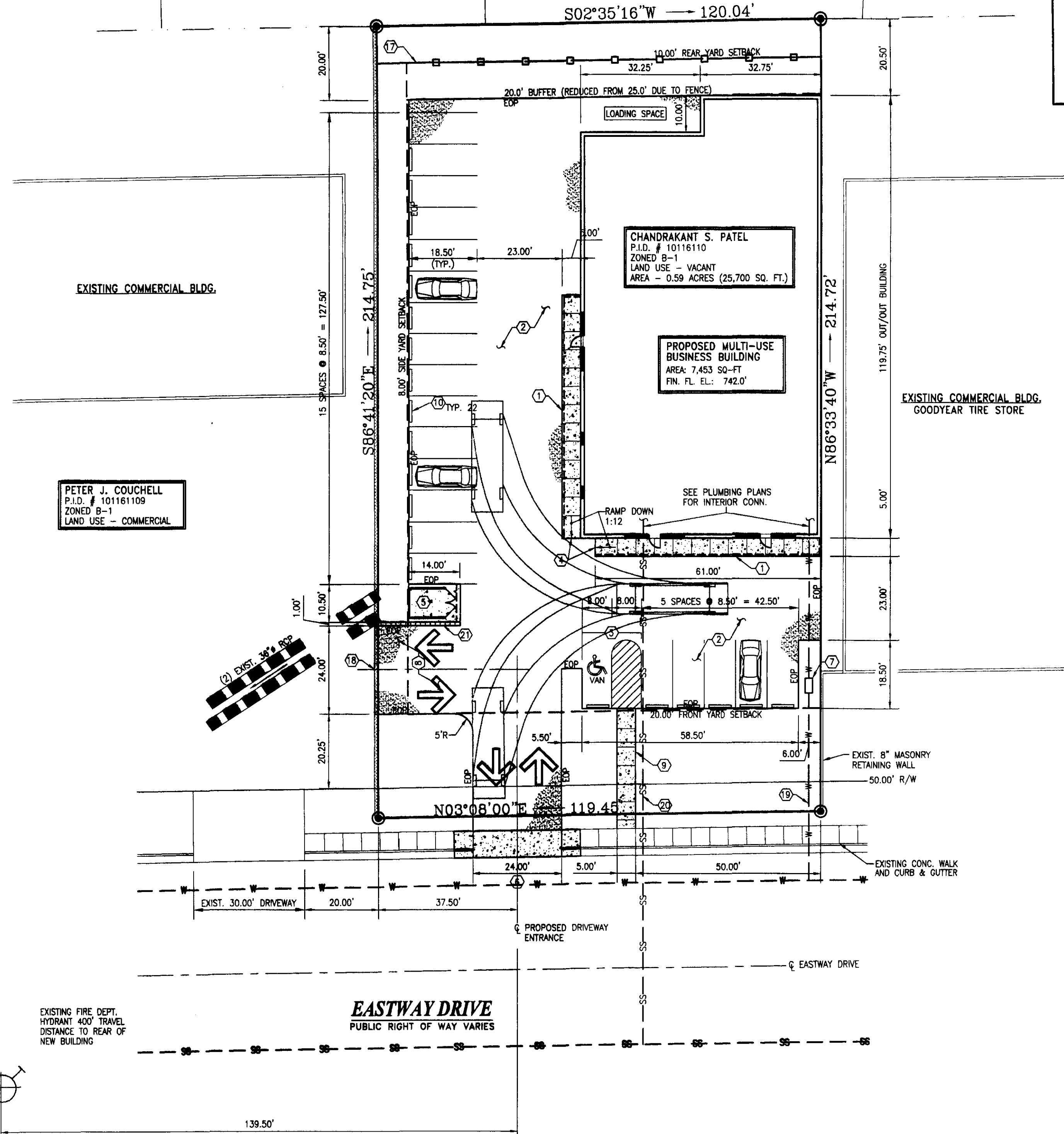
Date:
4/1/04

Sheet No.
C-1

of 4

APPROVED BY CITY COUNCIL
DATE 4/19/04

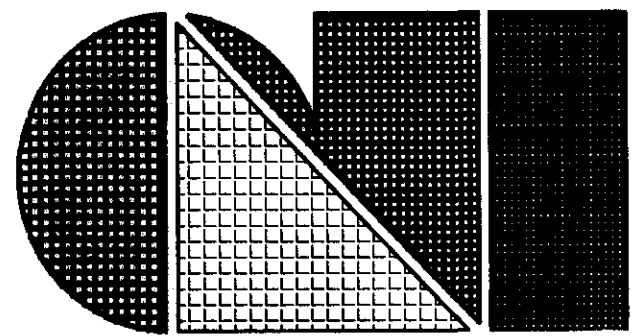
1 SITE LAYOUT PLAN
C-1 SCALE: 1" = 20.0'



This drawing was prepared by:

Site & Structure p.c.
Engineering • Design • Project Management
8821-B1 Fairview road • Mint Hill, NC 28227 • (704) 573-7800

888 Project No. **805108**



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ARCHITECT'S PROJECT #03153

Project #
**EASTWAY LAUNDRY
& DRY CLEANERS**
Charlotte, NC
Sheet Description #
**SITE
LANDSCAPE
PLAN & DETAILS**

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Drawn By :
T. BORN

Checked By :
M. BRITT

Revisions :

- 1
- 2
- 3

Seal
C.L. HELT
A.P.A.
ARCHITECT
N.C.
STATE OF NORTH CAROLINA

Date :
4/1/04

Sheet No.
C-3

of : **4**

AUG 1 0 2004

PLANTING NOTES:

1. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET FORTH IN THE AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC., WASHINGTON, D.C.
2. ALL PLANTS SHALL BE COMPACT, UNIFORM, AND WELL GROWN. PLANTS SHALL NOT BE LOOSE, OPEN PLANTS. THE OWNER AND THE LANDSCAPE ARCHITECT RESERVE THE RIGHT TO REJECT ANY AND ALL MATERIALS WHICH DO NOT MEET THESE REQUIREMENTS.
3. ALL PLANTING BEDS SHALL BE MULCHED WITH 3" THICK COMPOSTED/MILLED PINE BARK.
4. ALL PLANTS SHALL BE FREE FROM DISEASE, INSECT INFESTATIONS, AND INJURIES.
5. ALL PLANT BEDS SHALL HAVE A 4" V-CUT TRENCH INSTALLED AT THE PERIMETER OF THE BED.
6. CONTRACTOR MUST PROVIDE A ONE YEAR WRITTEN GUARANTEE FOR ALL PLANT MATERIALS FROM THE DATE OF FINAL ACCEPTANCE BY THE LANDSCAPE ARCHITECT.
7. THE SPECIES, VARIETIES, AND SIZE LISTED SHALL BE PROVIDED AS SPECIFIED. SUBSTITUTIONS WILL BE PERMITTED ONLY UPON WRITTEN APPLICATION BY THE CONTRACTOR TO THE LANDSCAPE ARCHITECT, AND WHEN APPROVAL BY SAID LANDSCAPE ARCHITECT IS IN WRITING.
8. SYMBOLS: B&B = BALLED AND BURLAPPED; O.C. = ON CENTER; GAL = GALLON CONTAINER; M.S. = MULTI-STEM; HT. = HEIGHT; CAL. = CALIPER.
9. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL PLANTS ILLUSTRATED ON THE PLANTING PLAN. IF ANY DISCREPANCIES EXIST BETWEEN THE QUANTITIES LISTED ON THE PLANT LIST AND THE QUANTITIES SHOWN ON THE PLAN, THE CONTRACTOR SHALL PROVIDE ALL QUANTITIES ILLUSTRATED ON THE PLAN. IF ANY PLANTS ARE SHOWN NOT LABELED, THE CONTRACTOR SHALL VERIFY THE PLANT IDENTITY WITH THE LANDSCAPE ARCHITECT AND THESE PLANTINGS SHALL BE INCLUDED IN THE CONTRACTOR'S INITIAL BID.
10. SOIL AMENDMENTS SHALL BE UNIFORMLY SPREAD AND CULTIVATED THOROUGHLY BY A MECHANICAL TILLER INTO THE TOP 8" OF SOIL THROUGHOUT SHRUB BEDS.
11. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AND THE OWNER IN WRITING OF ALL SOIL CONDITIONS THE CONTRACTOR CONSIDERS DERIMENTAL TO THE GROWTH OF PLANT MATERIALS. PROPER DRAINAGE MUST BE ASSURED.
12. FOR NEW PLANTING AREAS, REMOVE ALL PAVEMENT, GRAVEL SUB-BASE AND CONSTRUCTION DEBRIS BEFORE PREPARING SOIL AND PLANTING TREES.
13. REMOVE COMPACTED SOIL AND ADD 24" NEW TOPSOIL/PLANTING MIX -OR- UNCOMPACT AND AMEND TOP 24" OF EXISTING SOIL TO MEET TOPSOIL/PLANTING MIX STANDARDS FOR TREES. (WITHIN ENTIRE MINIMUM AREA OF 270 SQ. FT. PER TREE)
14. ALL STRAPPING AND TOP 2/3 OF WIRE BASKET MUST BE REMOVED FROM ROOT BALL PRIOR TO BACKFILLING PLANTING PIT. REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
15. NO TREES SHALL BE PLANTED ON A SLOPE GREATER THAN 3:1.
16. PROVIDE AND INSTALL PREPARED PLANTING BEFORE ALL AREAS SHOWN TO RECEIVE PLANTING. TOP 8" SHALL BE 25% WELL DAIRED COMPOSTED COW MANURE AND 75% NATIVE TOPSOIL THOROUGHLY MIXED (2" LAYER OF COMPOSTED DAIRY COW MANURE ROROTILLED TO 8" DEEP). PREPARED SOIL SHALL BE FINE TEXTURED AND FRAGILE AND RAKED TO CREATE A SMOOTH SURFACE. MULCH COMPLETED PLANTING BED W/ 3" THICK LAYER OF MILLED, COMPOSTED PINE BARK MULCH.

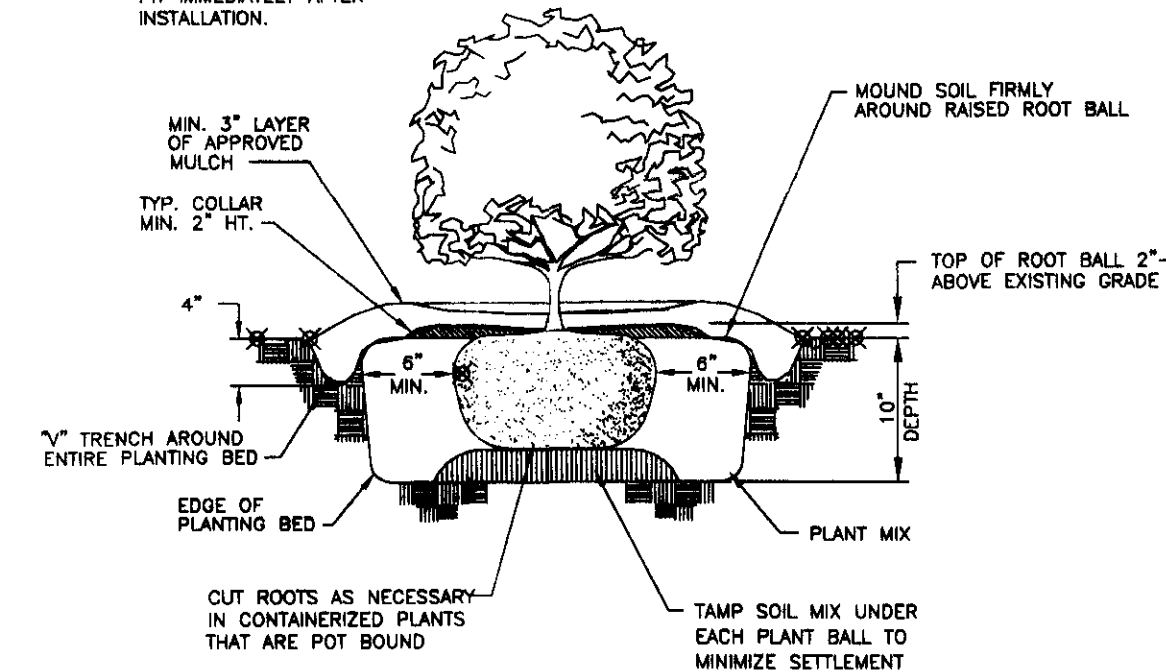
KEY	QUANTITY	BOTANICAL NAME COMMON NAME	SIZE	COMMENTS
TREES				
AR	7	ACER RUBRUM RED MAPLE "OCTOBER GLORY"	2" CALIPER	B & B SPACE AS SHOWN
CL	8	CUPRESSOCYPARIS LEYLANDII LEYLAND CYPRESS	6-FT TALL	B & B SPACE 10-FT
PC (EXISTING)	1	PECAN	16" CALIPER	N/A
SHRUBS				
BH	66	ILEX CORNUTA "BURFORDI NANA" DWARF BURFORD HOLLY	3 GAL. 2'-6" HT. 2'-0" SP.	CONTAINER SPACE AS SHOWN

2 SCHEDULE OF PLANT MATERIALS

C-3

NOTES:

1. OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
2. INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
3. TAMP PLANTING MIX FIRMLY AS PIT IS FILLED AROUND EACH PLANT BALL.
4. SOAK EACH PLANT BALL AND PIT IMMEDIATELY AFTER INSTALLATION.

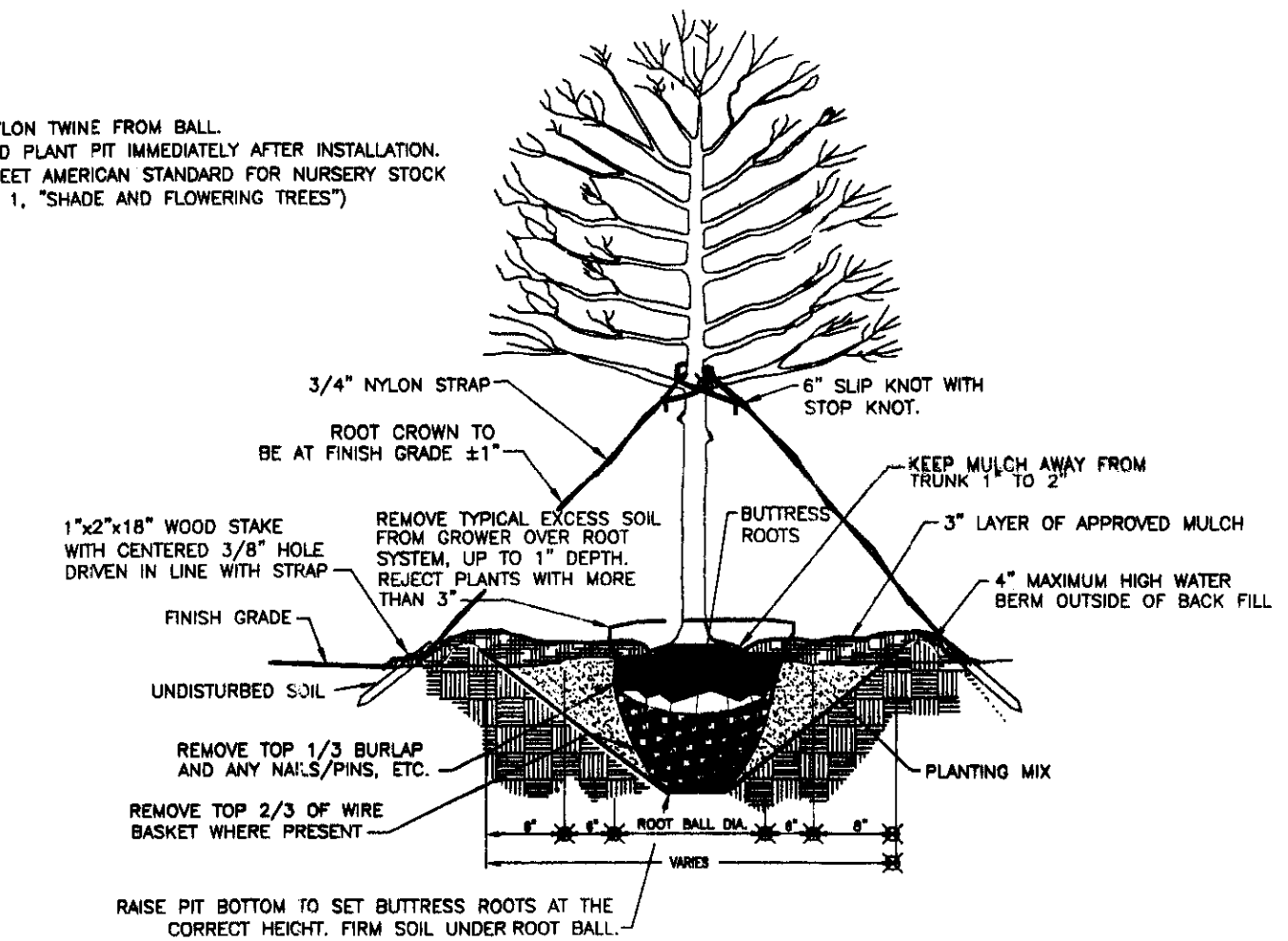


3 SHRUB PLANTING DETAIL

C-5 NO SCALE

NOTES:

1. REMOVE WIRE OR NYLON TWINE FROM BALL.
2. SOAK ROOT BALL AND PLANT PIT IMMEDIATELY AFTER INSTALLATION.
3. ALL TREES SHALL MEET AMERICAN STANDARD FOR NURSERY STOCK (AMS, 1990, PART 1, "SHADE AND FLOWERING TREES")

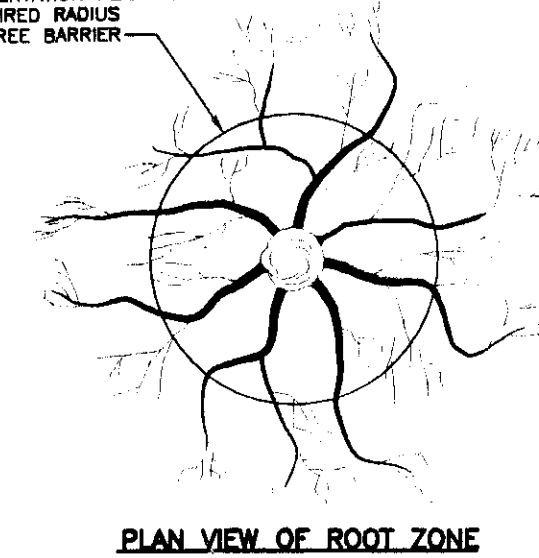


4 TREE PLANTING DETAIL (SINGLE STEM)

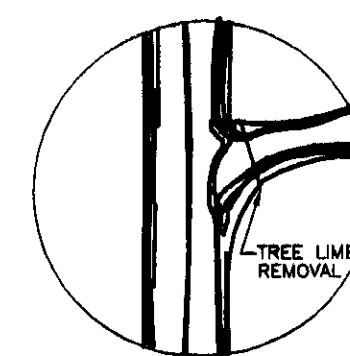
C-3 NO SCALE

NOTES:

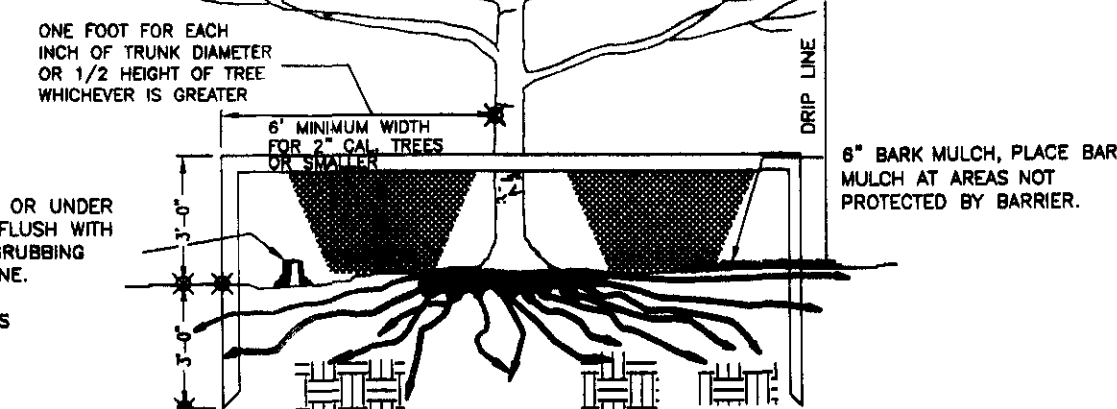
1. REMOVE ALL BARRIERS UPON COMPLETION OF PROJECT.
2. LANDSCAPING PLANS SHALL SHOW THE LOCATIONS OF ALL PROTECTION FENCES.
3. REFER TO CITY OF CHARLOTTE LANDSCAPE CONSTRUCTION STANDARDS SECTION 0100 FOR GENERAL SPECIFICATIONS REGARDING TREE PROTECTION.



PLAN VIEW OF ROOT ZONE



FOR PRUNING SEE NATIONAL ARBORIST ASSOCIATION SPECS.
DEAD TREES AND SCRUB OR UNDER GROWTH SHALL BE CUT FLUSH WITH ADJACENT GRADE. NO GRUBBING ALLOWED UNDER DRIP LINE.
2"x4" STANDARDS + 1"x4" RAILS OR ORANGE SAFETY FENCING MAY BE USED.



5 DETAIL - TREE PROTECTION

C-3 NO SCALE

ADJOINER:
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P.I.D. # 10116119
ZONED R-4
LAND USE - SINGLE-FAM

ADJOINER:
JAMES A. & MARY A. EDWARDS
P.I.D. # 10116118
ZONED R-4
LAND USE - SINGLE-FAM

20' CLASS "B" LANDSCAPE BUFFER
120' / 6 TREES PER 100' = 8 TREES REQ'D.

S02°35'16"W → 120.04'

(8) CL
15' O.C.

6' H. WOOD FENCE

20.0' BUFFER (REDUCED FROM 25.0' DUE TO FENCE)

CHANDRAKANT S. PATEL
P.I.D. # 10116110
ZONED B-1
LAND USE - VACANT
AREA - 0.59 ACRES (25,700 SQ. FT.)

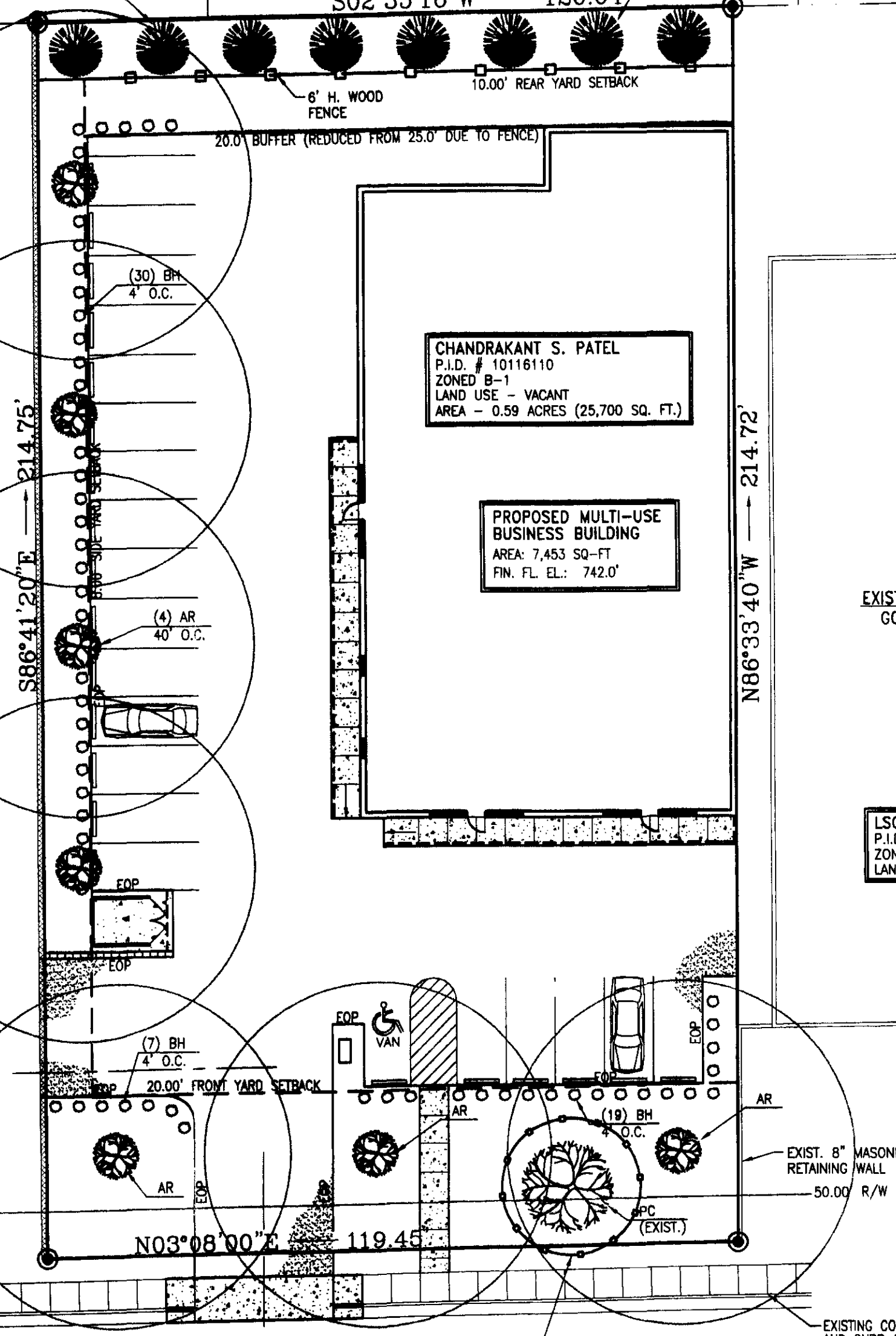
PROPOSED MULTI-USE BUSINESS BUILDING
AREA: 7,453 SQ-FT
FIN. FL. EL.: 742.0'

EXISTING COMMERCIAL BLDG.
GOODYEAR TIRE STORE

LSQUARED LLC
P.I.D. # 10116112
ZONED B-1
LAND USE - COMMERCIAL

EXISTING COMMERCIAL BLDG.
GOODYEAR TIRE STORE

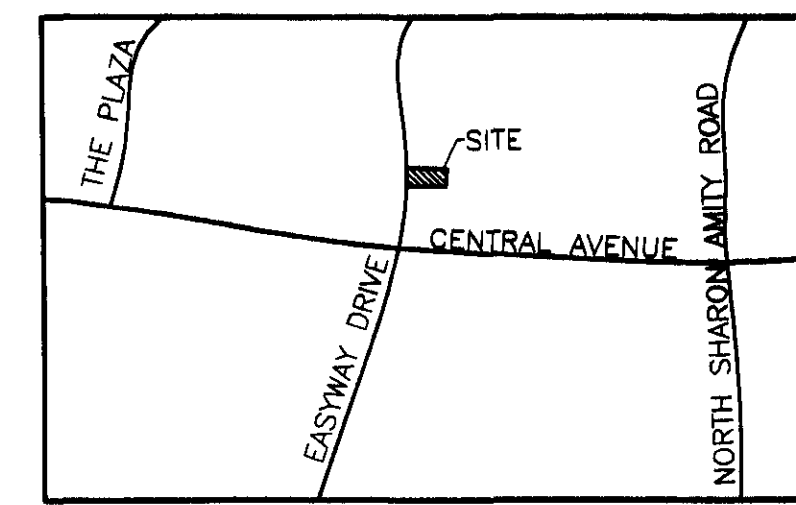
PETER J. COUCHELL
P.I.D. # 101161109
ZONED B-1
LAND USE - COMMERCIAL



EASTWAY DRIVE
PUBLIC RIGHT OF WAY VARIES

1 SITE LANDSCAPE PLAN

C-3 SCALE: 1" = 20.0'



LOCATION MAP-NOT TO SCALE

APPROVED BY CITY COUNCIL
DATE 4/1/04

This drawing was prepared by:
Site & Structure p.c.
Engineering • Design • Project Management
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